

SPANNENBERG & SON

builders & contractors



PROPOSAL:

ALTERATION & ADDITION

ADDRESS:

**8 BILAMBEE AVENUE,
BILGOLA PLATEAU 2107
LOT: 102 DP: 27580**

LGA:

NORTHERN BEACHES

DRAWING:

COVER PAGE

REVISION:

F

JOB REFERENCE:

8Bila

SHEET:

001

PAPER:

A3



CONSTRUCTION NOTES:

1. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS AS PROVIDED.
2. WHERE OTHER CONSULTANTS DRAWINGS ARE REQUIRED SUCH MUST TAKE PRECEDENCE.
3. ALL DIMENSIONS PROVIDED ARE TO BE CHECKED/CONFIRMED BY THE BUILDER/CONTRACTOR/OWNER PRIOR TO COMMENCEMENT OF WORKS.
4. LEVELS SHOWN ARE APPROXIMATE AND SHOULD BE CHECKED AND CONFIRMED ON SITE.
5. WHERE NOT INDICATED BY THESE PLANS, IT REMAINS THE RESPONSIBILITY OF THE BUILDER/CONTRACTOR TO LOCATE ALL SITE SERVICES PRIOR TO ANY EXCAVATION/CONSTRUCTION.
6. ALL BOUNDARY CLEARANCES MUST BE VERIFIED BEFORE COMMENCEMENT OF ANY BUILDING WORKS BY A REGISTERED SURVEYOR.
7. ANY INCONSISTENCIES TO BE REPORTED TO SPANNENBERG & SON.
8. PLANS TO BE READ IN CONJUNCTION WITH BUILDERS QUOTE.
9. WHERE DISCREPANCIES OCCUR, BUILDERS QUOTE SHALL TAKE PRECEDENCE.
10. ALL BRICKWORK SHALL BE IN ACCORDANCE WITH AS3700
11. ALL TIMBER FRAMING SHALL BE IN ACCORDANCE WITH AS1684
12. ELECTRICIAN TO SUPPLY AND INSTALL APPROVED HARD WIRED SMOKE ALARMS IN ACCORDANCE WITH AS3786.
13. ALL PROPOSED FLOOR LEVELS AND OTHER RELATED RL'S NOMINATED ARE SUBJECT TO +/- 100mm.

NOTE:
PROPOSED STORMWATER LINES TO
CONNECT INTO EXISTING DRAINAGE
LINES TO DISCHARGE TO STREET.
NO CHANGE TO EXISTING LINES OR
POINTS OF DISCHARGE.

DWELLING TO BE CONSTRUCTED TO
BUSHFIRE ATTACK LEVEL (BAL) - FZ
IN ACCORDANCE WITH AS3959-2009

OWNER'S ACKNOWLEDGMENT

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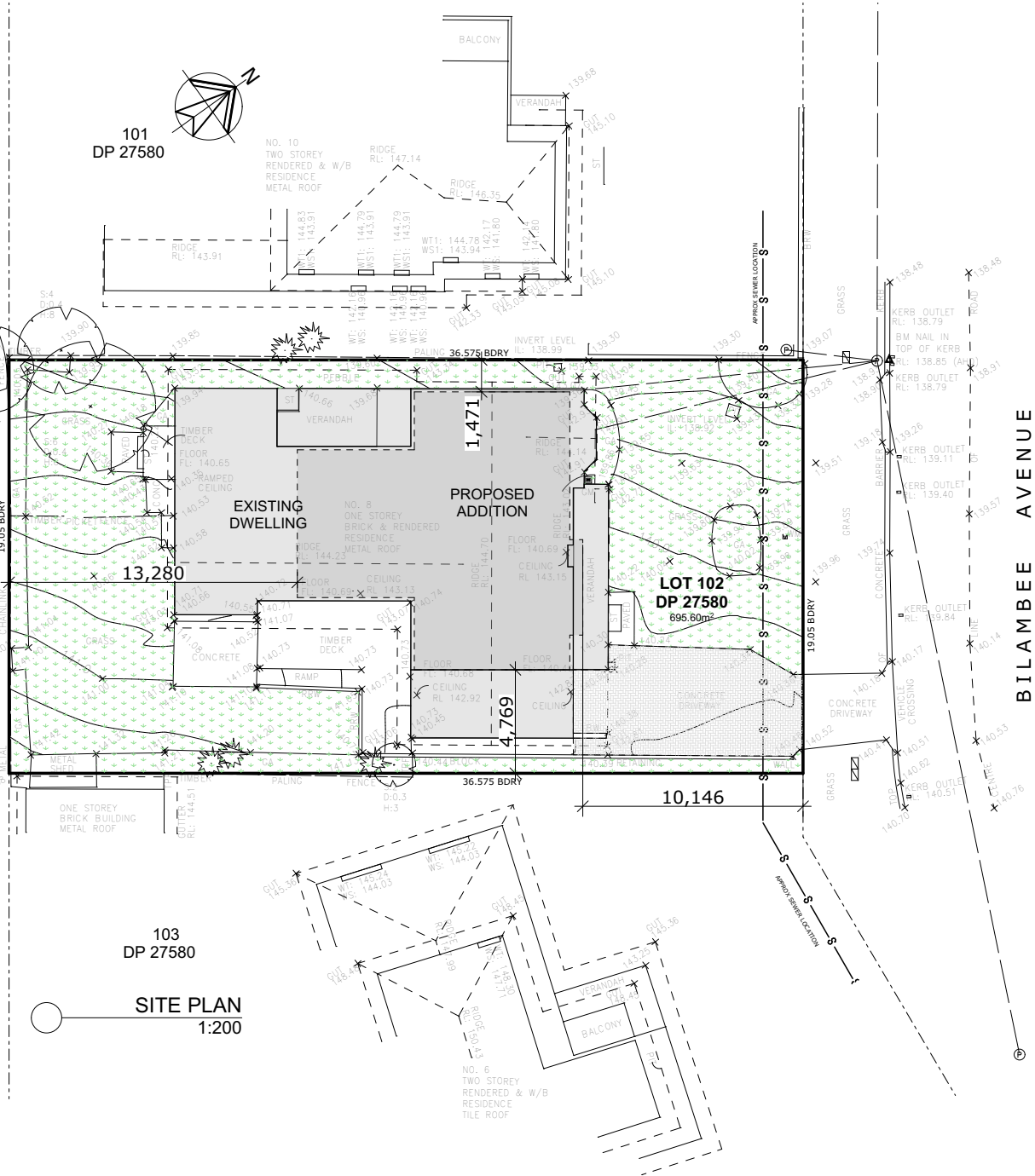
AMENDMENT	DRAWN BY:	DATE:
CONCEPT PLAN	B.J	15.11.24
AMENDMENTS	B.J	15.11.24
AMENDMENTS	B.J	04.12.24
AMENDMENTS	B.J	06.12.24
AMENDMENTS	B.J	09.12.24
DA APPROVAL	B.J	17.12.24

DEVELOPMENT CALCULATIONS

LOT AREA:	695.60sqm
EXISTING AREA	
GROUND FLOOR:	192.96sqm
GARAGE:	23.56sqm
ALFRESCO:	16.45sqm
PORCH:	14.02sqm
PROPOSED AREA	
FIRST FLOOR:	131.07sqm
TOTAL AREA:	378.06sqm
FLOOR AREA:	347.59sqm
FLOOR COVER AREA:	216.52sqm
SITE COVER RATIO:	31.13%
GF GROSS FLOOR AREA:	179.42sqm
INT/EXT WALLS	
EXCL 18sqm GARAGE	
FF GROSS FLOOR AREA:	121.33sqm
INT/EXT WALLS	
EXCL VOID	
TOTAL GROSS FLOOR AREA:	300.75sqm
LANDSCAPING AREA:	327.67sqm
LANDSCAPING RATIO:	47.11%

DRAWING: _____ **REVISION:** _____
SITE PLAN _____ **F**

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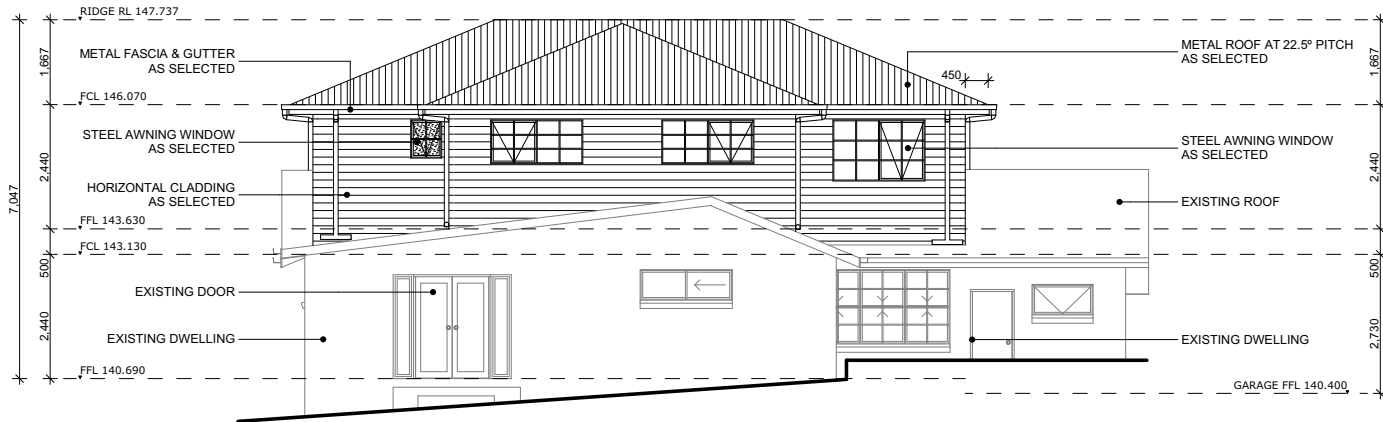
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DRAWING:	REVISION:
ELEVATIONS	F
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○ **FRONT ELEVATION**
1:100



○ **REAR ELEVATION**
1:100

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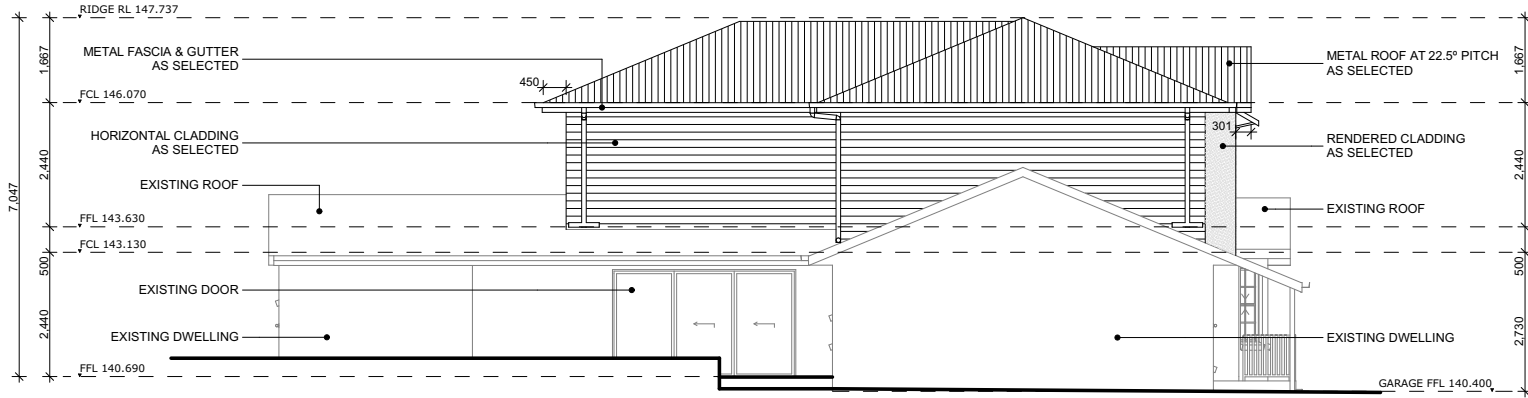
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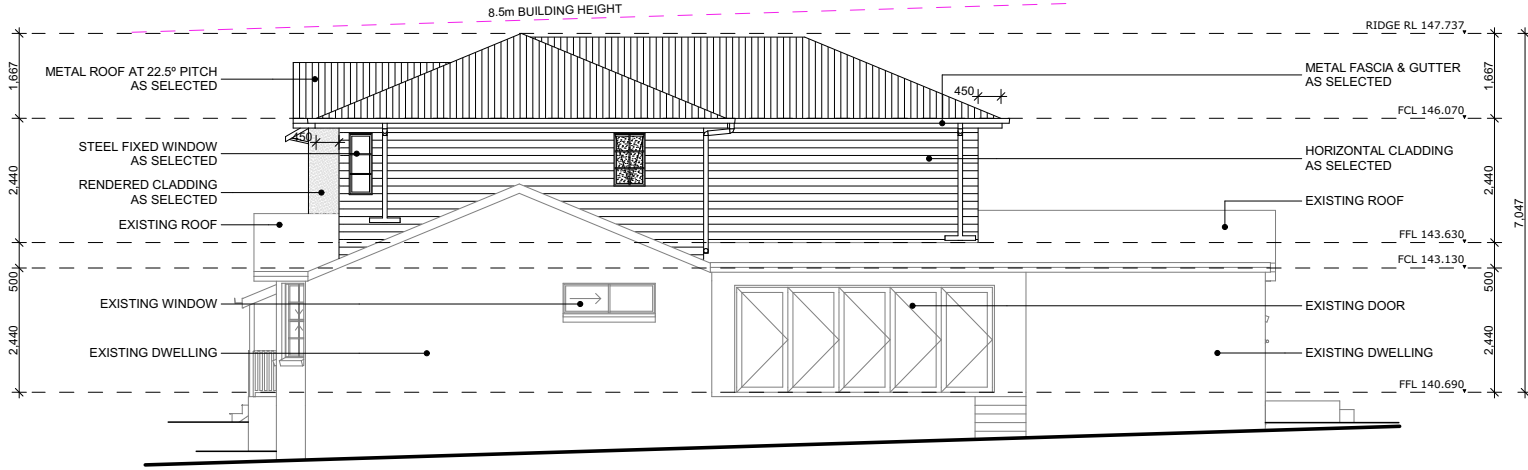
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ELEVATIONS		F
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8Bila	402	A3



○ LEFT ELEVATION
1:100



○ RIGHT ELEVATION
1:100

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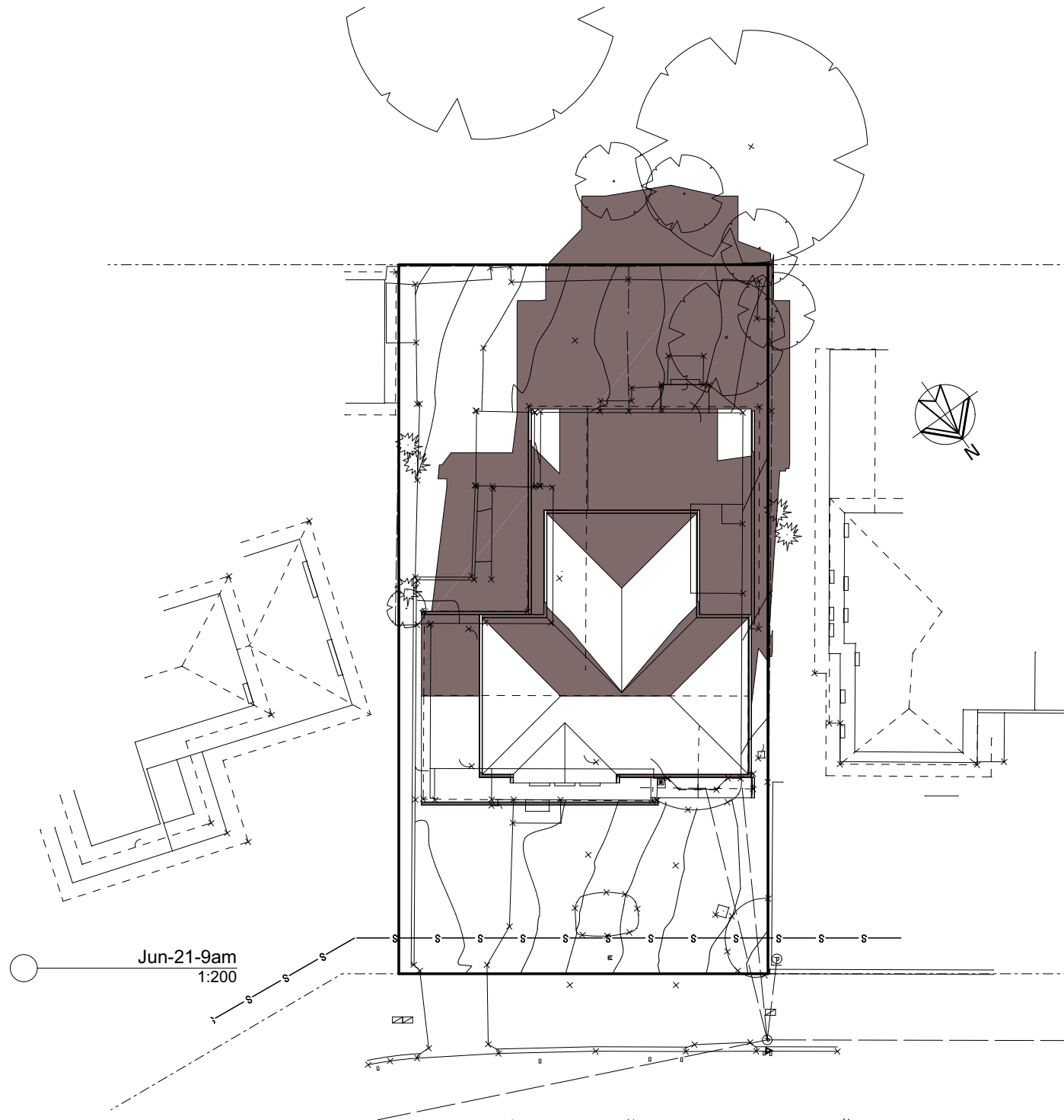
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SHADOWS	F
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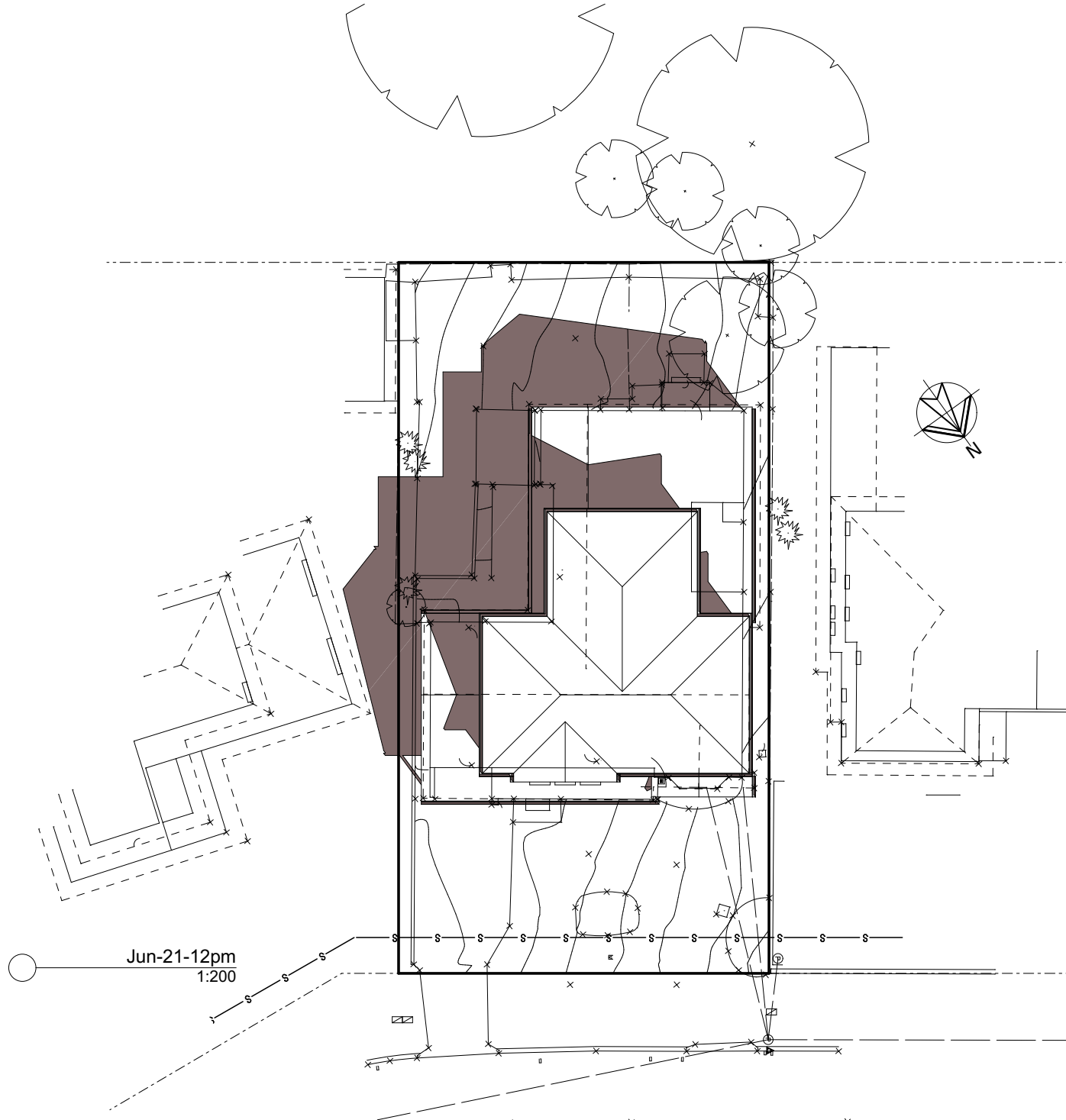
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