



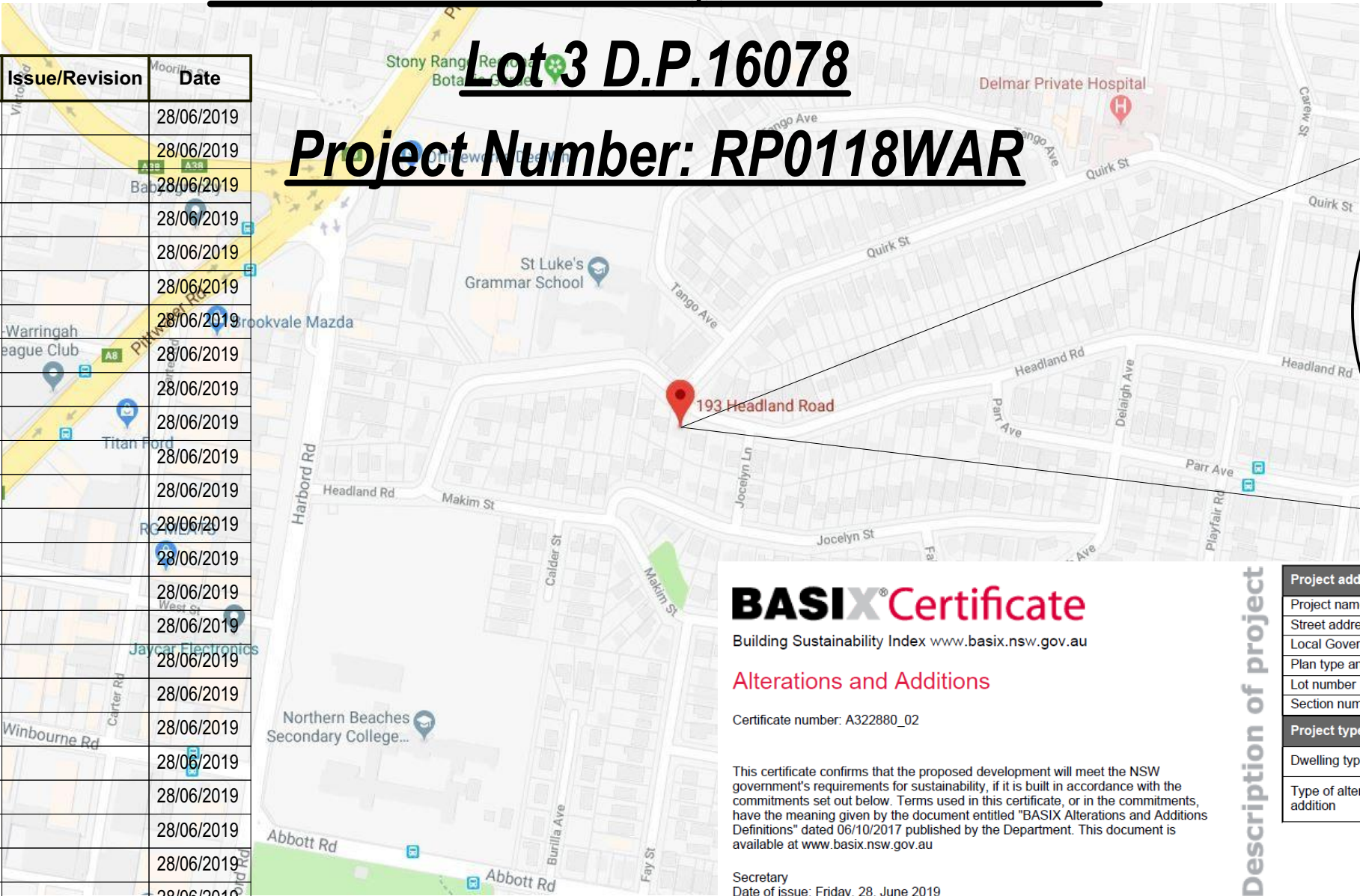
ALTERATIONS & ADDITIONS TO EXISTING RESIDENCE

For Rob Warren

193 Headland Road, North Curl Curl

Lot 3 D.P.16078

Project Number: RP0118WAR



Drawing No:	Description	...	Issue/Revision	Date
	Cover Sheet			28/06/2019
DA1001	A4 Notification Plan			28/06/2019
DA1002	Survey Plan			28/06/2019
DA1003	Site Plan			28/06/2019
DA1004	Existing Lower Ground Floor Plan			28/06/2019
DA1005	Existing Ground Floor Plan			28/06/2019
DA1006	Existing First Floor Plan			28/06/2019
DA1007	Demolition Lower Ground Floor Plan			28/06/2019
DA1008	Demolition Ground Floor Plan			28/06/2019
DA1009	Demolition First Floor			28/06/2019
DA1010	Landscape Open Space Plan			28/06/2019
DA1011	Landscape Plan			28/06/2019
DA1012	Sediment & Erosion Control Plan			28/06/2019
DA1013	Waste Management Plan			28/06/2019
DA1014	Stormwater Plan			28/06/2019
DA2001	Basement/Lower Ground Floor Plan			28/06/2019
DA2002	Ground Floor Plan			28/06/2019
DA2003	First Floor Plan			28/06/2019
DA2004	Roof Plan			28/06/2019
DA3001	Section 1			28/06/2019
DA3002	Section 2			28/06/2019
DA4001	Elevations 1			28/06/2019
DA4002	Elevations 2			28/06/2019
DA4003	Elevations 3			28/06/2019
DA5001	Perspective			28/06/2019
DA5002	Material & Colour Sample Board			28/06/2019
DA5003	June 21st Shadow - 9am			28/06/2019
DA5004	June 21st Shadow - 12pm			28/06/2019
DA5005	June 21st Shadow - 3pm			28/06/2019

BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A322880_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Friday, 28, June 2019
To be valid, this certificate must be lodged within 3 months of the date of issue.



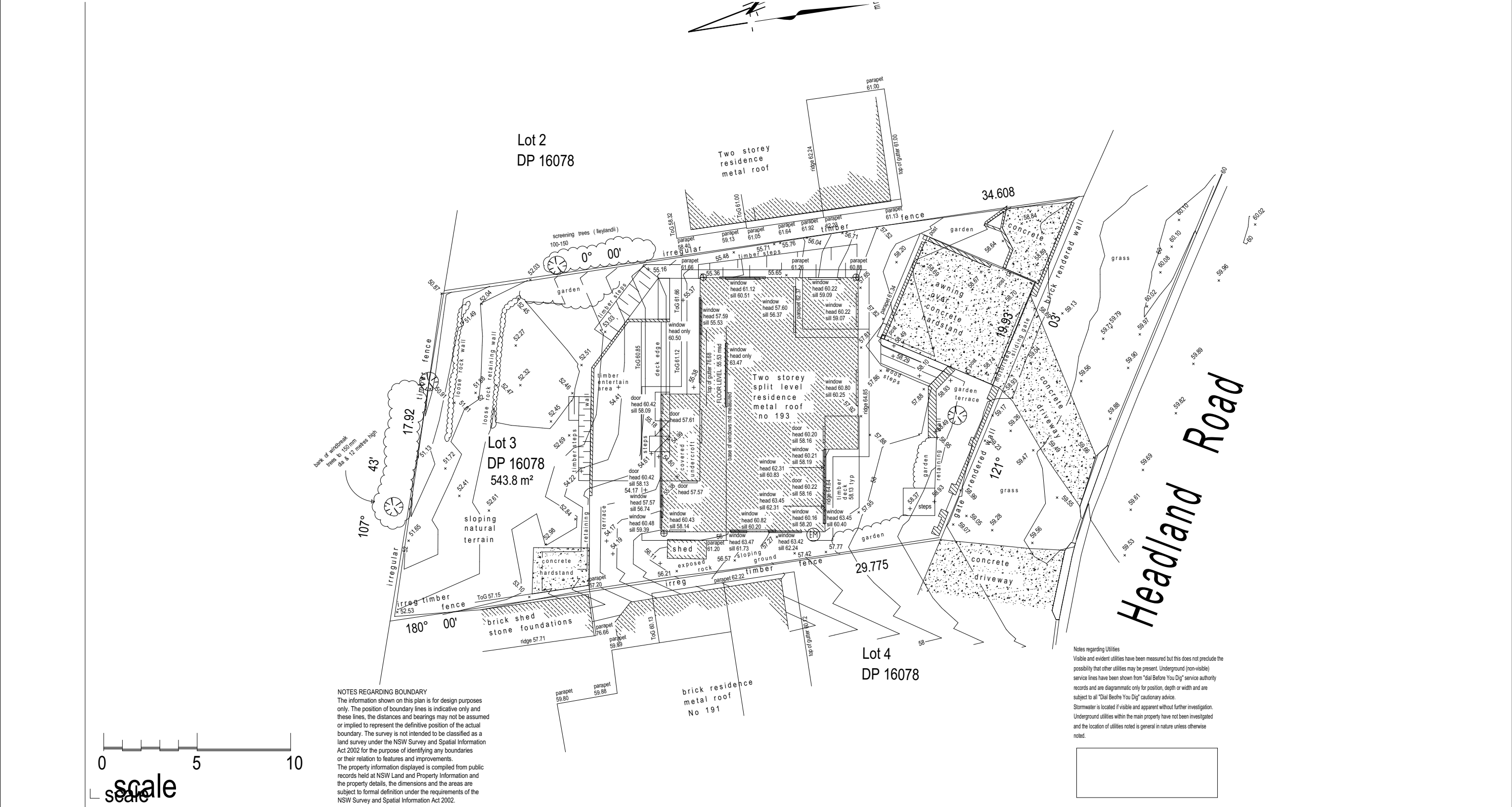
Description of project

Project address	
Project name	Warren_02
Street address	193 Headland Road North Curl Curl 2099
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 16078
Lot number	3
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)

Name / Company Name: Rapid Plans

ABN (if applicable): 43150064592



notes

- * these notes form an integral part of the plans and must be shown at all times on any full or partial display or reproduction of the plans in digital or hardcopy format in a legible manner.
- * levels to AHD, azimuth is MGA - grid is MGA plane
- * no attempt has been made to define boundaries by title.
- * all pipe sizes are approximate and pipe locations are indicative.
- * tree heights (h !!) are indicative.
- * scale 1:100 @ a1,

amendments

Sheet 1 of 1
drawing no.p464602

Project:
Plan showing features
and structures.
193 Headland Road
North Curl Curl
project reference: 4646

Client:
Rob Warren
193 Headland Road
North Curl Curl

Unit 2
27 Chiltern Road
Ingleside, NSW, 2101
Telephone 612 9956 6003

Builder to Check and Confirm all
Measurements Prior to
Commencement

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**



Rapid Plans
www.rapidplans.com.au
PO Box 6193 Frenchs Forest
DC NSW 2086
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Mobile: 0414-945-024
Email : gregg@rapidplans.com.au



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Client:
Rob Warren

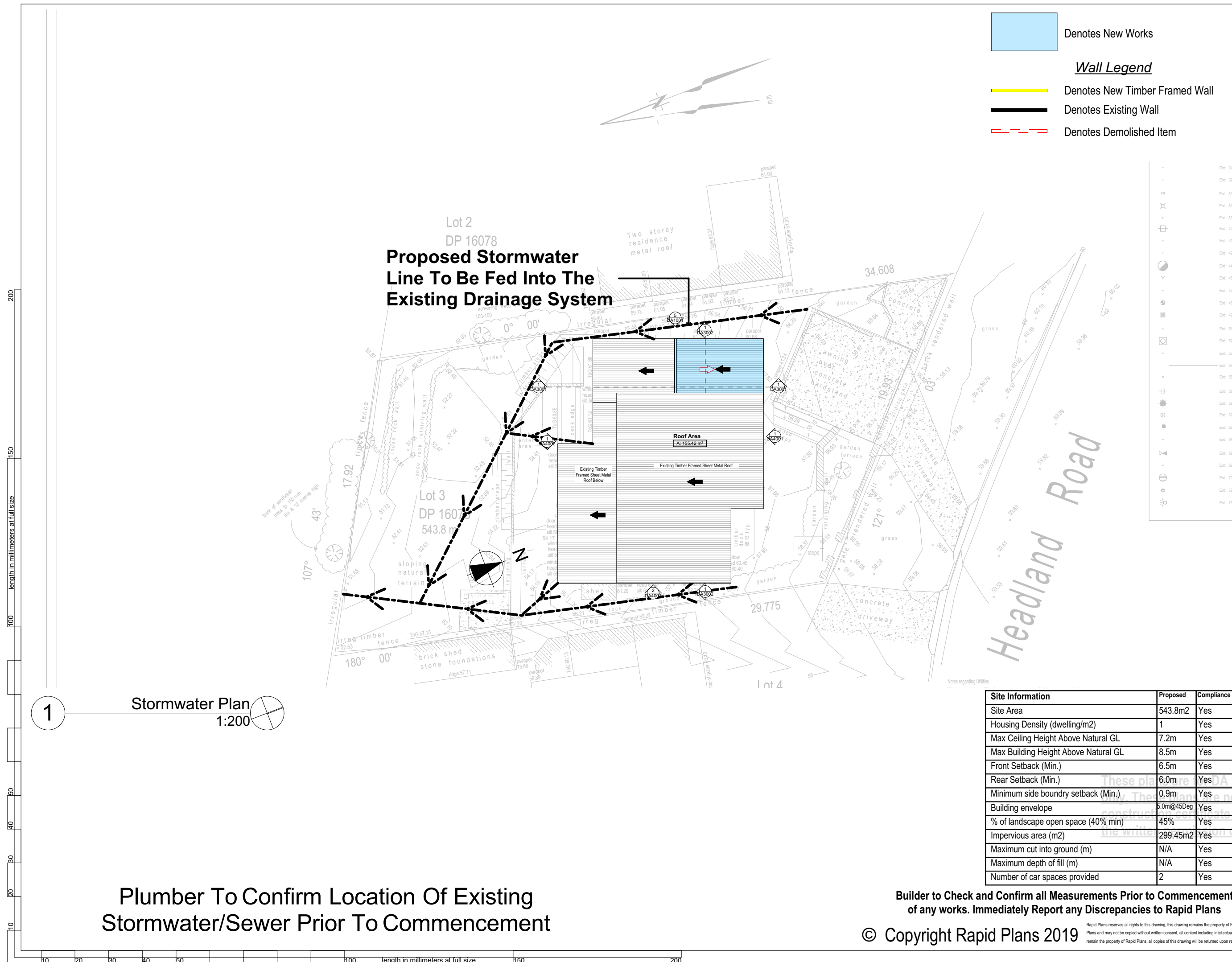
Project Name:
Alterations & Additions
193 Headland Road, North Curl Curl
2099

Lot 3 D.P.16078
Drawing Title:
Site Plans - Survey Plan

Scale: **A3 as noted**
Status: **DA**
Project No.
RP0118WAR

Date: 28/06/2019
Checked By: GBJ
Drawing No.
DA1002





Denotes New Works

Denotes New Timber Framed Wall

Denotes Existing Wall

Denotes Demolished Item

Wall Legend

Rapid Plans
Building Design and Architectural Drafting

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Mobile: 0414-945-024
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BUILDING
DESIGNERS
AUSTRALIA NSW

NOTES

193 Headland Road, North Curl Curl is zoned R2 - Low Density Residential.

All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue.

193 Headland Road, North Curl Curl is not considered a heritage item.

Construction

Timber Framed Floors, Weatherboard Cladded Timber Framed Walls

Roof Sheet Metal Clad Timber Frame to have R1.24 Insulation

Insulation to External Weatherboard Cladded Timber Framed Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS01288-2047

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic

Basic Certificate Number A322880_02

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floors), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North

DA APPLICATION ONLY

NOT FOR CONSTRUCTION

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Client
Rob Warren

Project Name
Alterations & Additions

193 Headland Road, North Curl Curl
2099

Lot 3 D.P. 16078

Drawing Title:
Site Plans - Stormwater Plan

Stormwater Plan

Scale: A3 as noted

Status: DA

Project No:
RP0118WAR

Date: 28/06/2019

Checked By: GBJ

Drawing No:
DA1014

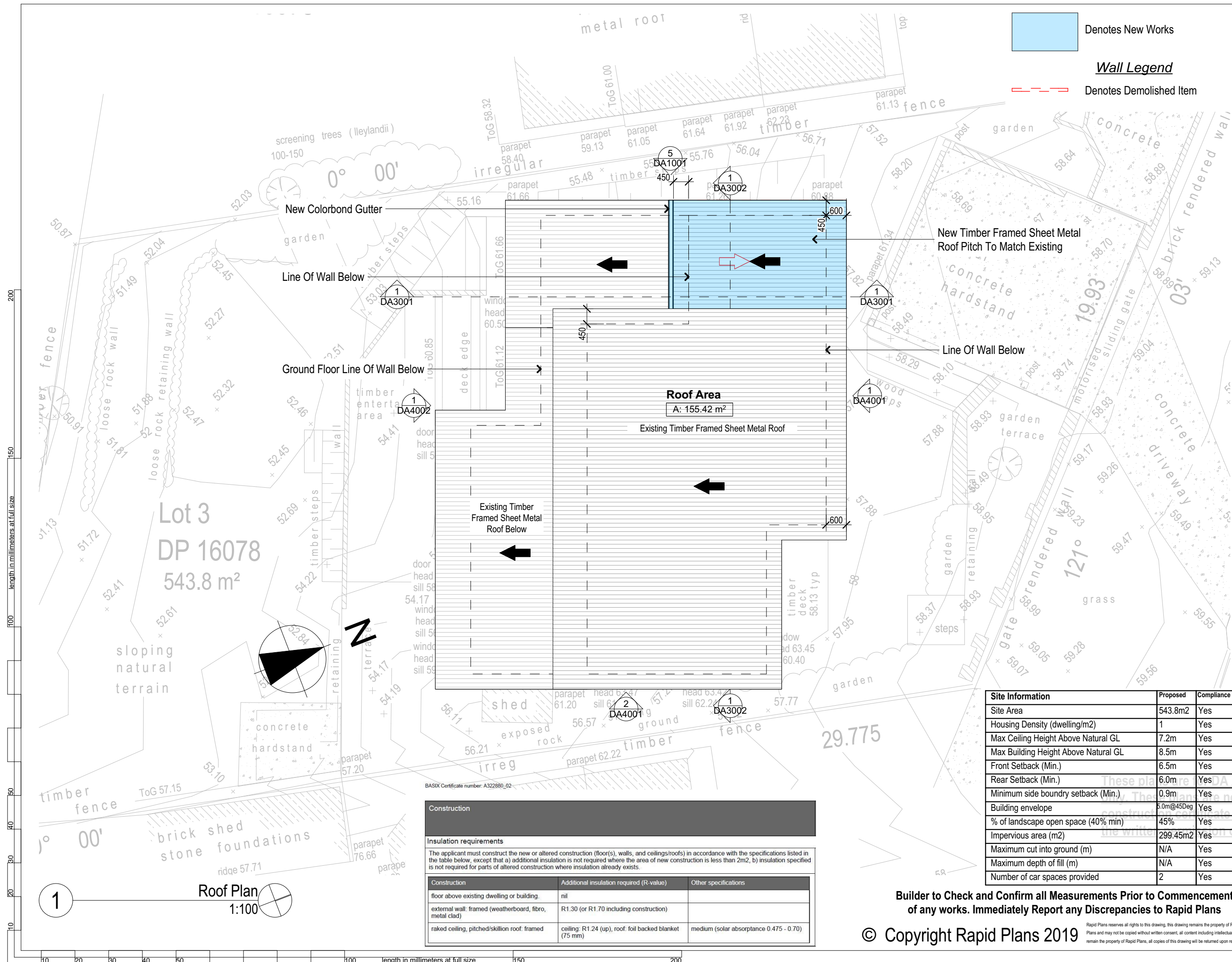
Site Information	Proposed	Compliance
Site Area	543.8m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	0.9m	Yes
Building envelope	5.0m@45Deg	Yes
% of landscape open space (40% min)	45%	Yes
Impervious area (m ²)	299.45m ²	Yes
Maximum cut into ground (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
Number of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

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Plumber To Confirm Location Of Existing Stormwater/Sewer Prior To Commencement



Denotes New Works

Denotes Demolished Item

Wall Legend

Rapid Plans

Building Design and Architectural Drafting

Rapid Plans

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BUILDING DESIGNERS AUSTRALIA NSW

NOTES
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Construction
Timber Framed Floors, Weatherboard Cladded Timber Framed Walls
Roof Sheet Metal Clad Timber Frame to have R1.24 Insulation
Insulation to External Weatherboard Cladded Timber Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

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Basix
Basix Certificate Number A322880_02
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North

DA APPLICATION ONLY

NOT FOR CONSTRUCTION

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Site Information	Proposed	Compliance
Site Area	543.8m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	0.9m	Yes
Building envelope	5.0m@45Deg	Yes
% of landscape open space (40% min)	45%	Yes
Impervious area (m2)	299.45m2	Yes
Maximum cut into ground (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
Number of car spaces provided	2	Yes

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Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
raked ceiling, pitched/skillion roof: framed	ceiling: R1.24 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Client

Rob Warren

Project Name

Alterations & Additions

193 Headland Road, North Curl Curl

2099

Lot 3 D.P.16078

Drawing Title:

Plans - Roof Plan

Scale: A3 as noted

Date: 28/06/2019

Status: DA

Checked By: GBJ

Project No:

Drawing No.

RP0118WAP

DA2004

NOTES

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All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue.
193 Headland Road, North Curl Curl is not considered a heritage item.

Construction

Timber Framed Floors, Weatherboard Cladded Timber Framed Walls
Roof Sheet Metal Clad Timber Frame to have R1.24 Insulation
Insulation to External Weatherboard Cladded Timber Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
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Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North



DA APPLICATION ONLY
NOT FOR CONSTRUCTION

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Client: Rob Warren
Project Name: **Alterations & Additions**
193 Headland Road, North Curl Curl
2099

Lot 3 D.P.16078

Drawing Title:

Elevations - Elevations 1

North, East

Scale: A3 as noted Date: 28/06/2019

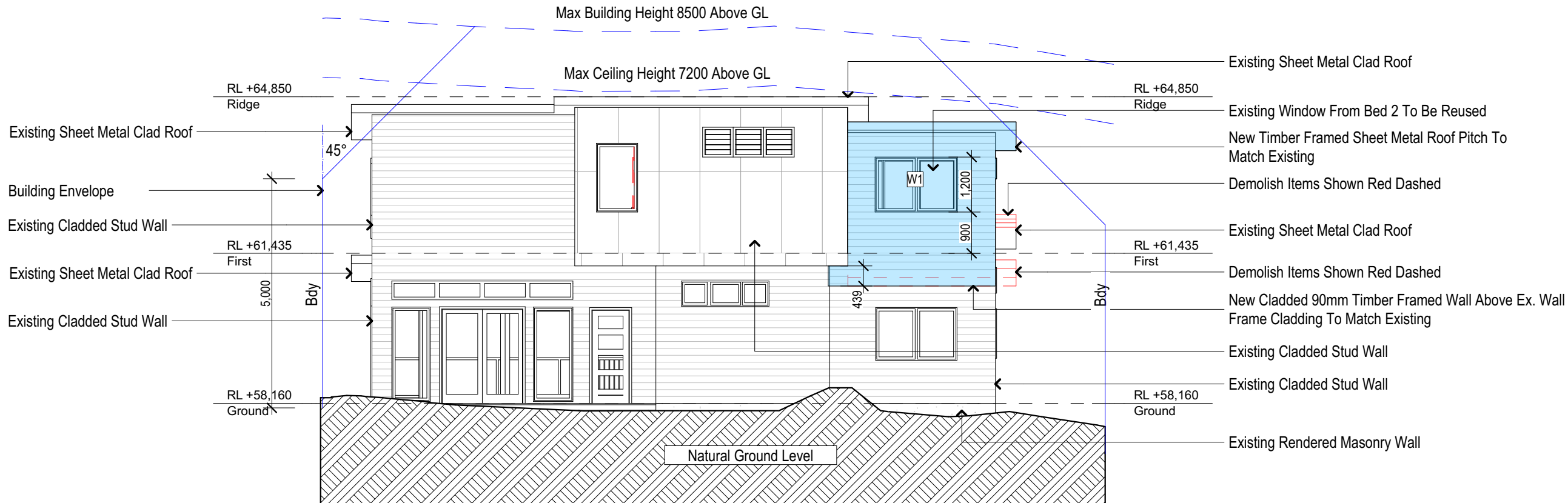
Status: DA

Checked By: GBJ

Project No:

Drawing No.

RP0118WAP DA4001



Existing Sheet Metal Clad Roof

Existing Window From Bed 2 To Be Reused

New Timber Framed Sheet Metal Roof Pitch To Match Existing

Demolish Items Shown Red Dashed

Existing Sheet Metal Clad Roof

Demolish Items Shown Red Dashed

New Cladded 90mm Timber Framed Wall Above Ex. Wall Frame Cladding To Match Existing

Existing Cladded Stud Wall

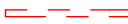
Existing Cladded Stud Wall

Existing Rendered Masonry Wall



Denotes New Works

Wall Legend



Denotes Demolished Item

Site Information	Proposed	Compliance
Site Area	543.8m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	0.9m	Yes
Building envelope	5.0m@45Deg	Yes
% of landscape open space (40% min)	45%	Yes
Impervious area (m2)	299.45m2	Yes
Maximum cut into ground (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
Number of car spaces provided	2	Yes

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NOTES

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193 Headland Road, North Curl Curl is not considered a heritage item.

Construction

Timber Framed Floors, Weatherboard Cladded Timber Framed Walls
Roof Sheet Metal Clad Timber Frame to have R1.24 Insulation
Insulation to External Weatherboard Cladded Timber Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
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Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
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Certifying

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Basix

Basix Certificate Number A322880_02
All Plans to be read in conjunction with Basix Certificate
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Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North



DA APPLICATION ONLY

NOT FOR CONSTRUCTION

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Client
Rob Warren
Project Name
Alterations & Additions
193 Headland Road, North Curl Curl
2099

Lot 3 D.P.16078

Drawing Title:

Elevations - Elevations 2

South

Scale: A3 as noted

Date: 28/06/2019

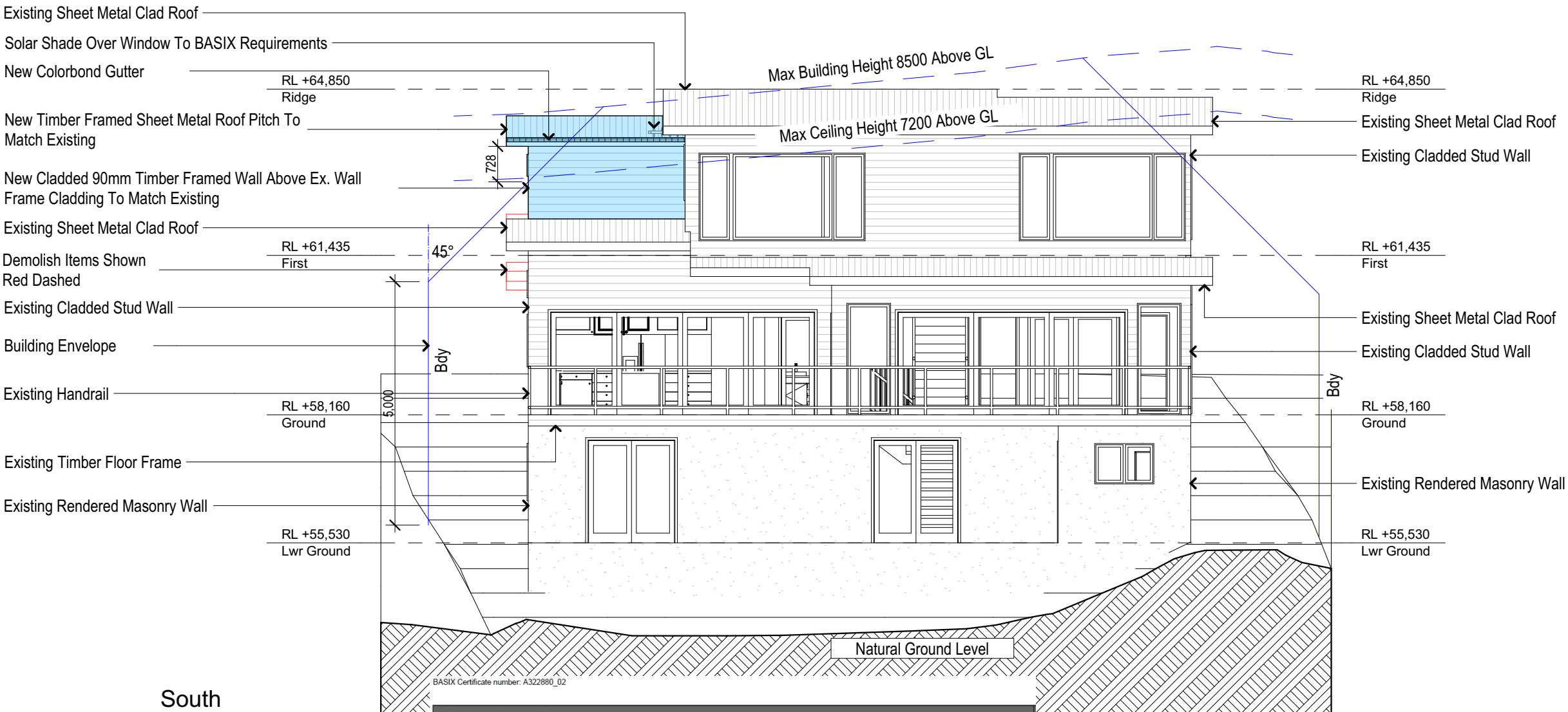
Status: DA

Checked By: GBJ

Project No:

Drawing No.

RP0118WAP
DA4002



Glazing requirements

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W1	N	2.16	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	W	2.16	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W3	W	1.06	0	0	projection/height above sill ratio >=0.36	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Site Information	Proposed	Compliance
Site Area	543.8m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	0.9m	Yes
Building envelope	5.0m@45Deg	Yes
% of landscape open space (40% min)	45%	Yes
Impervious area (m ²)	299.45m ²	Yes
Maximum cut into ground (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
Number of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

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1

South
1:100

Denotes New Works

Wall Legend

Denotes Demolished Item

length in millimeters at full size

BASIX Certificate number: A322880_02

Glazing requirements

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

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For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W1	N	2.16	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	W	2.16	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W3	W	1.06	0	0	projection/height above sill ratio >=0.36	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Site Information	Proposed	Compliance
Site Area	543.8m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	0.9m	Yes
Building envelope	5.0m@45Deg	Yes
% of landscape open space (40% min)	45%	Yes
Impervious area (m ²)	299.45m ²	Yes
Maximum cut into ground (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
Number of car spaces provided	2	Yes

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NOTES

193 Headland Road, North Curl Curl is zoned R2 - Low Density Residential.
All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue.
193 Headland Road, North Curl Curl is not considered a heritage item.

Construction

Timber Framed Floors, Weatherboard Cladded Timber Framed Walls.
Roof Sheet Metal Clad Timber Frame to have R1.24 Insulation.
Insulation to External Weatherboard Cladded Timber Framed Walls R1.70.
Refer to Engineers drawings for structural details.
All work to Engineers Specification and BCA.
Timber framing to BCA and AS 1684.
Termite Management to BCA and AS 3660.1.
Glazing to BCA and AS01288-2047.
Waterproofing to BCA and AS 3740.
New Lighting to have minimum of 40% compact fluorescent lamps.
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

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Basix

Basix Certificate Number A322880_02.
All Plans to be read in conjunction with Basix Certificate.
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The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North



DA APPLICATION ONLY

NOT FOR CONSTRUCTION

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Client: Rob Warren
Project Name: **Alterations & Additions**
193 Headland Road, North Curl Curl
2099

Lot 3 D.P.16078

Drawing Title:

Elevations - Elevations 3

West

Scale: A3 as noted Date: 28/06/2019

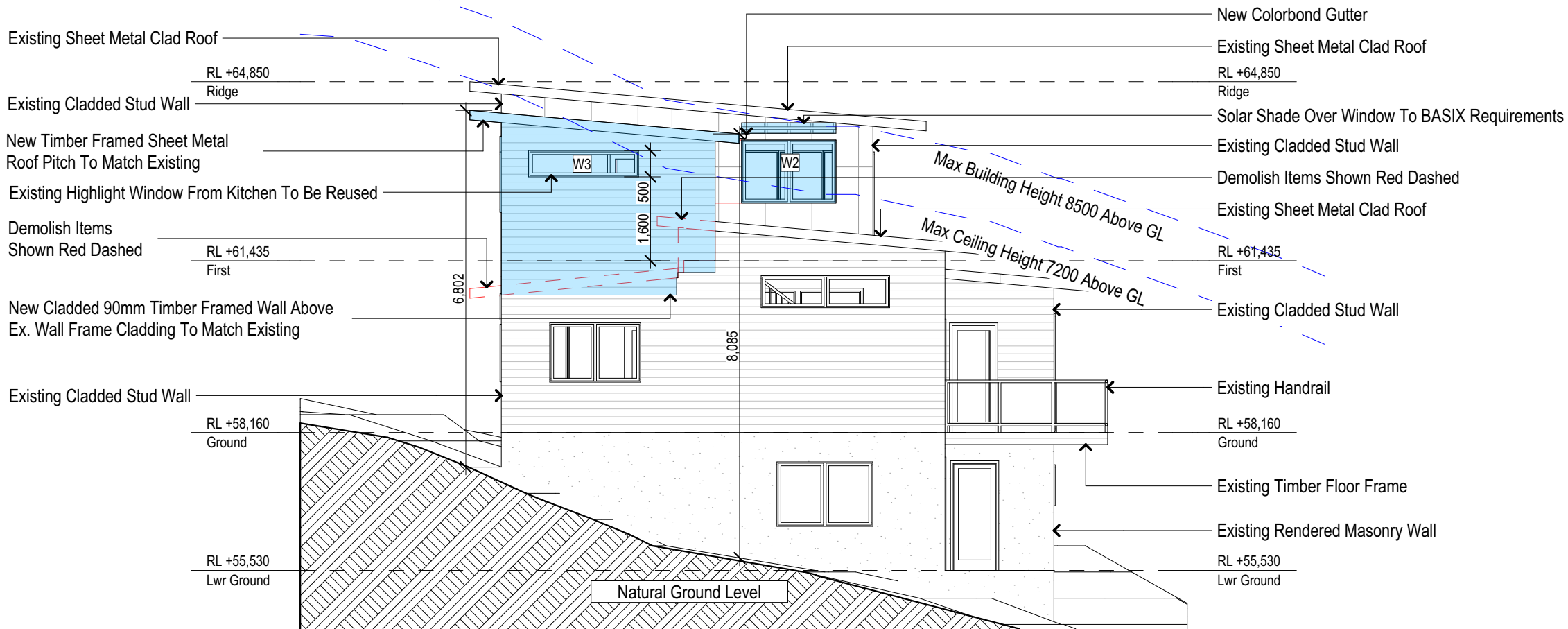
Status: DA

Checked By: GBJ

Project No:

Drawing No.

RP0118WAP DA4003



2

West

1:100

BASIX Certificate number: A322880_02

Glazing requirements

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Overshadowing Distance (m)	Shading device	Frame and glass type
W1	N	2.16	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	W	2.16	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W3	W	1.06	0	0	projection/height above sill ratio >=0.36	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Denotes New Works

Wall Legend

Denotes Demolished Item

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

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NOTES
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Construction
Timber Framed Floors, Weatherboard Cladded Timber Framed Walls
Roof Sheet Metal Clad Timber Frame to have R1.24 Insulation
Insulation to External Weatherboard Cladded Timber Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
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Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
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Basic
Basic Certificate Number A322880_02
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North



DA APPLICATION ONLY

NOT FOR CONSTRUCTION

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Client: Rob Warren
Project Name: **Alterations & Additions**
193 Headland Road, North Curl Curl
2099

Lot 3 D.P.16078

Drawing Title:

Sunstudy - Perspective

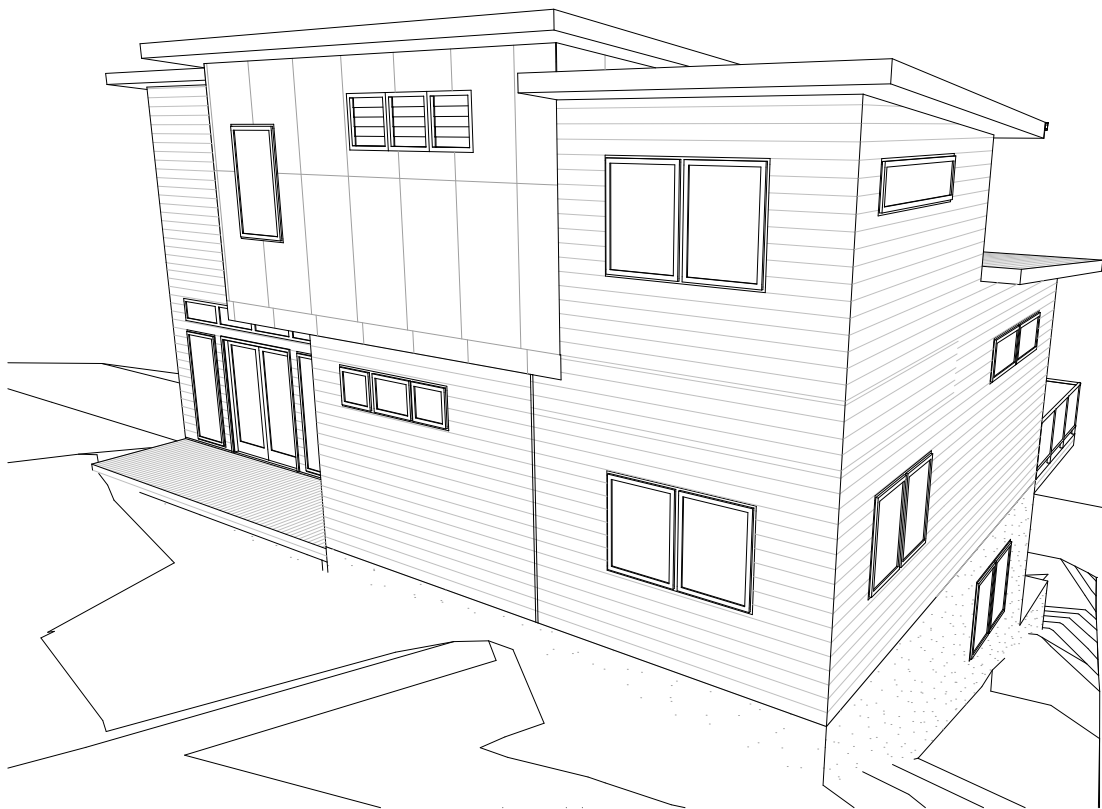
Perspective North, Perspective East, Perspective South

Status: DA as noted Date: 28/06/2019

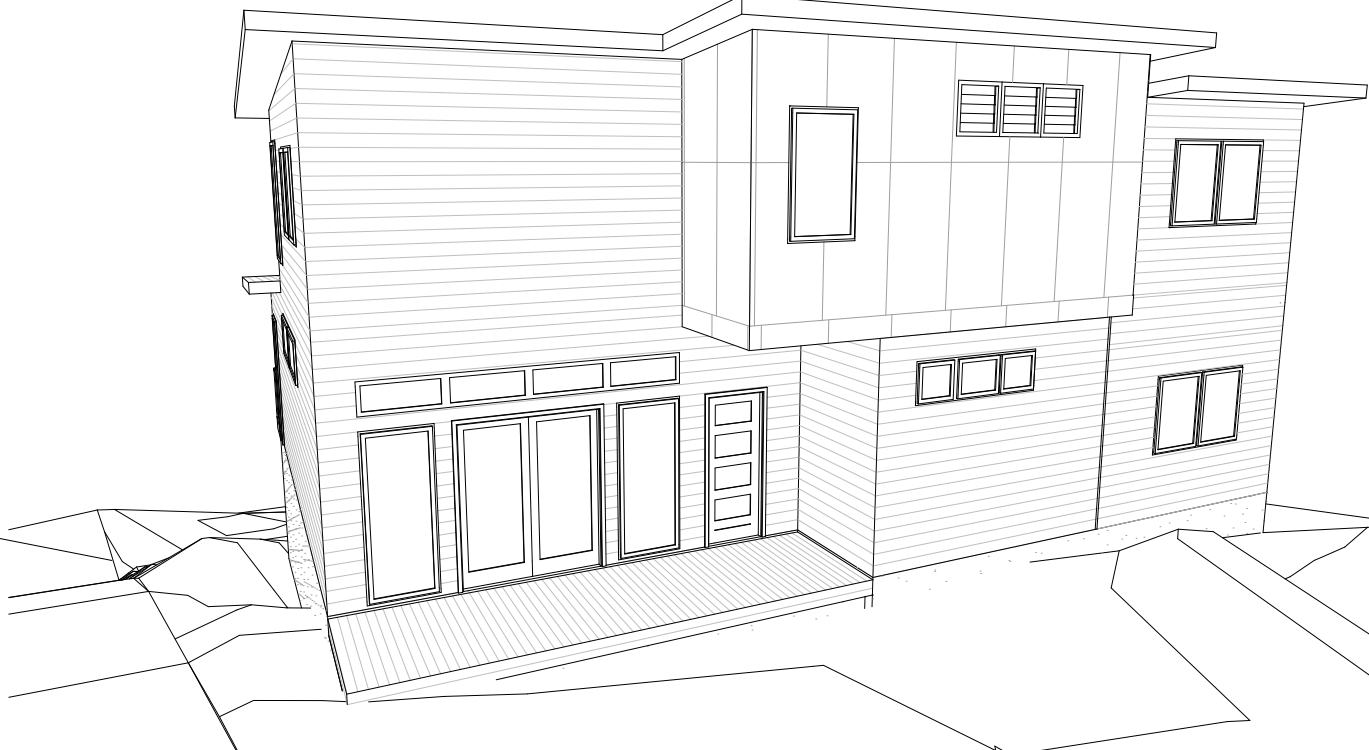
Checked By: GBJ

Project No: RP0118WAP

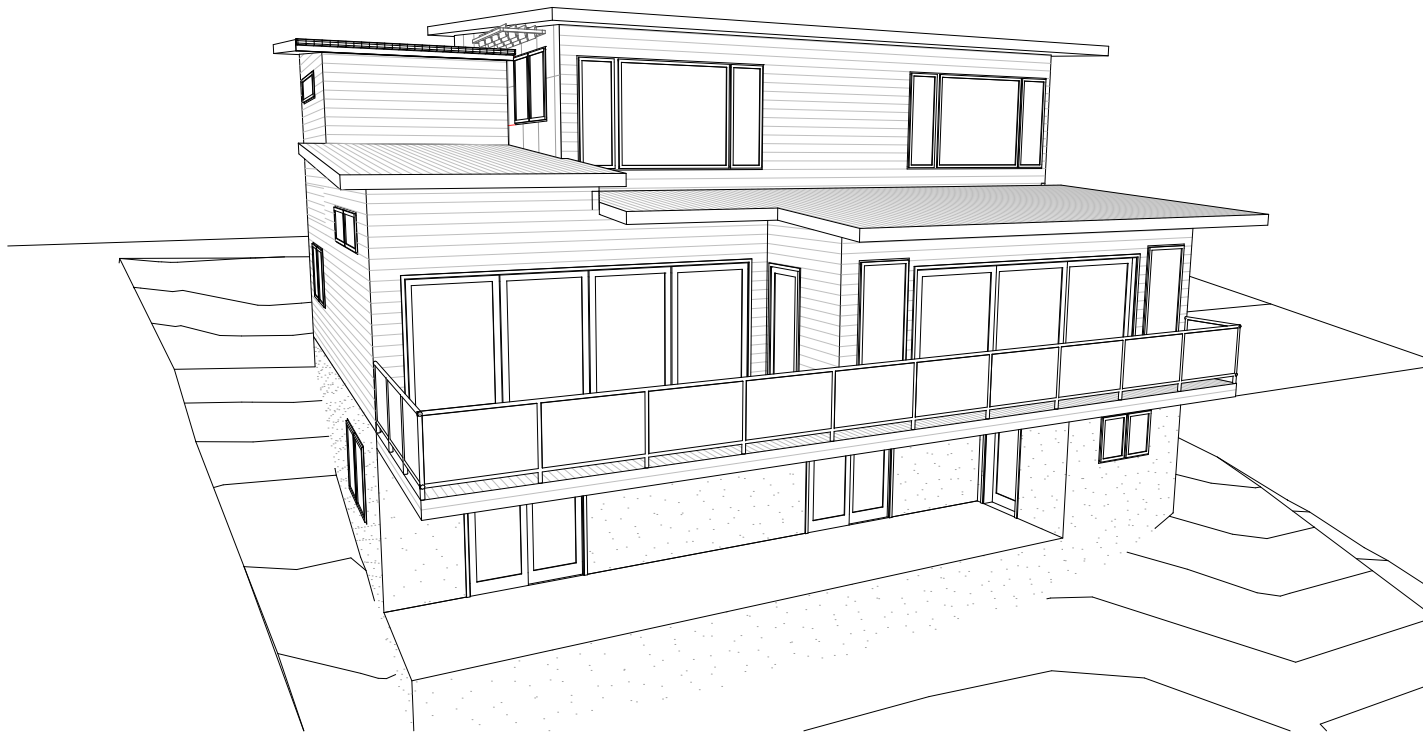
Drawing No: DA5001



1 Perspective North
1:50



2 Perspective East
1:50



3 Perspective South
1:50

Site Information	Proposed	Compliance
Site Area	543.8m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	0.9m	Yes
Building envelope	5.0m@45Deg	Yes
% of landscape open space (40% min)	45%	Yes
Impervious area (m ²)	299.45m ²	Yes
Maximum cut into ground (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
Number of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

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Denotes Sheet Metal Roof (Typical). Owner To Confirm Type & Colour



Denotes Colorbond Gutter (Typical). Owner To Confirm Type & Colour



Denotes Horizontal Cladded Wall (Typical). Owner To Confirm Type & Colour



Denotes Solar Shade Awning (Typical). Owner To Confirm Type & Colour



Site Information	Proposed	Compliance
Site Area	543.8m2	Yes
Housing Density (dwelling/m2)	1	Yes
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PO Box 6193 Frenchs Forest DC NSW 2086
Fax : (02) 9905-8865
Mobile: 0414-945-024
Email : grega@rapidplans.com.au



BUILDING
DESIGNERS
AUSTRALIA NSW


NOTES
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Basix Certificate Number A322880_02
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Project North



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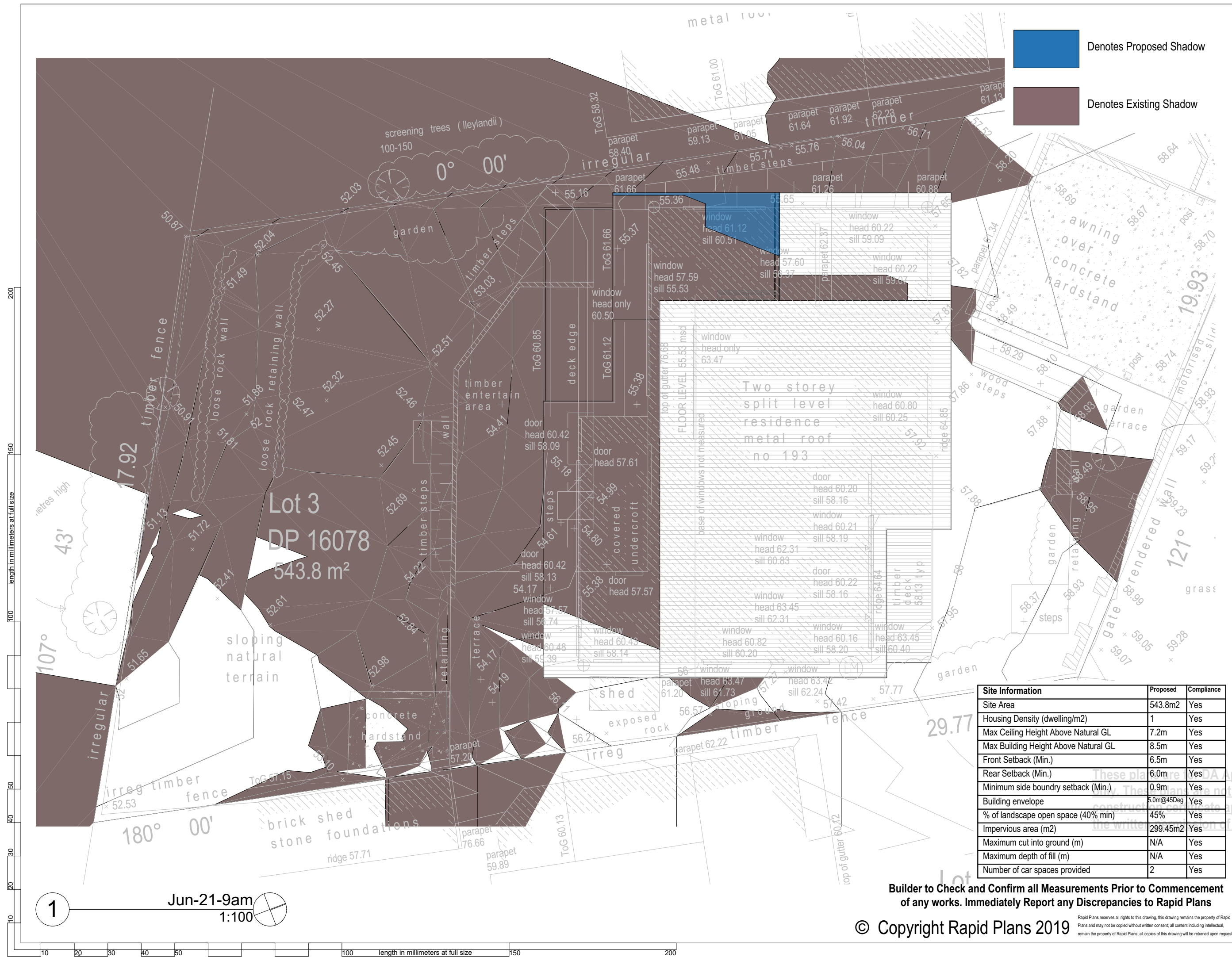
Client
Rob Warren

Project Name
Alterations & Additions
193 Headland Road, North Curl Curl
2099

Lot 3 D.P. 16078

Drawing Title:
Sunstudy - Material & Colour Sample Board

Scale: A3 as noted	Date: 28/06/2019
Status: DA	Checked By: GBJ
Project No: RP0118WAP	Drawing No: DA5002



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BUILDING DESIGNERS AUSTRALIA NSW

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Client
Rob Warren
Project Name
Alterations & Additions
193 Headland Road, North Curl Curl
2099
Lot 3 D.P.16078

Site Information	Proposed	Compliance
Site Area	543.8m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
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Impervious area (m2)	299.45m2	Yes
Maximum cut into ground (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
Number of car spaces provided	2	Yes

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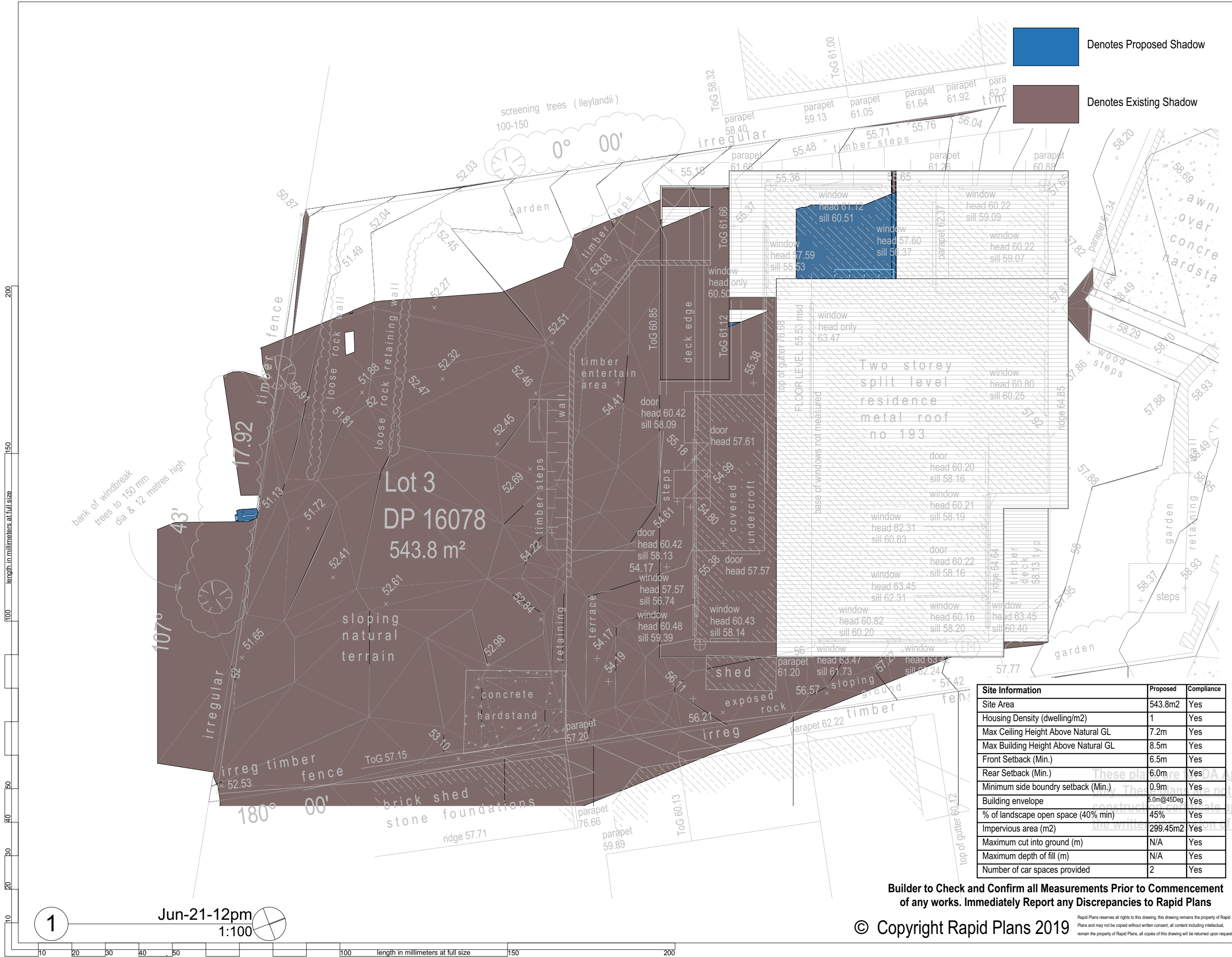
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Drawing Title:

Sunstudy - June 21st Shadow - 9am
Jun-21-9am

Scale: A3 as noted	Date: 28/06/2019
Status: DA	Checked By: GBJ
Project No: RP0118WAP	Drawing No: DA5003



Denotes Proposed Shadow

Denotes Existing Shadow



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BUILDING
DESIGNERS
AUSTRALIA NSW

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Project North

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

Site Information	Proposed	Compliance
Site Area	543.8m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
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Front Setback (Min.)	6.5m	Yes
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Client
Rob Warren

Project Name
Alterations & Additions
193 Headland Road, North Curl Curl
2099

Lot 3 D.P. 16078

Drawing Title:
Sunstudy - June 21st Shadow - 12pm
Jun-21-12pm

Scale: A3 as noted
Status: DA

Date: 28/06/2019
Checked By: GBJ

Project No:
Drawing No:

RP0118WAP
DA5004

