



**LOCALITY PLAN**

DEVELOPMENT APPLICATION  
 Alterations and Additions - Garage,  
 Workshop, Store & Swimming Pool

88 QUIRK STREET  
 DEE WHY. N.S.W. 2099

applicant:

Mr. & Mrs. J. & T. Lowry

**DA - DRAWING SCHEDULE:**

- DA 01: COVER SHEET, LOCALITY AND DRAWING SCHEDULE
- DA 02: SITE SURVEY & SITE EVALUATION PLAN, and SITE INFORMATION
- DA 03: LANDSCAPE CALCULATION PLAN
- DA 04: EXISTING GROUND FLOOR PLAN
- DA 05: EXISTING FIRST FLOOR PLAN
- DA 06: EXISTING MEZZANINE FLOOR PLAN
- DA 07: PROPOSED GARAGE/WORKSHOP/STORAGE FLOOR PLAN
- DA 08: PROPOSED POOL & GARAGE ROOF PATIO PLAN
- DA 09: ROOF PLAN, CONCEPT DRAINAGE PLAN & TYPICAL SILT FENCE DETAIL

- DA 10: NORTH ELEVATION (BUSHEY PL.) & SOUTH ELEVATION (QUIRK ST) & DOOR SCHEDULE
- DA 11: EAST ELEVATION & WINDOW SCHEDULE
- DA 12: WEST ELEVATION
- DA 13: SECTION S01, SECTION S02 & SECTION S03
- DA 14: 'BASIX' CERTIFICATE A1777991 SHTS. 1, 2, & 3
- DA 15: 'BASIX' CERTIFICATE A1777991 SHTS. 4 & 5.
- DA 16: MATERIALS FINISHES SAMPLE SHEET
- DA 17: WASTE MANAGEMENT & MINIMISE DETAILS & MATERIALS STORAGE

THE BUILDER SHALL CHECK ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO CONSTRUCTION.  
 NOTIFY ANY ERRORS, DISCREPANCIES OR OMISSIONS TO THE BUILDING DESIGNER.  
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DATE	REV.	AMENDMENT
16-12-2024	A	DEVELOPMENT APPLICATION ISSUE

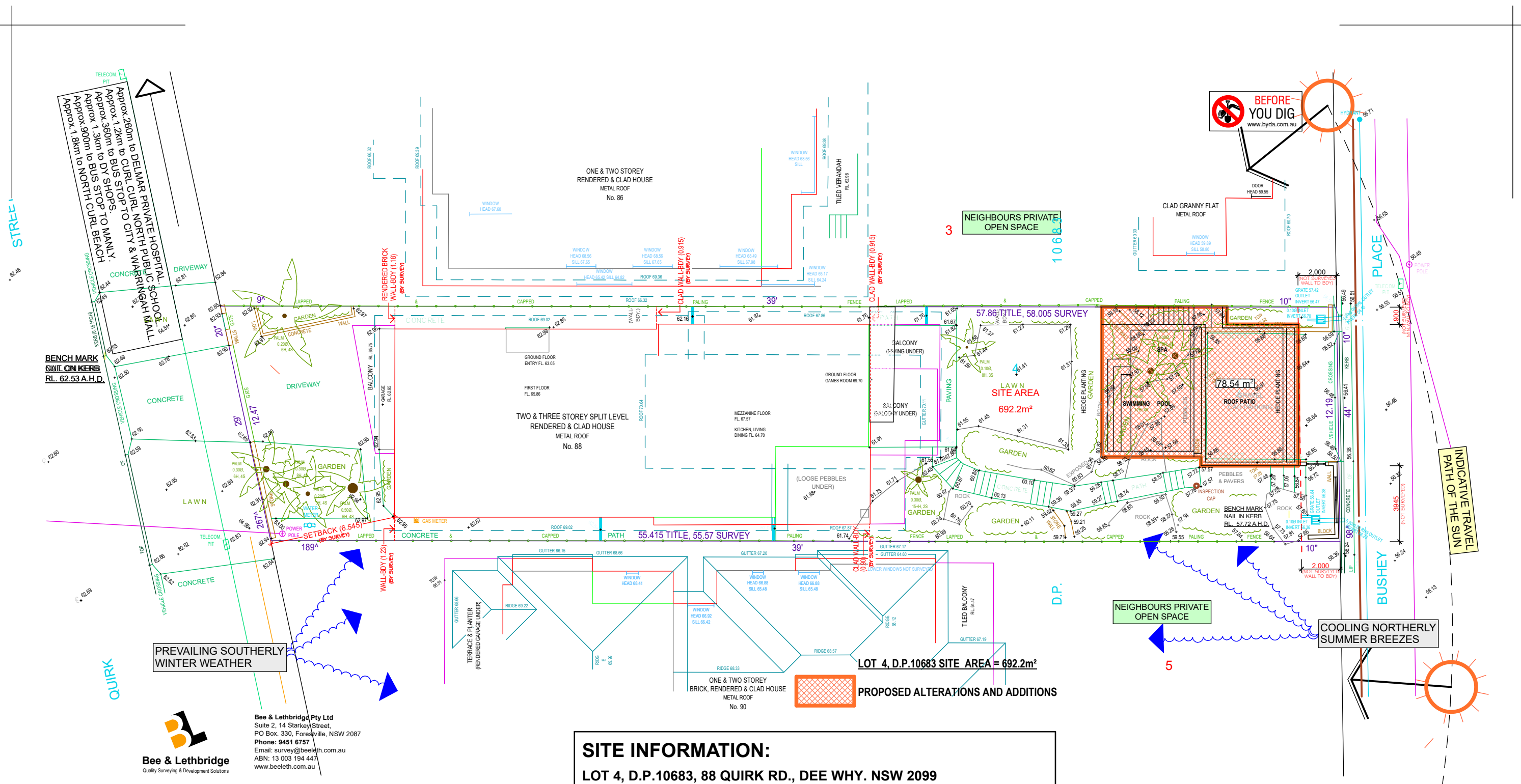
**LKS DESIGN & DRAFTING**  
 ABN 62343830351  
 ACCREDITED BUILDING DESIGNER No.6120  
 P.O. Box 4101, North Curl Curl, N.S.W. 2099  
 Mobile: 0418 662 771  
 Email: lks1@bigpond.net.au

**PROJECT:**  
 PROPOSED ALTERATIONS &  
 ADDITIONS TO EXISTING DWELLING  
 88 QUIRK STREET,  
 DEE WHY. N.S.W. 2099  
 LOT. 4. DP.10683

**CLIENT:**  
 Mr. & Mrs. J. & T. Lowry  
**DRAWING TITLE:**  
 COVER SHEET

DEVELOPMENT APPLICATION ISSUE

<b>DATE:</b>	16th December, 2024
<b>SCALE:</b>	As Shown
<b>DRAWN:</b>	L.K.S.
<b>PROJECT REF:</b>	2401 DA01 Rev. A



**SITE SURVEY & SITE EVALUATION PLAN**  
1:200

**SITE INFORMATION:**  
LOT 4, D.P.10683, 88 QUIRK RD., DEE WHY. NSW 2099

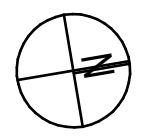
<b>TOTAL SITE AREA:</b>	<b>692.2m<sup>2</sup></b>
EXISTING DWELLING FLOOR AREA	441.7m <sup>2</sup>
ADDITIONAL DWELLING FOOTPRINT	0.0m <sup>2</sup>
<b>TOTAL DWELLING FLOOR AREA</b>	<b>441.7m<sup>2</sup></b>
<b>PROPOSED GARAGE/WORKSHOP/STORE FLOOR AREA</b>	<b>52.04m<sup>2</sup></b>
EXISTING LANDSCAPE AREA	38.09% of site 263.71m <sup>2</sup>
LANDSCAPE AREA TO BE REMOVED	40.19m <sup>2</sup>
PROPOSED SURFACE AREA OF POOL & SPA WATER	30.31m <sup>2</sup>
<b>TOTAL PROPOSED LANDSCAPE AREA</b>	<b>36.67% of site 253.83m<sup>2</sup></b>

**Bee & Lethbridge Pty Ltd**  
Suite 2, 14 Starkey Street,  
PO Box. 330, Forestville, NSW 2087  
Phone: 9451 6757  
Email: survey@beeleth.com.au  
ABN: 13 003 194 447  
www.beeleth.com.au



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PROPOSED ALTERATIONS & ADDITIONS TO EXISTING DWELLING  
88 QUIRK STREET,  
DEE WHY. N.S.W. 2099  
LOT. 4. DP.10683

**CLIENT:**  
Mr. & Mrs. J. & T. Lowry  
**DRAWING TITLE:**  
SITE SURVEY AND SITE EVALUATION PLAN & SITE INFORMATION

**DATE:** 16th December, 2024  
**SCALE:** As Shown  
**DRAWN:** L.K.S.  
**PROJECT REF:** 2401 DA02 Rev. A

**DEVELOPMENT APPLICATION ISSUE**



STREET

PLACE

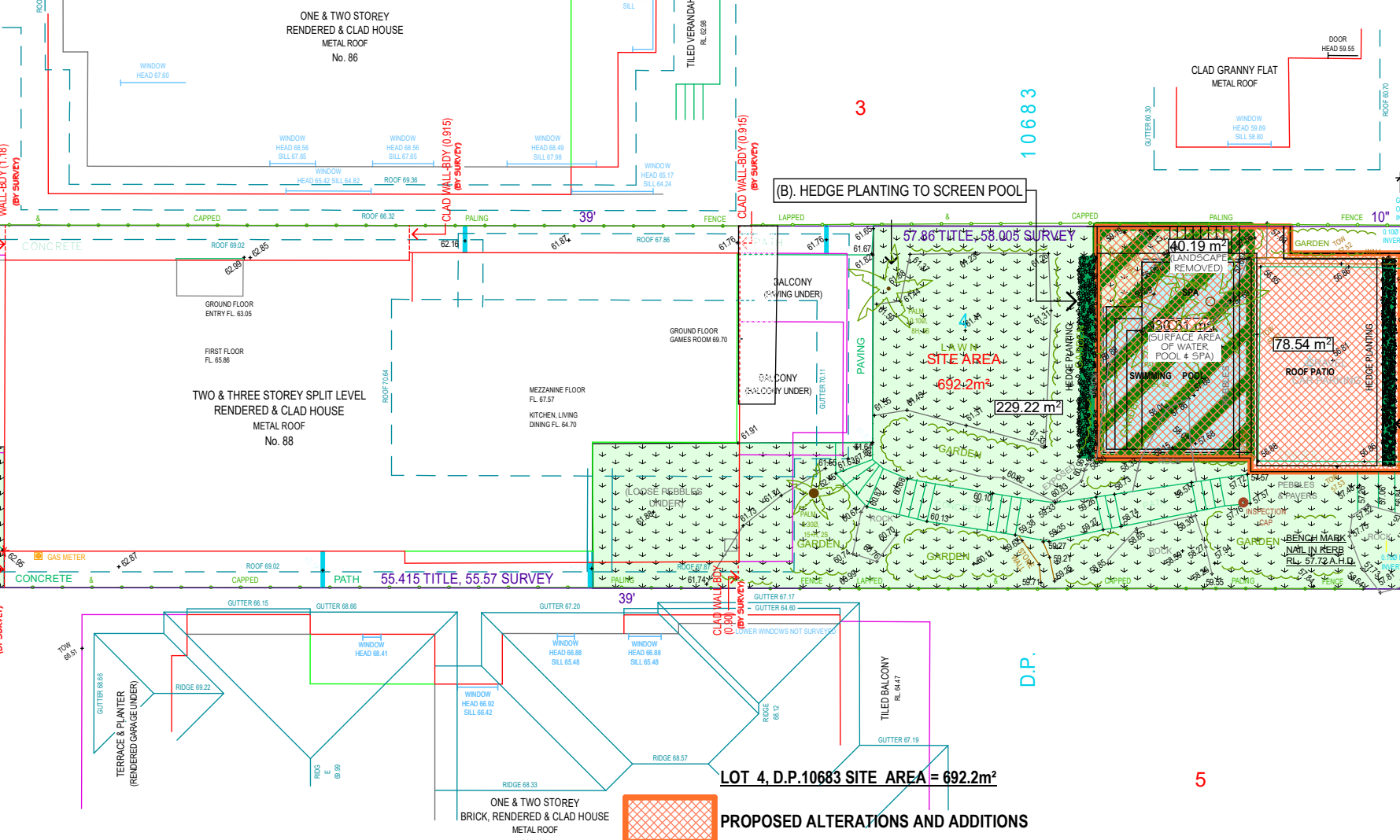
BUSHEY

QUIRK

BENCH MARK  
ON KERR  
RL. 62.53 A.H.D.

**Bee & Lethbridge**  
Quality Surveying & Development Solutions

Bee & Lethbridge Pty Ltd  
Suite 2, 14 Starkey Street,  
PO Box 330, Forestville, NSW 2087  
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ABN: 13 003 194 447  
www.beelet.com.au



- PROPOSED ALTERATIONS AND ADDITIONS**
- EXISTING LANDSCAPE AREA = 263.71m<sup>2</sup>, (38.09% of Site)
  - EXISTING LANDSCAPE AREA REMOVED = 40.19m<sup>2</sup>
  - PROPOSED SWIMMING POOL (Surface area of water) = 30.31m<sup>2</sup>
  - PROPOSED LANDSCAPE AREA = 253.83m<sup>2</sup>, (36.67% of Site)**



(A). SELECT PLANTING TO ROOF PATIO - BUSHEY PLACE.

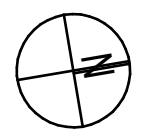


(B). SELECT HEDGE PLANTING TO SCREEN POOL

**LANDSCAPE PLAN**  
1:200

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LOT. 4. DP.10683

**CLIENT:**  
Mr. & Mrs. J. & T. Lowry

**DRAWING TITLE:**  
LANDSCAPE CALCULATION PLAN

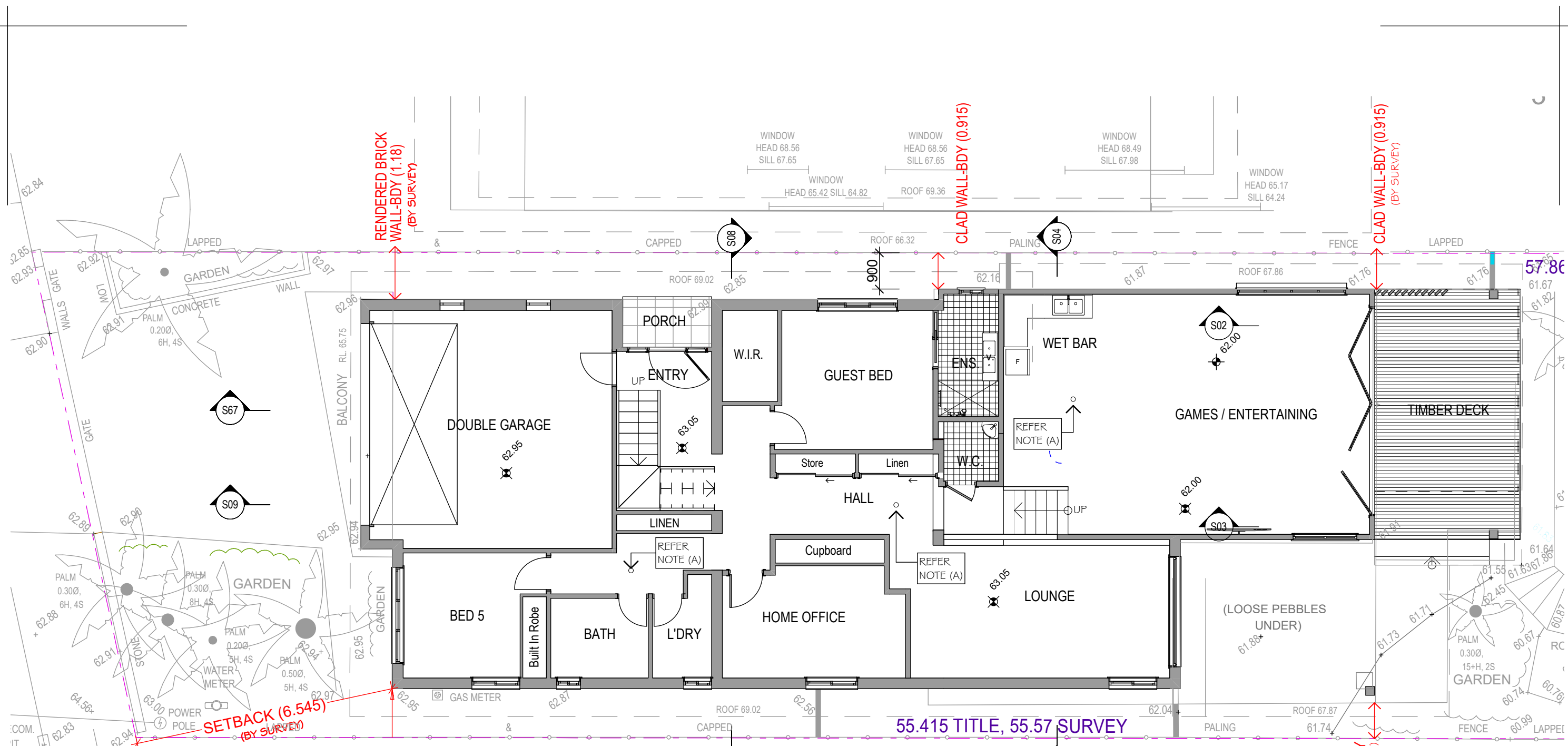
**DATE:** 16th December, 2024

**SCALE:** As Shown

**DRAWN:** L.K.S.

**PROJECT REF:** 2401 DA03 Rev. A

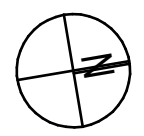
DEVELOPMENT APPLICATION ISSUE



**EXISTING GROUND FLOOR PLAN**  
1:100

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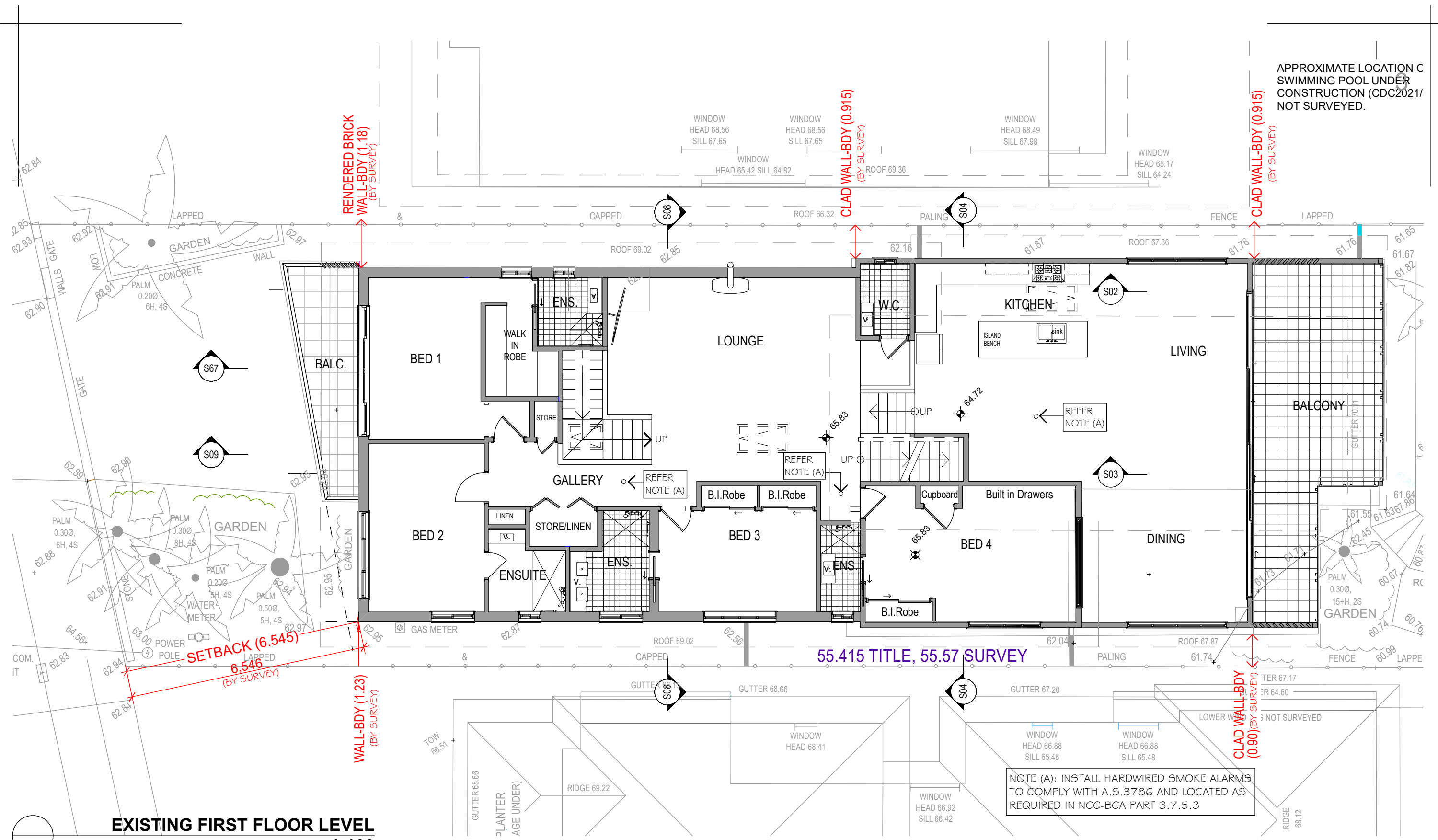
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LOT. 4. DP.10683

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**DRAWING TITLE:**  
EXISTING GROUND FLOOR PLAN

**DATE:** 16th December, 2024  
**SCALE:** As Shown  
**DRAWN:** L.K.S.  
**PROJECT REF:** 2401 DA04 Rev. A

**DEVELOPMENT APPLICATION ISSUE**

NOTE (A): INSTALL HARDWIRED SMOKE ALARMS TO COMPLY WITH A.5.3786 AND LOCATED AS REQUIRED IN NCC-BCA PART 3.7.5.3

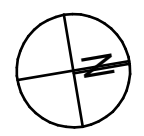


APPROXIMATE LOCATION C SWIMMING POOL UNDER CONSTRUCTION (CDC2021/ NOT SURVEYED).

**EXISTING FIRST FLOOR LEVEL**  
**1:100**

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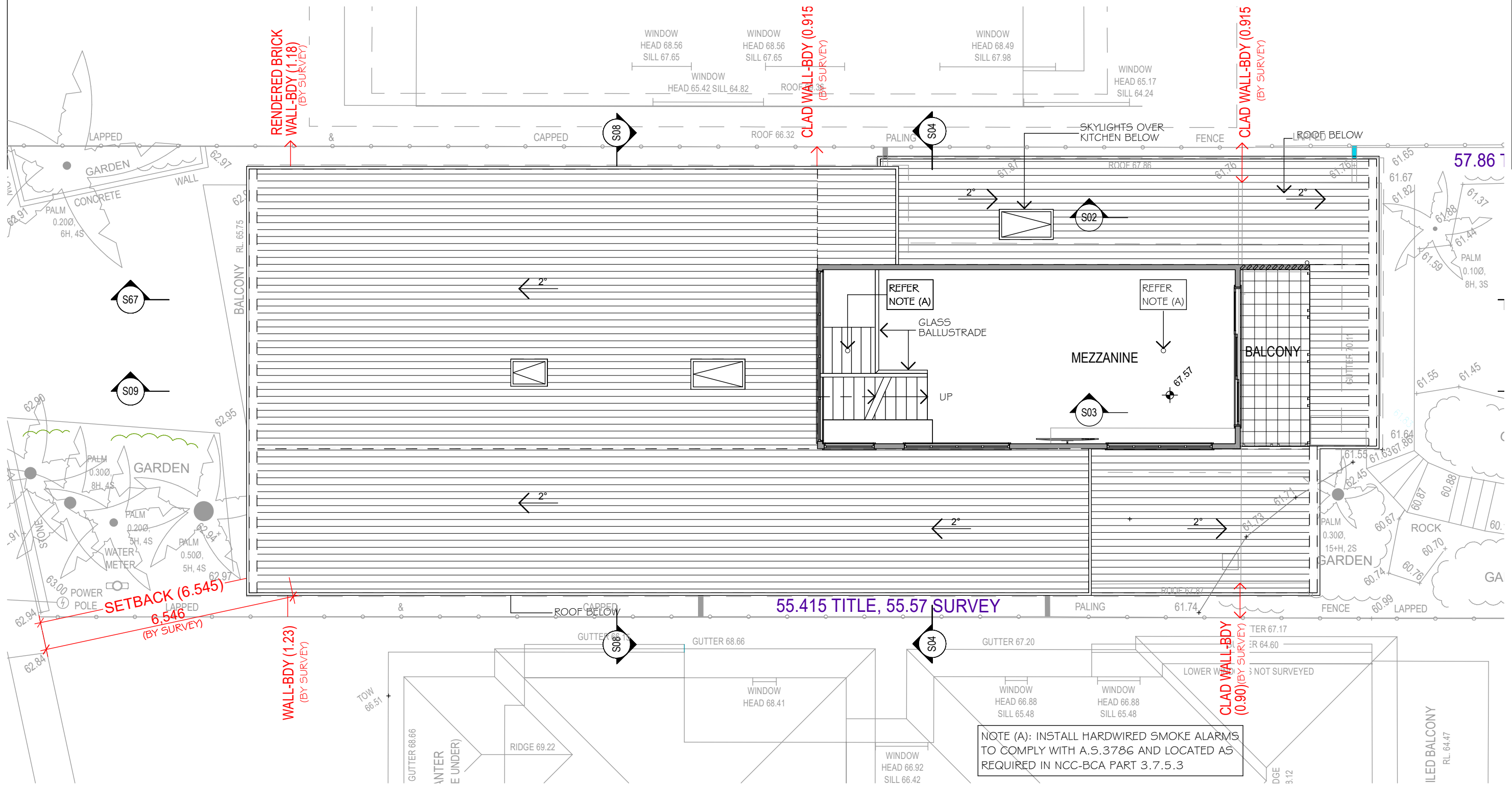
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EXISTING FIRST FLOOR PLAN

**DATE:** 16th December, 2024  
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**PROJECT REF:** 2401 DA05 Rev. A

**DEVELOPMENT APPLICATION ISSUE**

NOTE (A): INSTALL HARDWIRED SMOKE ALARMS TO COMPLY WITH A.S.3786 AND LOCATED AS REQUIRED IN NCC-BCA PART 3.7.5.3



**EXISTING MEZZANINE FLOOR LEVEL**  
1:100

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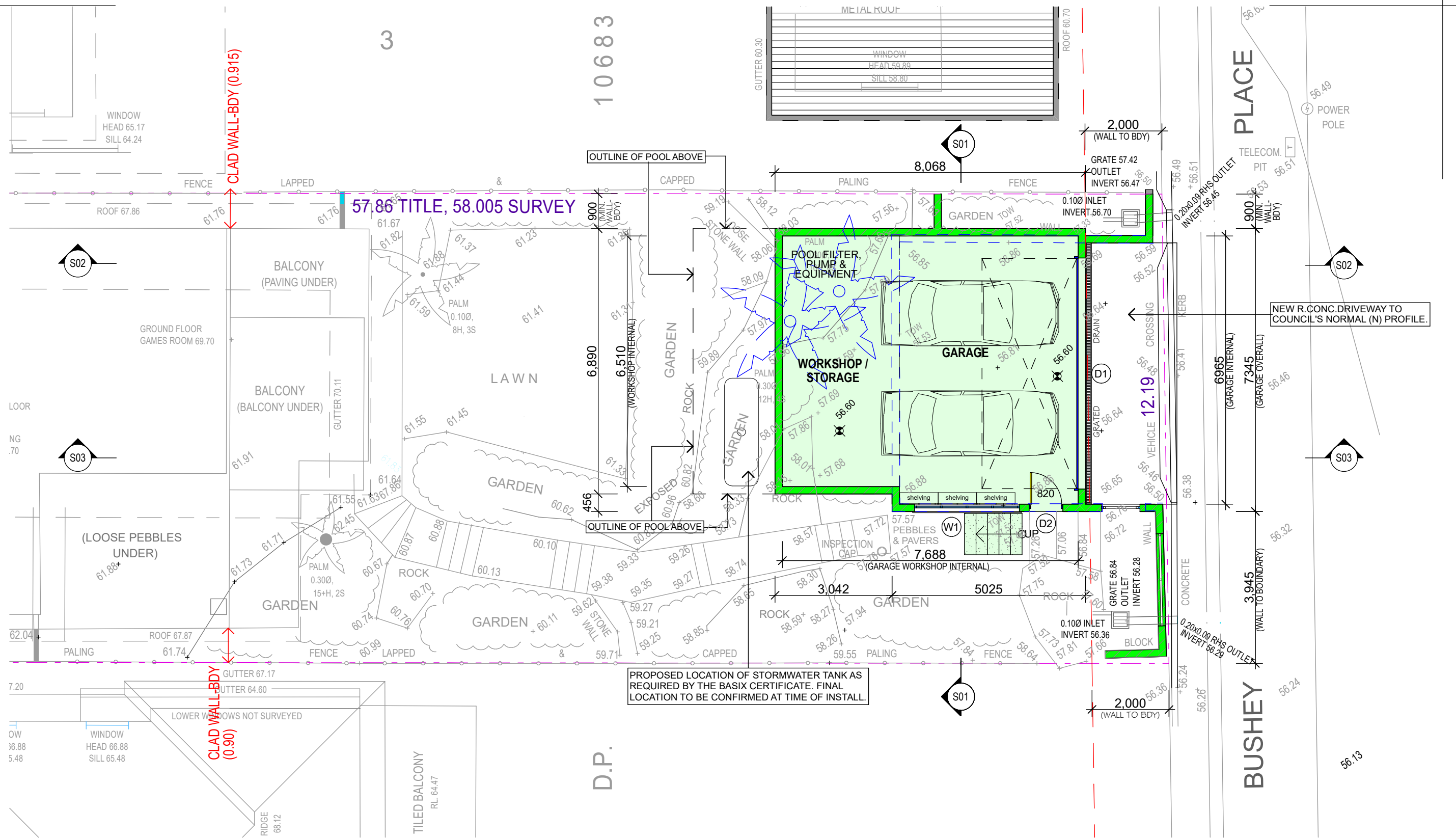
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DEE WHY, N.S.W. 2099  
LOT. 4. DP.10683

**CLIENT:**  
Mr. & Mrs. J. & T. Lowry  
**DRAWING TITLE:**  
EXISTING MEZZANINE FLOOR PLAN

**DATE:** 16th December, 2024  
**SCALE:** As Shown  
**DRAWN:** L.K.S.  
**PROJECT REF:** 2401 DA06 Rev. A

NOTE: THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE ATTACHED SPECIFICATION & MICHAEL GERGICH CONSULTING ENGINEER STRUCTURAL & CIVIL ENGINEER'S, STRUCTURAL DRAWINGS 2121-1 & 2121-2 Dated 10-08-2021 & STORMWATER DRAWING 2121/1 Dated 10-08-2021.

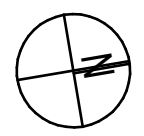
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**PROPOSED GARAGE/WORKSHOP/STORAGE**  
**1:100**

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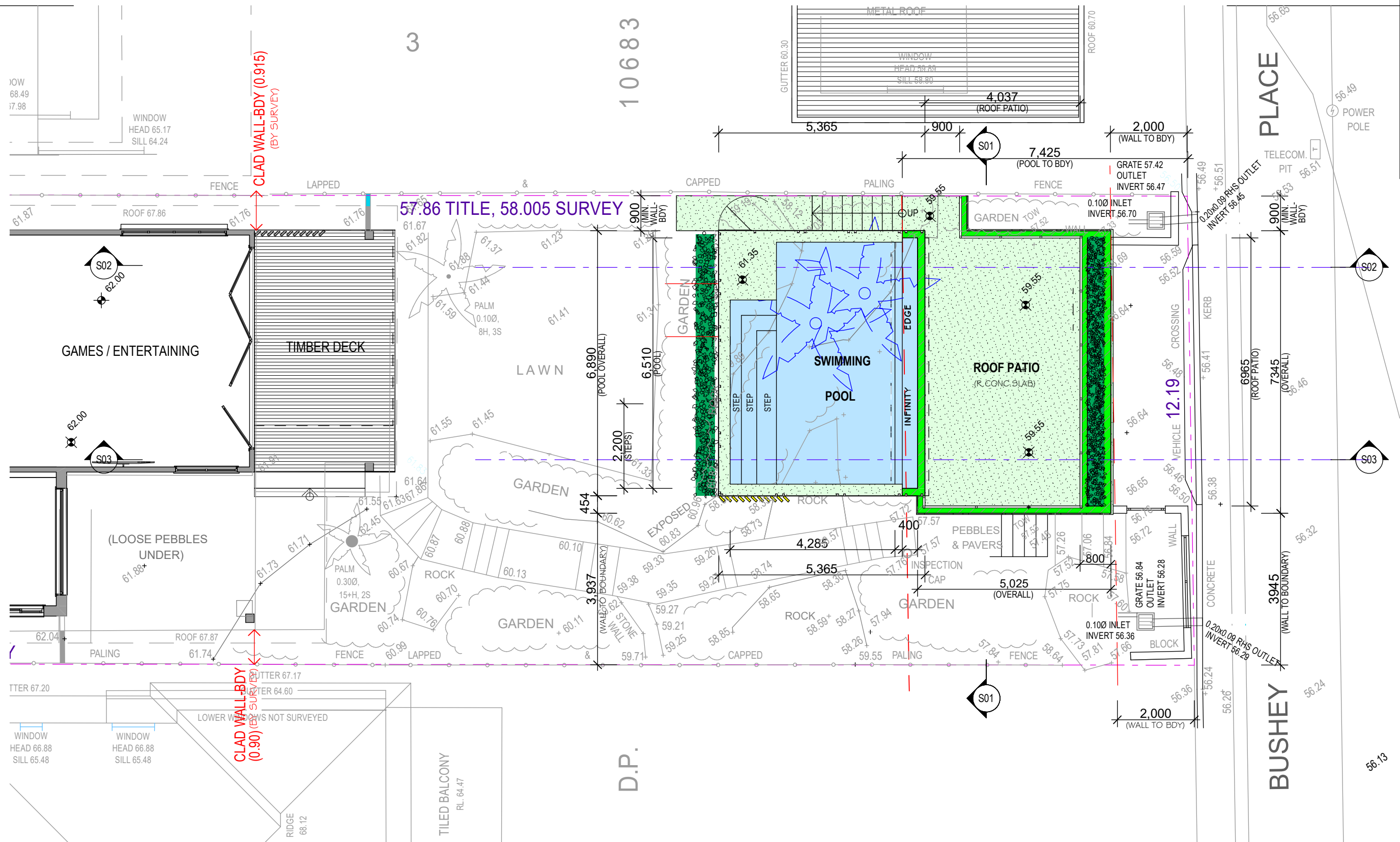
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**CLIENT:**  
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 PROPOSED GARAGE/WORKSHOP/STORAGE FLOOR PLAN

**DATE:** 16th December, 2024  
**SCALE:** As Shown  
**DRAWN:** L.K.S.  
**PROJECT REF:** 2401 DA07 Rev. A

DEVELOPMENT APPLICATION ISSUE



**PROPOSED POOL & GARAGE ROOF PATIO PLAN**  
**1:100**

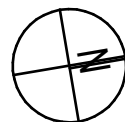
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**BUILDING DESIGNERS**  
 ASSOCIATION OF AUSTRALIA

CHARTERED ACCREDITED MEMBER  
 ACCREDITATION No.6120



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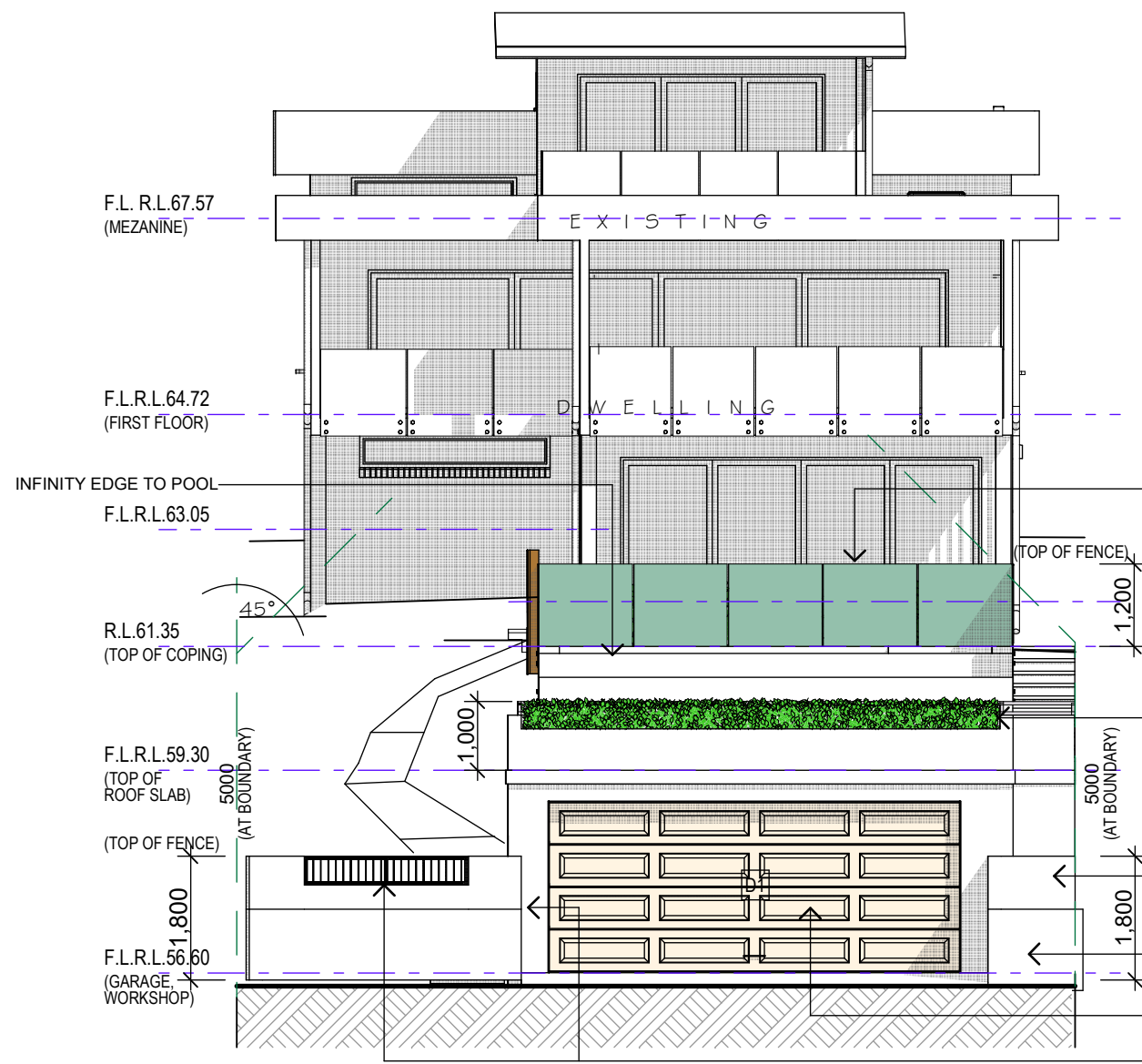
**CLIENT:**  
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 PROPOSED POOL & GARAGE  
 ROOF PATIO PLAN

**DEVELOPMENT APPLICATION ISSUE**

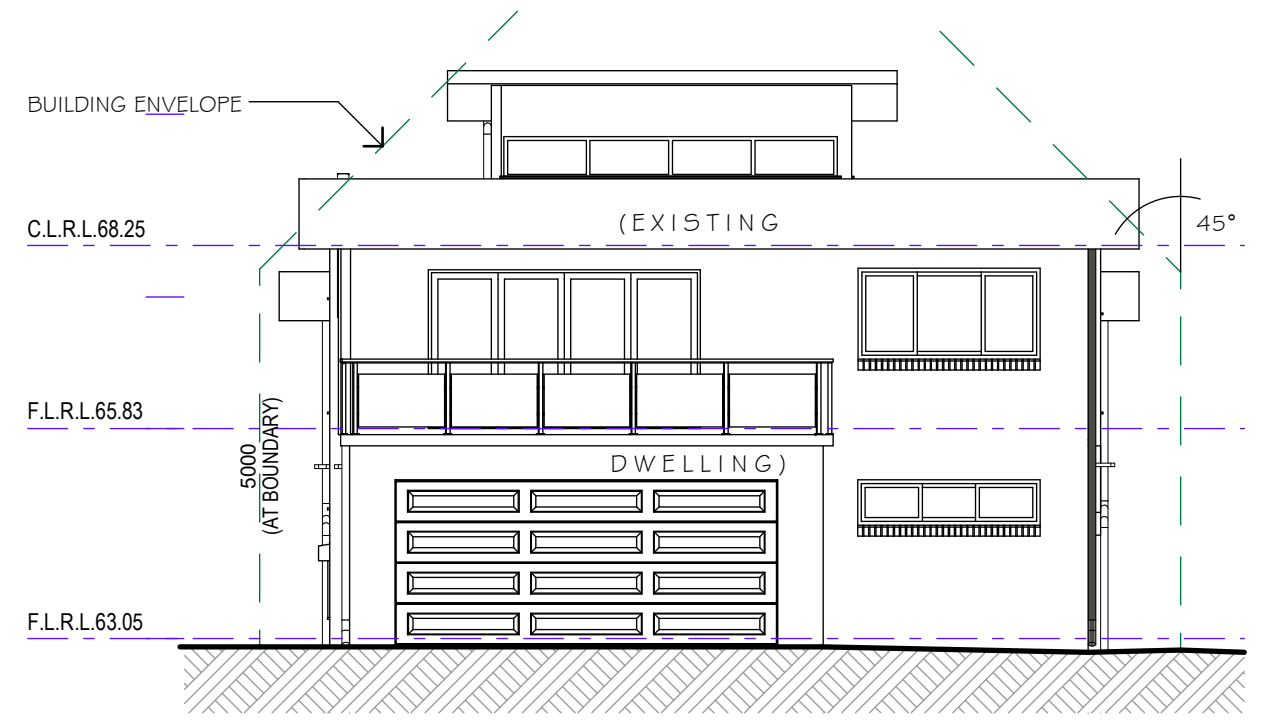
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**NORTH ELEVATION** (BUSHEY PLACE)  
1:100



**SOUTH ELEVATION** (QUIRK STREET)  
1:100

- SELECT HEDGE PLANTING
- RAISE HEIGHT OF EXIST. MASONRY WALL EACH SIDE OF DRIVEWAY.
- EXISTING MASONRY WALL EACH SIDE OF DRIVEWAY.
- SELECT PANELIFT GARAGE DOOR
- SELECT COLOURBOND STEEL INFILL PANEL AND MATCHING PEDESTRIAN GATE ON DRIVE

DOOR SCHEDULE									
NO.	SIZE (W x H)	AREA (Frame & Glass)	LOCATION	TYPE	ORIENTATION	OVERSHADOWING	SHADING DEVICE	FRAME & GLAZING TYPE (Minimum BASIX Requirements)	View from Opening Side
D1	6,000x2,500	15m <sup>2</sup>	GARAGE/WORKSHOP/STORE	SELECT PANELIFT	NORTH	NONE	NA	NA	
D2	876x2,100	1.83m <sup>2</sup>	GARAGE/WORKSHOP/STORE	SELECT HINGED	EAST	NONE	NA	NA	

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**CLIENT:**  
Mr. & Mrs. J. & T. Lowry

**DRAWING TITLE:**  
NORTH ELEVATION (Bushey Pl)  
& SOUTH ELEVATION (Quirk St)  
& DOOR SCHEDULE

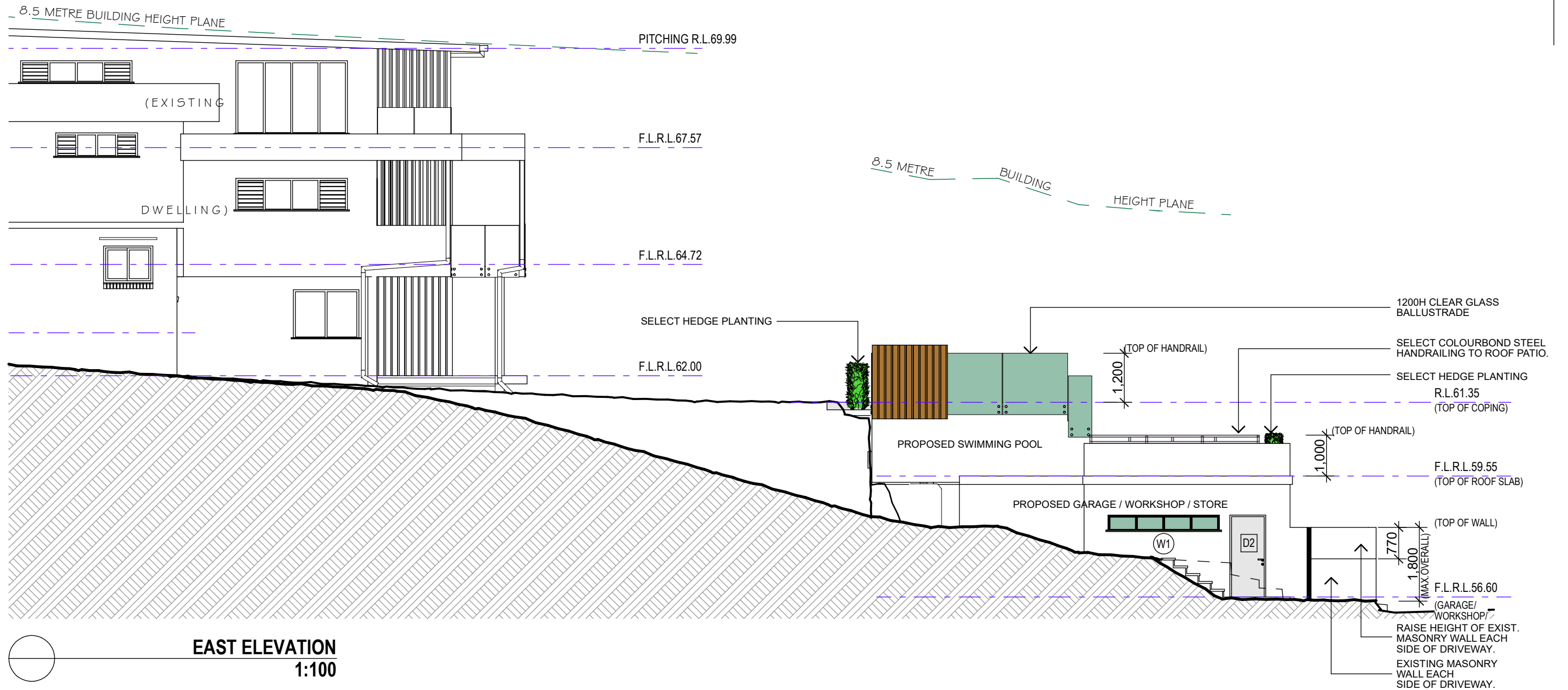
**DATE:** 16th December, 2024

**SCALE:** As Shown

**DRAWN:** L.K.S.

**PROJECT REF:** 2401 DA10 Rev. A

DEVELOPMENT APPLICATION ISSUE



**WINDOW SCHEDULE**

NO.	SIZE (W x H)	AREA (Frame & Glass)	LOCATION	TYPE	ORIENTATION	OVERSHADOWING	SHADING DEVICE	FRAME & GLAZING TYPE (Minimum BASIX Requirements)	View from Opening Side
W1	2,720x400	1.088m <sup>2</sup>	GARAGE	ALUMINIUM	EAST	NONE	NONE	N.A.	

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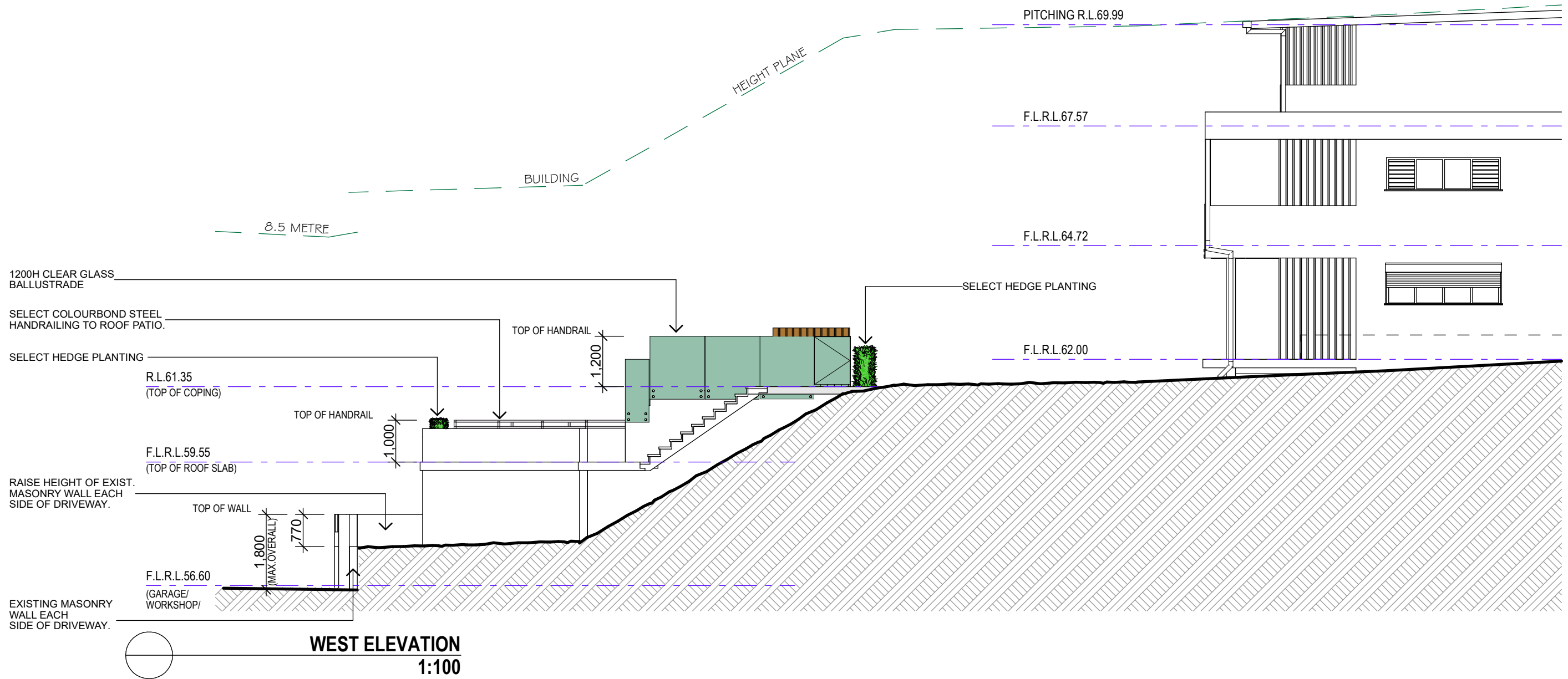
**LKS DESIGN & DRAFTING**  
ABN 62343830351  
ACCREDITED BUILDING DESIGNER No. 6120  
P.O. Box 4101, North Curl Curl, N.S.W. 2099  
Mobile: 0418 662 771  
Email: lks1@bigpond.net.au

**PROJECT:**  
PROPOSED ALTERATIONS & ADDITIONS TO EXISTING DWELLING  
88 QUIRK STREET,  
DEE WHY, N.S.W. 2099  
LOT. 4. DP.10683

**CLIENT:**  
Mr. & Mrs. J. & T. Lowry  
**DRAWING TITLE:**  
EAST ELEVATION & WINDOW SCHEDULE

**DEVELOPMENT APPLICATION ISSUE**

<b>DATE:</b>	16th December, 2024
<b>SCALE:</b>	As Shown
<b>DRAWN:</b>	L.K.S.
<b>PROJECT REF:</b>	2401 DA11 Rev. A



THE BUILDER SHALL CHECK ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO CONSTRUCTION. NOTIFY ANY ERRORS, DISCREPANCIES OR OMISSIONS TO THE BUILDING DESIGNER. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED FOR CONSTRUCTION. DO NOT SCALE OFF THE DRAWINGS. ALL BOUNDARIES AND CONTOURS SUBJECT TO SURVEY.

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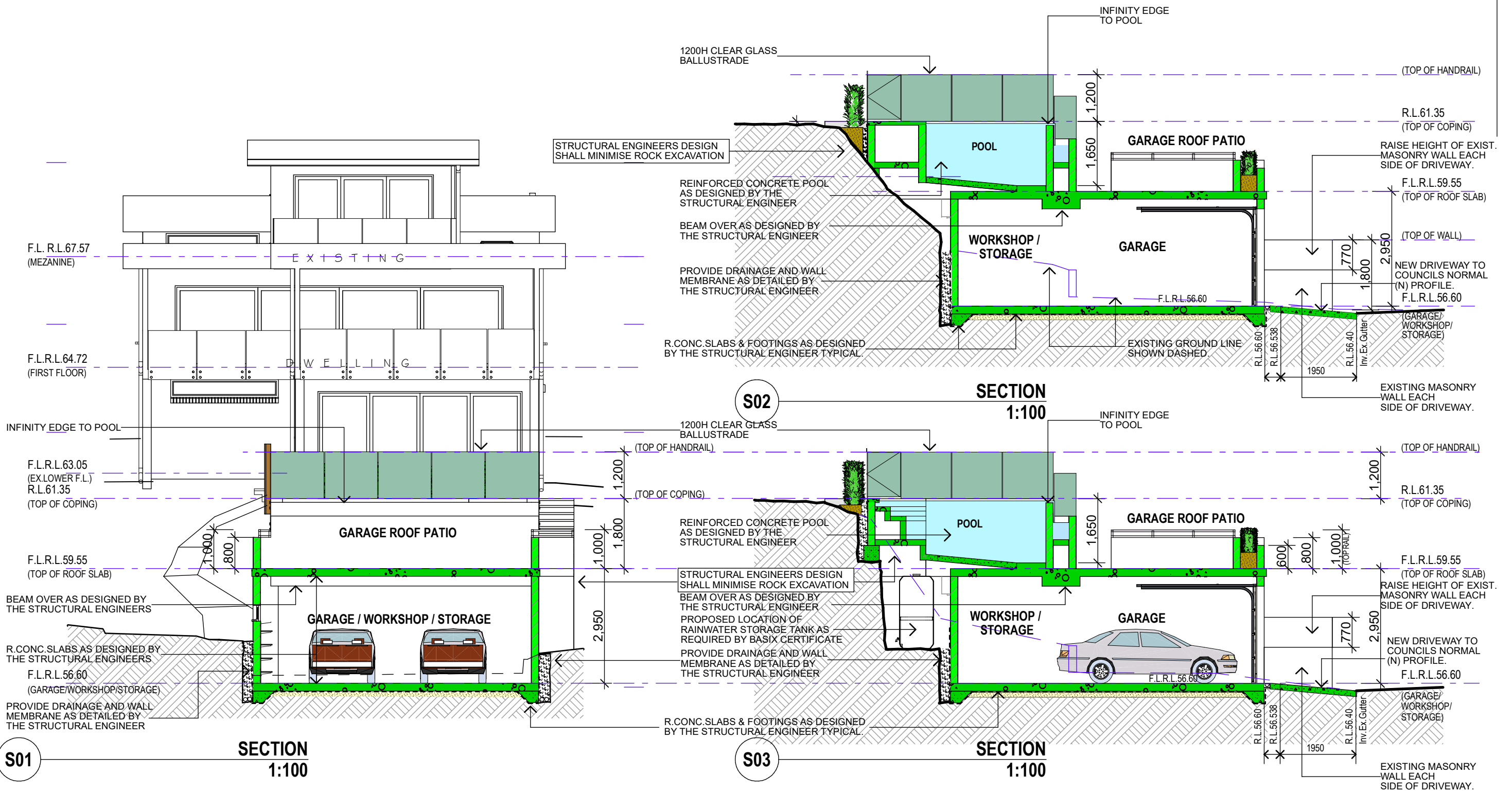
**LKS** DESIGN & DRAFTING  
 ABN 62343830351  
 ACCREDITED BUILDING DESIGNER No. 6120  
 P.O. Box 4101, North Curl Curl, N.S.W. 2099  
 Mobile: 0418 662 771  
 Email: lks1@bigpond.net.au

**PROJECT:**  
 PROPOSED ALTERATIONS &  
 ADDITIONS TO EXISTING DWELLING  
 88 QUIRK STREET,  
 DEE WHY, N.S.W. 2099  
 LOT. 4. DP.10683

**CLIENT:**  
 Mr. & Mrs. J. & T. Lowry  
**DRAWING TITLE:**  
 WEST ELEVATION

**DATE:** 16th December, 2024  
**SCALE:** As Shown  
**DRAWN:** L.K.S.  
**PROJECT REF:** 2401 DA12 Rev. A

DEVELOPMENT APPLICATION ISSUE



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 P.O. Box 4101, North Curl Curl, N.S.W. 2099  
 Mobile: 0418 662 771  
 Email: lks1@bigpond.net.au

**PROJECT:**  
 PROPOSED ALTERATIONS & ADDITIONS TO EXISTING DWELLING  
 88 QUIRK STREET,  
 DEE WHY, N.S.W. 2099  
 LOT. 4. DP.10683

**CLIENT:**  
 Mr. & Mrs. J. & T. Lowry  
**DRAWING TITLE:**  
 SECTION S01, SECTION S02 & SECTION S03

**DEVELOPMENT APPLICATION ISSUE**

**DATE:** 16th December, 2024  
**SCALE:** As Shown  
**DRAWN:** L.K.S.  
**PROJECT REF:** 2401 DA13 Rev. A

# BASIX<sup>®</sup>Certificate

Building Sustainability Index [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

## Alterations and Additions

Certificate number: A1777991

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Secretary  
Date of issue: Monday, 16 December 2024  
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project address	
Project name	LOWRY
Street address	88 QUIRK Street DEE WHY 2099
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan DP10683
Lot number	4
Section number	-
Project type	
Dwelling type	Dwelling house (detached)
Type of alteration and addition	The estimated development cost for my renovation work is \$50,000 or more, and includes a pool (and/or spa).
N/A	N/A
Certificate Prepared by <small>(please complete before submitting to Council or PCA)</small>	
Name / Company Name:	LEONARD SMITH
ABN (if applicable):	62343830351

Pool and Spa	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
<b>Rainwater tank</b>			
The applicant must install a rainwater tank of at least 3850 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rainwater runoff from at least 881.08 square metres of roof area.		✓	✓
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool and outdoor spa.		✓	✓
<b>Outdoor swimming pool</b>			
The swimming pool must be outdoors.	✓	✓	✓
The swimming pool must not have a capacity greater than 95.86 kilolitres.	✓	✓	✓
The swimming pool must have a pool cover.		✓	✓
The applicant must install a pool pump timer for the swimming pool.		✓	✓
The applicant must not incorporate any heating system for the swimming pool that is part of this development.		✓	✓
<b>Outdoor spa</b>			
The spa must not have a capacity greater than 4.6 kilolitres.	✓	✓	✓
The spa must have a spa cover.		✓	✓

Pool and Spa	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
The applicant must install a spa pump timer.		✓	✓
The applicant must install the following heating system for the outdoor spa that is part of this development: electric heat pump.		✓	✓

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BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

CHARTERED ACCREDITED MEMBER  
ACCREDITATION No. 6120



DATE	REV.	AMENDMENT
16-12-2024	A	DEVELOPMENT APPLICATION ISSUE



P.O. Box 4101, North Curl Curl, N.S.W. 2099  
Mobile: 0418 662 771  
Email: lks1@bigpond.net.au

**PROJECT:**  
PROPOSED ALTERATIONS & ADDITIONS TO EXISTING DWELLING  
88 QUIRK STREET,  
DEE WHY, N.S.W. 2099  
LOT. 4. DP.10683

**CLIENT:**  
Mr. & Mrs. J. & T. Lowry  
**DRAWING TITLE:**  
'BASIX' CERTIFICATE A1777991  
Sht's 1, 2, and 3

**DATE:** 16th December, 2024  
**SCALE:** As Shown  
**DRAWN:** L.K.S.  
**PROJECT REF:** 2401 **DA14** **Rev. A**

## DEVELOPMENT APPLICATION ISSUE

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
<b>Lighting</b>			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting diode (LED) lamps.		✓	✓
<b>Fixtures</b>			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a ✓ in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

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CHARTERED ACCREDITED MEMBER ACCREDITATION No. 6120



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P.O. Box 4101, North Curl Curl, N.S.W. 2099  
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**PROJECT:**  
PROPOSED ALTERATIONS & ADDITIONS TO EXISTING DWELLING

88 QUIRK STREET,  
DEE WHY, N.S.W. 2099  
LOT. 4. DP.10683

**CLIENT:**  
Mr. & Mrs. J. & T. Lowry

**DRAWING TITLE:**  
'BASIX' CERTIFICATE A1777991  
Sht's. 4 and 5

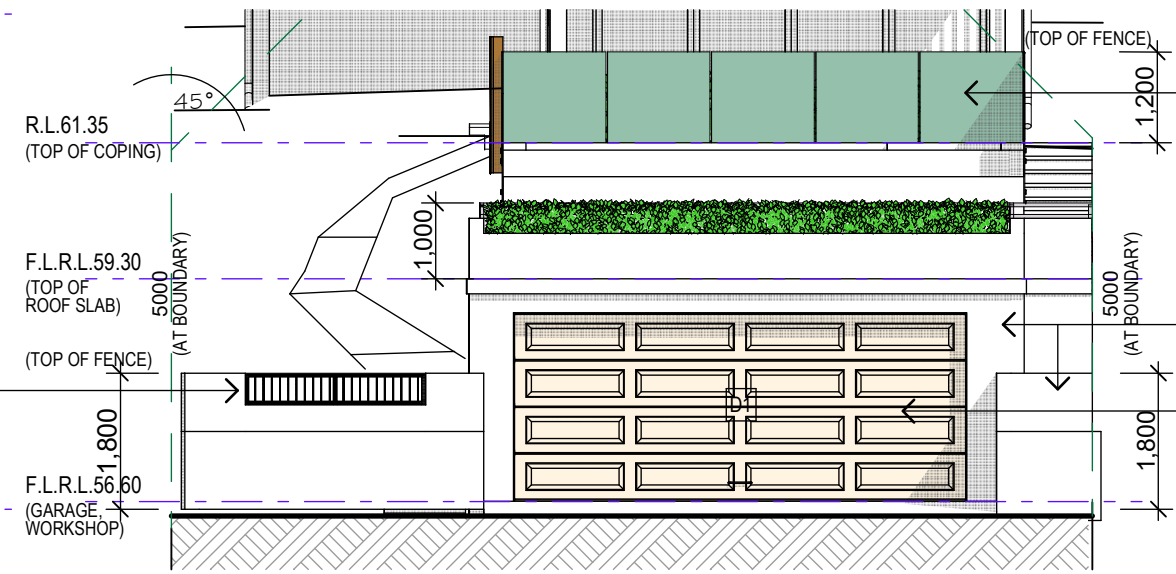
**DATE:** 16th December, 2024

**SCALE:** As Shown

**DRAWN:** L.K.S.

**PROJECT REF:** 2401 **DA15** **Rev. A**

DEVELOPMENT APPLICATION ISSUE



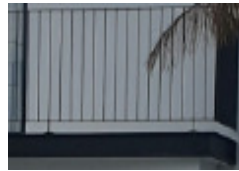
**NORTH ELEVATION**

SELECT FRAMELESS GLAZED BALLUSTRADE TO NEW POOL & SPA AREA TO COMPLY WITH A.S.1288-2021, A.S.1926.1-2012, A.S.1926.2-2007 A.S./NZS 2208, A.S.1170 and NCC2022

REINFORCED MASONRY BLOCK WALLS THROUGHOUT TO A.S. 3700 and NCC2022

SELECT REMOTE CONTROLLED PANELIFT DOOR.

COLOURBOND STEEL FENCE INFILL & PEDESTRIAN GATE TO MATCH DWELLING



SELECT HEDGE PLANTING TO SCREEN POOL



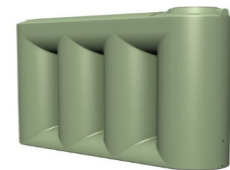
COLOURBOND STEEL HANDRAIL TO TOP OF BLOCK WALL

SELECT PLANTING TO ROOF PATIO - BUSHEY PLACE.

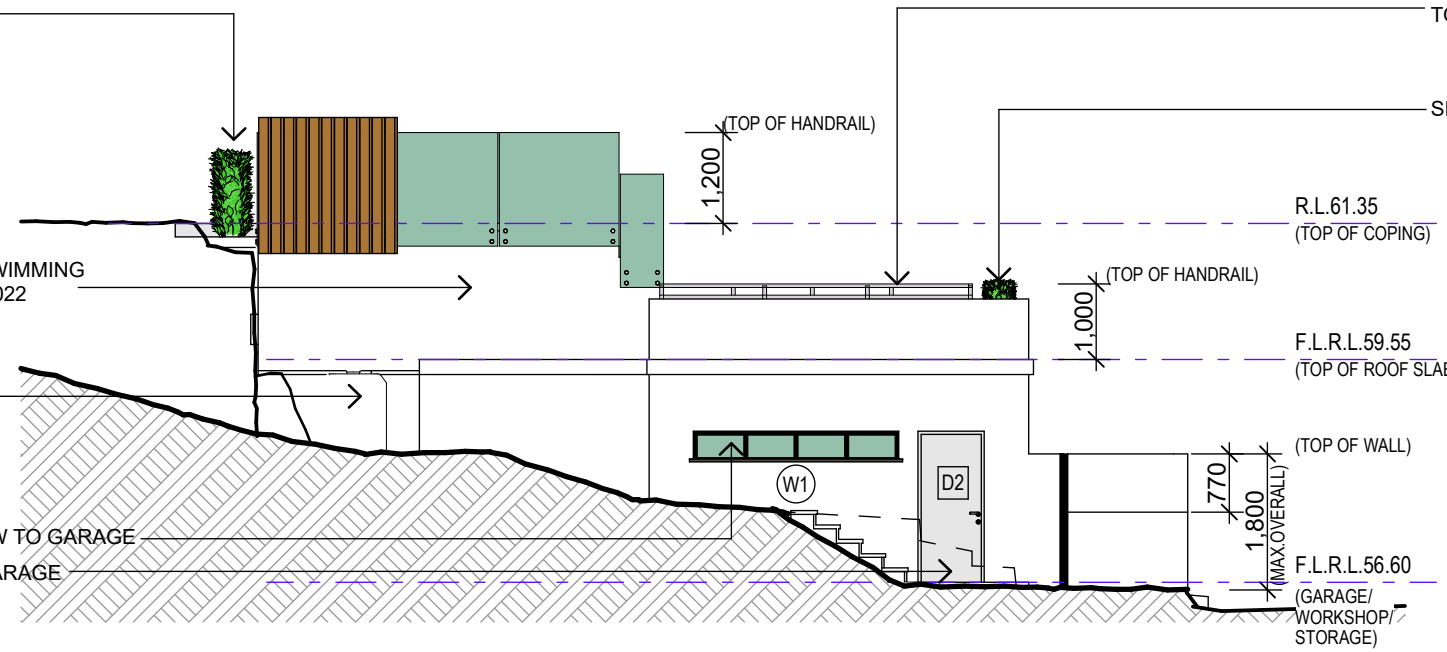


REINFORCED CONCRETE SWIMMING POOL TO A.S.3600 and NCC2022

SELECT WATER TANK 3850lts MIN. TO COMPLY WITH BASIX CERTIFICATE



SELECT ALUMINIUM WINDOW TO GARAGE  
SELECT ENTRY DOOR TO GARAGE



**EAST ELEVATION**

COLOUR SCHEME TO MATCH EXISTING DWELLING AT 88 QUIRK STREET



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**LKS DESIGN & DRAFTING**  
ABN 62343830351  
ACCREDITED BUILDING DESIGNER No.6120  
P.O. Box 4101, North Curl Curl, N.S.W. 2099  
Mobile: 0418 662 771  
Email: lks1@bigpond.net.au

**PROJECT:**  
PROPOSED ALTERATIONS & ADDITIONS TO EXISTING DWELLING  
88 QUIRK STREET,  
DEE WHY, N.S.W. 2099  
LOT. 4. DP.10683

**CLIENT:**  
Mr. & Mrs. J. & T. Lowry  
**DRAWING TITLE:**  
MATERIALS FINISHES SAMPLE SHEET

**DATE:** 16th December, 2024  
**SCALE:** As Shown  
**DRAWN:** L.K.S.  
**PROJECT REF:** 2401 DA16 Rev. A

**DEVELOPMENT APPLICATION ISSUE**



**WASTE MINIMISATION AND SORTING**

THE AIM OF THIS SECTION IS TO ASSIST IN REDUCING THE AMOUNT OF MATERIAL GOING TO LANDFILL, AND TO INCREASE THE AMOUNT OF MATERIAL RECYCLED, THUS REDUCING ITS EMBODIED ENERGY AND INCREASING ITS USEFULNESS. THIS WILL ALSO RESULT IN SIGNIFICANT SAVINGS FOR THE PROJECT. WASTE MINIMISATION BEST PRACTICE SHALL BE ADHERED TO DURING THE COURSE OF THE WORKS.

1. THE BUILDER SHALL KEEP THE WORKS CLEAN AND TIDY. THE BUILDER SHALL ISSUE A DIRECTIVE TO ALL PERSONS WORKING ON THE SITE, USING AN A3 (420mm x 300mm) SIGN IN THE MOST PROMINENT POSITION AS POSSIBLE, AS FOLLOW;

**'DON'T GET WASTED - GET SORTED'**

EACH SUBCONTRACTOR IS RESPONSIBLE FOR THEIR WASTE AND RECYCLABLE MATERIAL IN THE APPROPRIATE CONTAINERS PROVIDED.

2. THE BUILDER SHALL PROVIDE RUBBISH CONTAINERS OR SKIPS AND REMOVE FROM THE SITE TO A SUITABLE RECYCLING STATION AS SOON AS THE CONTAINER IS FULL. IF THE MATERIAL IN NON-RECYCLABLE IT SHALL BE TAKEN TO A LICENCED LANDFILL. THE BUILDER IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES ASSOCIATED WITH DISPOSING MATERIALS NAD MUST KEEP RECEIPTS TO DOCUMENT WHERE THE MATERIAL HAS BEEN RECYCLED/DISPOSED OF. RUBBISH MUST NOT BE HEAPED ON THE GROUND OR PLACED ON THE GARDEN.

3. THE BUILDER SHALL ENSURE THAT ALL RUBBISH, WASTE AND OFFCUTS FROM EACH TRADE SUBCONTRACTOR SHALL BE PLACED BY THAT TRADE SUBCONTRACTOR INTO A CONTAINER OR SKIP BIN TO BE PROVIDED BY THE BUILDER.

ALL WASTE SHALL BE SORTED BY THE RELEVANT TRADE SUBCONTRACTORS INTO THE FOLLOWING CATAGORIES, AND DISPOSED OF AS SPECIFIED:

- FOOD SCRAPS & NON-RECYCLABLE FOOD CONTAINERS FROM WORKERS ON SITE:** - RUBBISH BIN FOR CARRYING TO EITHER AN APPROVED LOCAL TRANSFER STATION, LICENCED LANDFILL, OR FOR WEEKLY COLLECTION BY COUNCIL IN AN APPROVED BIN. (THE BUILDER SHALL ENQUIRE OF COUNCIL AS TO WHICH DAYS COLLECTIONS ARE MADE).
- PAPER, BOTTLES AND CANS FROM WORKER'S PERSONAL WASTE:** - RECYCLING CONTAINERS FOR WEEKLY COLLECTION BY COUNCIL AS ABOVE, OR TAKEN TO A LOCAL RECYCLING DEPOT IF NO PICKUP SERVICE IS AVAILABLE.
- PLASTIC PALLET WRAP:** - TO BE PLACED IN A DEDICATED AREA FOR PLASTIC RECYCLING WHERE AVAILABLE, OR PLACED IN THE GENERAL WASTE CONTAINER OR SKIP BIN IF NO OTHER OPTION EXISTS.
- STEEL PALLET STRAPS, STEEL OFF CUTS, ROOFING SHEETS, ALUMINIUM OFF CUTS ETC:** - TO BE PLACED IN A DEDICATED SKIP BIN OR CONTAINER FOR RECYCLING.
- USED PALLETS:** - SHALL BE STACKED BY TYPE IN A LOCATION ALLOWING EASY TRUCK ACCESS FOR PICKUP BY SPECIALIST CONTRACTOR. THIS SHALL BE ORGANISED BY THE BUILDER.
- MASONRY WASTE, OFF CUTS:** - SHALL BE SENT IN PURE LOADS TO THE NEAREST LOCAL CRUSHER OR OTHER APPROVED RECYCLING CENTRE.
- TIMBER OFF CUTS:** - IF NOT CHEMICALLY TREATED OR PAINTED SHALL BE SENT FOR RECYCLING EITHER BY GRINDING INTO MULCH OR BY OTHER APPROVED METHOD. TREATED TIMBER SHALL BE SENT TO A LICENCED LANDFILL.
- PLASTERBOARD OFF CUTS:** - SHALL BE STACKED IN AN UNDERCOVER LOCATION THAT ALLOWS EASY TRUCK ACCESS FOR PICKUP BY A SPECIALIST CONTRACTOR. THIS SHALL BE ORGANISED BY THE PLASTERING CONTRACTOR OR THE BUILDER.
- ALL OTHER NON-RECYCLABLE WASTE:** - SHALL BE PLACED IN A SPECIFIED CONTAINER AND TAKEN TO A LICENCED LANDFILL STATION AT REGULAR INTERVALS.

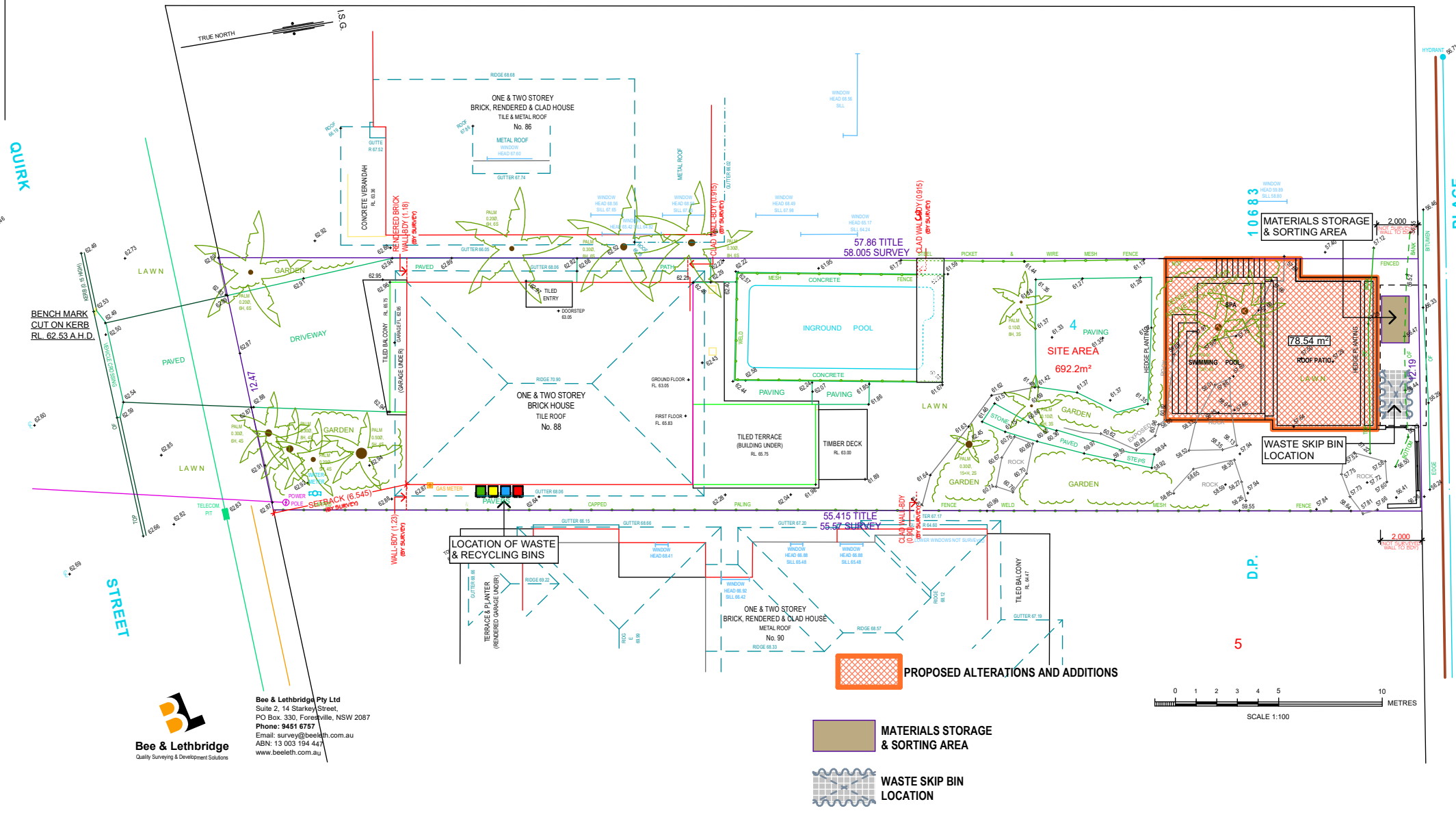
ALL DEMOLITION MATERIALS, AND WASTE AND OFF CUTS SHALL BECOME THE PROPERTY OF THE BUILDER, AND SHALL BE PLACED IN THE CORRECT CONTAINER OR SKIP BIN PROVIDED, OR REMOVED FROM THE SITE BY THE CONTRACTOR AS SOON AS PRACTICABLE.

WITH THE EXCEPTION OF METALS, MASONRY MATERIALS AND TIMBER, AD HOC RUBBISH PILES ON THE GROUND ARE NOT PERMITTED, AND ALL RUBBISH AS DEFINED ABOVE SHALL BE SORTED IN AN ENCLOSED CONTAINER OR SKIP UNTIL FULL, AND THEN REMOVED. NO SUCH CONTAINER OR SKIP BIN MAY BE STORED IN ANY PLACE THAT CONTRAVENES COUNCIL DIRECTIVES.

**DEVELOPMENT APPLICATION ISSUE**

**CLIENT:**  
Mr. & Mrs. J. & T. Lowry  
**DRAWING TITLE:**  
WASTE MANAGEMENT & MINIMISE DETAILS & MATERIALS STORAGE

**DATE:** 16th December, 2024  
**SCALE:** As Shown  
**DRAWN:** L.K.S.  
**PROJECT REF:** 2401 DA17 Rev. A



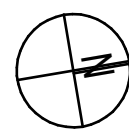
**Bee & Lethbridge Pty Ltd**  
Suite 2, 14 Starkey Street,  
P.O. Box 330, Forestville, NSW 2087  
Phone: 9451 6757  
Email: survey@beelth.com.au  
ABN: 13 003 194 447  
www.beelth.com.au

**WASTE MANAGEMENT PLAN**  
1:250

ON-GOING WASTE MANAGEMENT				Describe how you intend to ensure ongoing management of waste on-site (eg. Lease conditions, caretaker/manager on site)
Type Of Waste To Be Generated	Expected Vol. Per Week	Proposed On-Site Storage And Treatment Facilities	Destination	
General Household Waste	120 lt / week	Council's Bin	Council's Contractor	Owner Occupier
Glass, Paper & Metal	120 lt / alternate weeks	Council's Recycling Bin	Council's Contractor	Owner Occupier
Garden Waste, Grass Clippings	240 lt / fortnight	Council's Bin	Council's Contractor	Owner Occupier

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