

Ref: AB170013



24<sup>th</sup> Oct 2017

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Attention: Vee Chin

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Dear Vee

ENGINEERS  
MANAGERS  
INFRASTRUCTURE  
PLANNERS  
DEVELOPMENT  
CONSULTANTS

**Re 181 Forest Way, Belrose – Belrose Manor  
Sewer and Water Preliminary Advice – V2**

Please find below the preliminary sewer and water servicing advice for 181 Forest Way, Belrose.

### Site Summary

The proposed development site is located at 181 Forest Way, Belrose. The subject site is described as Lot 3 on DP805710, with a site area of approximately 2.117Ha.

### Sewer

Sewer is currently not available in the area. Existing properties in the area are assumed to be serviced by private septic tanks.

There is a DN225 main located within Ralston Avenue, to the south of the development, which may have sufficient capacity to drain proposed development.

Sydney Water may accept the option for installing a rising main and pumping to this location, restricting the flow rate if the development creates more load than the main can handle.

Should Sydney Water accept a gravity main to this location there may be grounds for funding, should they require the main to be extended beyond the proposed building location. There appears to be sufficient fall to drain via gravity to this location.

## **Potable Water**

The Development has frontage to a DN750 and a DN500 Potable Watermain. Sydney Water will require a Potable Watermain extension from the DN200 main located in Ralston Ave to service the development.

Please refer to AB170013 - Sewer and Water Prelim Appendix A – V2 and the Sydney Water Feasibility Letter – Case 160380 for additional information regarding both Sewer and Potable Water.

NOTE: This advice is for information purposes only and based upon the preliminary information provided. It is subject to change upon submission of a Section 73 application to Sydney Water and finalisation of the proposed development.

Please do not hesitate to contact me if you have any further quires or require further information.

Yours faithfully

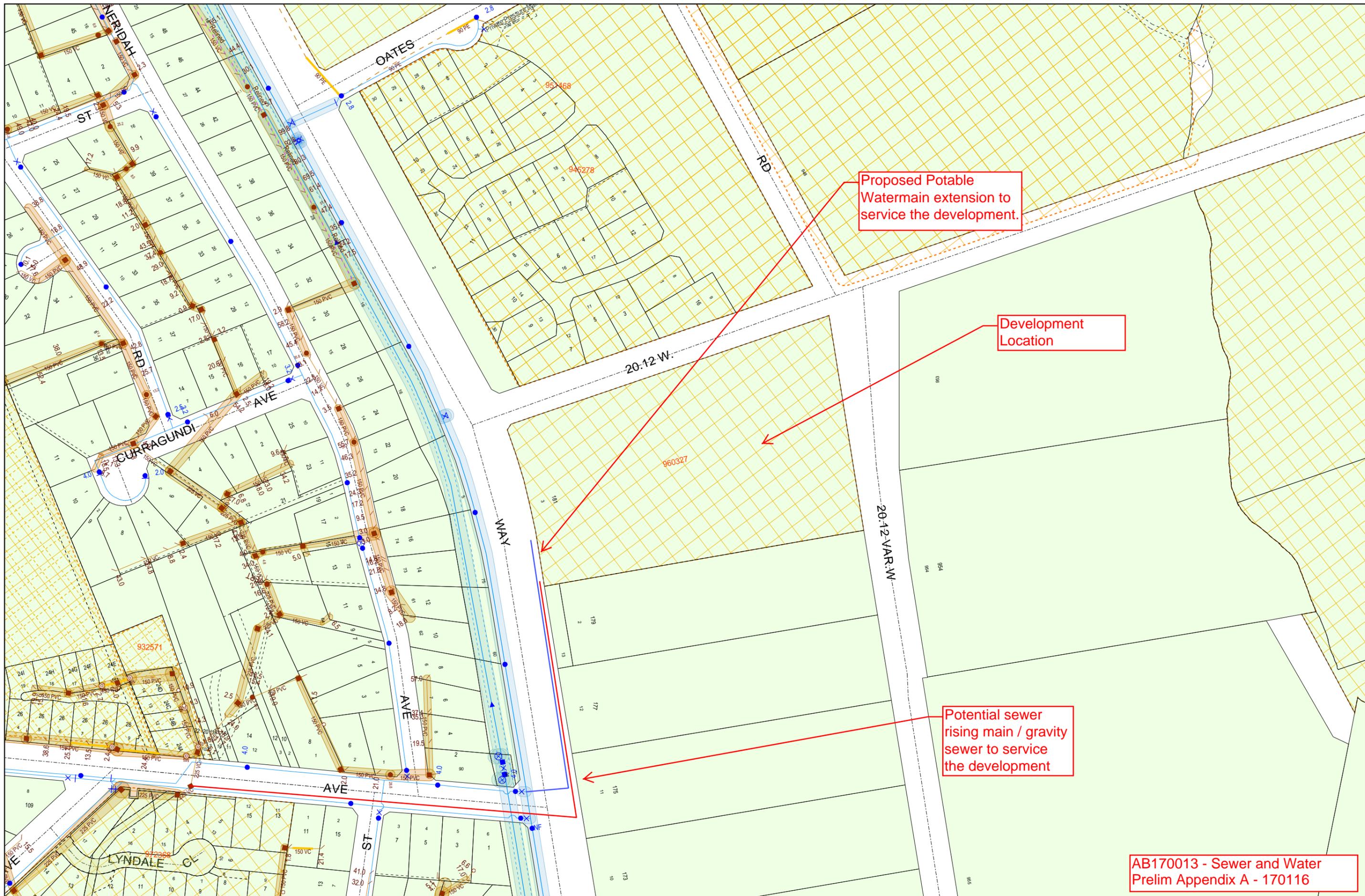
**ACOR WSC Consultants Pty Ltd**

A handwritten signature in blue ink, appearing to read 'J. Roberts', with a large, sweeping flourish at the end.

Judson Roberts

Associate

WSC Project Manager/Designer



Proposed Potable  
Watermain extension to  
service the development.

Development  
Location

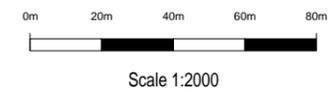
Potential sewer  
rising main / gravity  
sewer to service  
the development

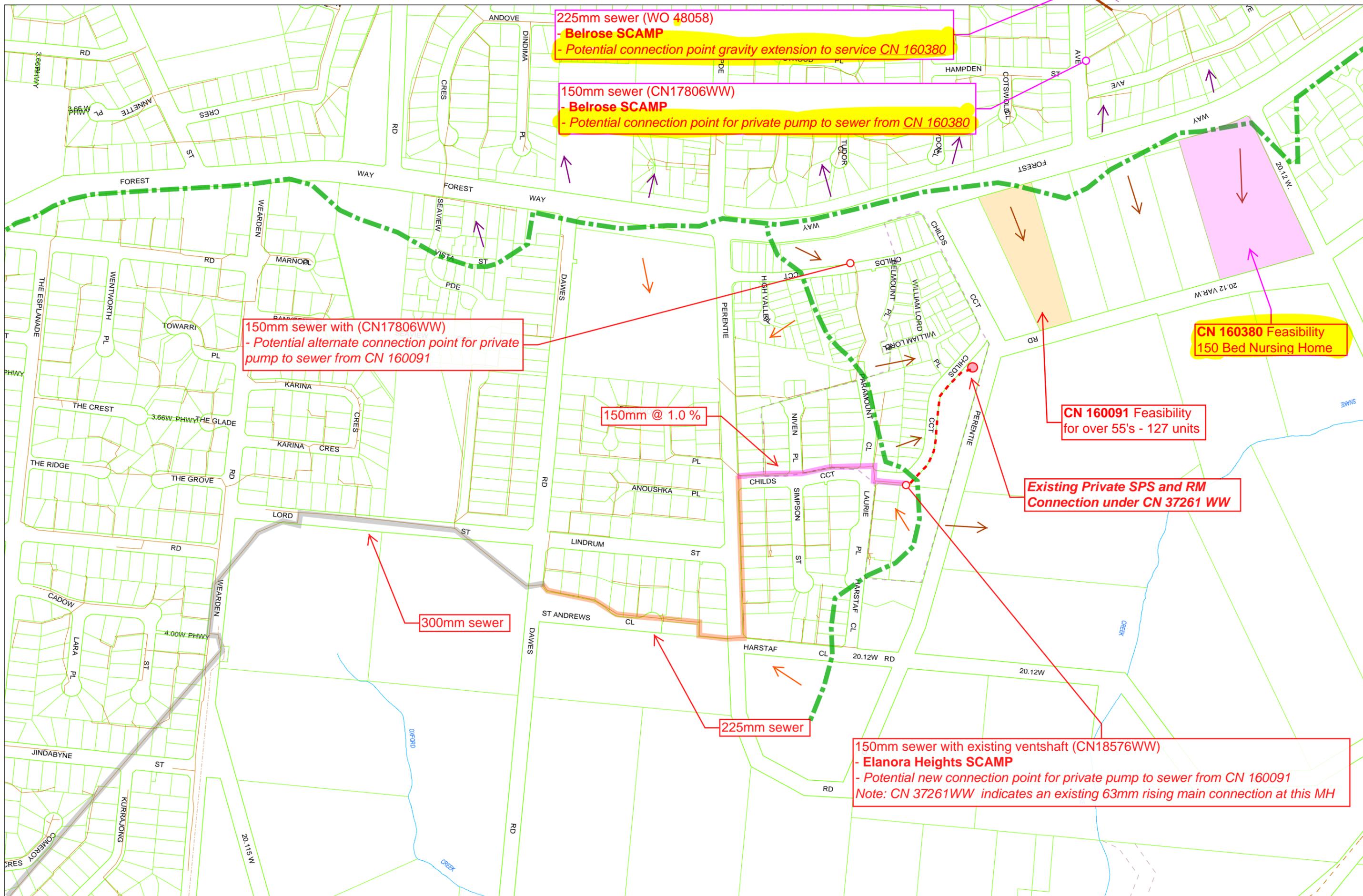
AB170013 - Sewer and Water  
Prelim Appendix A - 170116

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Map:156 Grid:H10 Edition:Sydney UBD Edition 41





22 March 2017

MORRISON DESIGN PARTNERSHIP  
c/- ACOR WSC CONSULTANTS

### FEASIBILITY LETTER

**Developer:** MORRISON DESIGN PARTNERSHIP  
**Your reference:** AB170013  
**Development:** (Lot 3 DP805710), No. 181 Forest Way, Belrose  
**Development Description:** The applicant proposes to erect a site specifically designed Nursing Home accommodating up to 150 beds with self-contained facilities  
**Your application date:** 20 January 2017

Dear Applicant

This Feasibility Letter (Letter) is a guide only. It provides general information about what Sydney Water's requirements could be if you applied to us for a Section 73 Certificate (Certificate) for your proposed development. **The information is accurate at today's date only.**

If you obtain development consent for that development from your consent authority (this is usually your local Council) they will require you to apply to us for a Section 73 Certificate. You will need to submit a new application (and pay another application fee) to us for that Certificate by using your current or another Water Servicing Coordinator (Coordinator).

Sydney Water will then send you either a:

- Notice of Requirements (Notice) and Developer Works Deed (Deed) or
- Certificate.

These documents will be the definitive statement of Sydney Water's requirements.

There may be changes in Sydney Water's requirements between the issue dates of this Letter and the Notice or Certificate. The changes may be:

- if you change your proposed development eg the development description or the plan/site layout, after today, the requirements in this Letter could change when you submit your new application; and

- if you decide to do your development in stages then you must submit a new application (and pay another application fee) for each stage.

**No warranties or assurances can be given about the suitability of this document or any of its provisions for any specific transaction. It does not constitute an approval from Sydney Water and to the extent that it is able, Sydney Water limits its liability to the reissue of this Letter or the return of your application fee. You should rely on your own independent professional advice.**

## What You Must Do To Get A Section 73 Certificate In The Future.

To get a Section 73 Certificate you must do the following things. You can also find out about this process by visiting [www.sydneywater.com.au](http://www.sydneywater.com.au) > Plumbing, building & developing > Developing > Land development.

1. **Obtain Development Consent from the consent authority for your development proposal.**
2. **Engage a Water Servicing Coordinator (Coordinator).**

**You must engage your current or another authorised Coordinator** to manage the design and construction of works that you must provide, at your cost, to service your development. If you wish to engage another Coordinator (at any point in this process) you must write and tell Sydney Water.

For a list of authorised Coordinators, either visit [www.sydneywater.com.au](http://www.sydneywater.com.au) > Plumbing, building & developing > Developing > Providers > Lists or call **13 20 92**.

The Coordinator will be your point of contact with Sydney Water. They can answer most questions that you might have about the process and developer charges and can give you a quote or information about costs for services/works (including Sydney Water costs).

3. **Developer Works Deed**

**After** the Coordinator has submitted your new application, they will receive the Sydney Water Notice and Developer Works Deed. You and your accredited Developer Infrastructure Providers (Providers) will need to sign and lodge both copies of the Deed with your nominated Coordinator. After Sydney Water has signed the documents, one copy will be returned to the Coordinator.

The Deed sets out for this project:

- your responsibilities;
- Sydney Water's responsibilities; and
- the Provider's responsibilities.

**You must do all the things that we ask you to do in that Deed.** This is because your development does not have water and sewer services and you must construct and pay for the following works extensions under this Deed to provide these services.

**Note:** The Coordinator must be fully authorised by us for the whole time of the agreement.

4. **Water and Sewer Works**

- 4.1 **Water**

Your development must have a frontage to a water main that is the right size and can be used for connection.

**Sydney Water has assessed your application and found that:**

- **You must construct a 150mm water main from the existing 200mm in Ralston Ave to serve your proposed development.** These works must be constructed by a constructor with the appropriate capability. Your Coordinator will be able to provide further advice about this.
- **Connection and or extension from the 500mm water main will not be permitted.**
- The drinking water infrastructure for this development will be sized & configured according to the Water Supply Code of Australia WSA 03-2011-3.1 (Sydney Water Edition - 2014).
- Please note, the size of the main above will be subject to the potential future growth impact occurring under neighbour Case No. 160354. **WSC to investigate.**

#### 4.2 Sewer

Your development must have a sewer main that is the right size and can be used for connection. That sewer must also have a connection point within your development's boundaries.

**Sydney Water has assessed your application and found that:**

- **The development site is located within a catchment which is currently not serviced by an existing Sydney Water sewer main.**
- **Planning has no objection to the servicing of the Nursing Home via a private pump to sewer service. The private pump is proposed to connect to an existing 225mm main located in Ralston Ave. All work at the Developer expenses.** Your WSC can provide further information on this.
- The developer will be required to provide details within a design submission of how the pump to sewer will take into account the problems associated with a long private pressure main and how the existing Sydney Water wastewater main will be protected from corrosion.
- The receiving downstream sewer has limited capacity and discharge will be limited to a maximum of flow rate of 1 l/s. The developer will need to manage their onsite storage to meet the maximum discharge requirements.
- The following general information is provided to assist the developer when considering a possible private pump to sewer servicing option for the proposed development.

#### Route of Private rising main

- **Joint private pump to sewer services will not be permitted.**
- As part of the design and construction of the private rising main you will need to ensure that sufficient clearances are maintained between water, sewer and other services and structures to allow for proper inspection, maintenance and repair of Sydney Water's assets on the future. Details can be obtained from the relevant Australian codes i.e. Water supply, Wastewater codes of Australia and the Asset adjustment and protection manual.
- The design of the private rising main demonstrating the compliance with the relevant code requirements should be submitted to Sydney Water for review.
- It is also recommended that the developer takes the opportunity to incorporate the private sewer rising main into the Sydney Water Geographic information System 'HYDRA'. This will require a surveyed Work As Constructed drawing, which would ensure the private sewer main can be identified on the Dial Before You Dig (DBYD) free national referral service designed to prevent damage and disruption to the vast pipe and cable networks.
- Sydney Water cannot permit the location of the private sewer rising main within the water main street allocation along the Forest Way. The developer will need contact the other impacted authorities to obtain the appropriate approval for the location and installation of the private sewer rising main along any road i.e. Local Council and or Gas, electricity etc.

#### System Capacity:

- § Discharge flow rate limited to a maximum 1 l/s.

#### Connection point:

- § **An existing MH on a 225mm wastewater main located in Ralston Avenue behind 4 Lyndale Close, Belrose, constructed under WO 48058.**
- § **The discharge manhole may require a protective coating installed to prevent internal corrosion from H<sub>2</sub>S (Hydrogen Sulphide). Please refer to Section 10.11.2 in the Sewerage Pumping Code of Australia WSA 04-2005-2.1 (Sydney Water 2012).**
- § **Any works on the Sydney Water wastewater infrastructure must be carried out according to the Sewerage Code of Australia WSA 02-2002-2.2 (Sydney Water Edition 1 – Version 3) and or Sewerage Pumping Code of Australia WSA 04-2005-2.1 (Sydney Water 2012).**

#### Wastewater Quality:

- § It must be noted that the proposed private pressure main is approximately 370m long which may contribute to both corrosion and odour problems in the sewage system (refer to Section 2.4 in the Sewerage Code of Australia WSA 02-2002-2.2 (Sydney Water Edition 1 – Version 3)). The proponent will be required to obtain professional advice which will include a report detailing measures required to reduce septicity and odour control, at their cost.
- § The owner will need to demonstrate the private pump and rising main meets septicity and odour control requirements. Please refer to Section 2.8 and 2.9 in the Sewerage Pumping Code of Australia WSA 04-2005-2.1 (Sydney Water 2012)

§ The trade waste acceptance limits for domestic and non-domestic substances shall be observed such:

Ø **>7<10 = pH**

Ø **<5 ml/l= sulphides**

Ø **10 ppm hydrogen sulphide.**

§ The above information is provided as a guide for the developer to assess their private pump to sewer proposal under this case. The developer must submit a report, including calculations, which will need to be endorsed by Sydney Water network operations under this case.

§ If the proposal is endorsed and the developer completes the wastewater requirements under this case, a pump to wastewater connection approval application must be made via a Tap In™.

- Depending on the complexity of servicing proposal due to local conditions, your Water Service Coordinator may advise that it is necessary to engage a range of service providers to complete the concept documentation.
- If the above conditions cannot be adequately addressed the pump to sewer option will not be endorsed and the developer must contact council regarding a private onsite wastewater management system to service the proposed development.
- **You must construct a waste water main extension to serve your development.** The terms of the Deed define this extension as 'Major Works'.
- Because your development may requires adjustment/deviation of a "live" wastewater main you must work with your Water Service Coordinator to ensure that:
  - Your Building Plans are approved prior to temporary pipework and excavation,
  - You submit your temporary pipework design (if required) with your permanent wastewater deviation design for approval,
  - Accept in writing to bonding conditions that will be provided in the Bond Agreement,
  - Submit your Bond and signed Bond Agreement,
  - Submit the Construction Commencement Notice for construction of the temporary pipework,
  - Have your temporary pipework constructed by a listed provider, and then
  - Complete your permanent deviation works

## 5. Ancillary Matters

### 5.1 Asset adjustments

After Sydney Water issues this Notice (and more detailed designs are available), Sydney

Water may require that the water main/sewer main/stormwater located in the footway/your property needs to be adjusted/deviated. If this happens, you will need to do this work as well as the extension we have detailed above at your cost. The work must meet the conditions of this Notice and you will need to complete it **before we can issue the Certificate**. Sydney Water will need to see the completed designs for the work and we will require you to lodge a security. The security will be refunded once the work is completed.

### 5.2 Entry onto neighbouring property

If you need to enter a neighbouring property, you must have the written permission of the relevant property owners and tenants. You must use Sydney Water's **Permission to Enter** form(s) for this. You can get copies of these forms from your Coordinator or the Sydney Water website. Your Coordinator can also negotiate on your behalf. Please make sure that you address all the items on the form(s) including payment of compensation and whether there are other ways of designing and constructing that could avoid or reduce their impacts. You will be responsible for all costs of mediation involved in resolving any disputes. Please allow enough time for entry issues to be resolved.

### 5.3 Costs

Construction of these **future** works will require you to pay project management, survey, design and construction costs **directly to your suppliers**. Additional costs payable to Sydney Water may include:

- water main shutdown and disinfection;
- connection of new water mains to Sydney Water system(s);
- design and construction audit fees;
- contract administration, Operations Area Charge & Customer Redress prior to project finalisation;
- creation or alteration of easements etc; and
- water usage charges where water has been supplied for building activity purposes prior to disinfection of a newly constructed water main.

Note: Payment for any Goods and Services (including Customer Redress) provided by Sydney Water will be required prior to the issue of the Section 73 Certificate or release of the Bank Guarantee or Cash Bond.

Your Coordinator can tell you about these costs.

## OTHER THINGS YOU MAY NEED TO DO

Shown below are other things you need to do that are NOT a requirement for the Certificate. They may well be a requirement of Sydney Water in the future because of the impact of your development on our assets. You must read them before you go any further.

### Approval of your building plans

Please note that the building plans must be approved when each lot is developed. This can be done at Sydney Water Tap in™. Visit [www.sydneywater.com.au](http://www.sydneywater.com.au) > Plumbing, building & developing > Building > Sydney Water Tap in™.

**This is not a requirement for the Certificate** but the approval is needed because the construction/building works may affect Sydney Water's assets (e.g. water, sewer and stormwater mains).

Where a Sydney Water stormwater channel, pipe or culvert is located within ten (10) metres of your development site it must be referred to Sydney Water for further assessment.

Your Coordinator can tell you about the approval process including:

- Possible requirements;
- Costs; and
- Timeframes.

### Disused Sewerage Service Sealing

Please do not forget that you must pay to disconnect all disused private sewerage services and seal them at the point of connection to a Sydney Water sewer main. This work must meet Sydney Water's standards in the Plumbing Code of Australia (the Code) and be done by a licensed drainer. The licensed drainer must arrange for an inspection of the work by a NSW Fair Trading Plumbing Inspection Assurance Services (PIAS) officer. After that officer has looked at the work, the drainer can issue the Certificate of Compliance. The Code requires this.

### Soffit Requirements

Please be aware that floor levels must be able to meet Sydney Water's soffit requirements for property connection and drainage.

### Fire Fighting

Definition of fire fighting systems is the responsibility of the developer and is not part of the Section 73 process. It is recommended that a consultant should advise the developer regarding the fire fighting flow of the development and the ability of Sydney Water's system to provide that flow in an emergency. Sydney Water's Operating Licence directs that Sydney Water's mains are only required to provide domestic supply at a minimum pressure of 15 m head.

A report supplying modelled pressures called the Statement of Available pressure can be

purchased through Sydney Water Tap in™ and may be of some assistance when defining the fire fighting system. The Statement of Available pressure, may advise flow limits that relate to system capacity or diameter of the main and pressure limits according to pressure management initiatives. If mains are required for fire fighting purposes, the mains shall be arranged through the water main extension process and not the Section 73 process.

### **Large Water Service Connection**

A water main will be available, once you have completed your drinking water main construction to provide your development with a domestic supply. The size of your development means that you will need a connection larger than the standard domestic 20 mm size.

To get approval for your connection, you will need to lodge an application with Sydney Water Tap in™. You, or your hydraulic consultant, may need to supply the following:

- A plan of the hydraulic layout;
- A list of all the fixtures/fittings within the property;
- A copy of the fireflow pressure inquiry issued by Sydney Water;
- A pump application form (if a pump is required);
- All pump details (if a pump is required).

You will have to pay an application fee.

Sydney Water does not consider whether a water main is adequate for fire fighting purposes for your development. We cannot guarantee that this water supply will meet your Council's fire fighting requirements. The Council and your hydraulic consultant can help.

### **Disused Water Service Sealing**

You must pay to disconnect all disused private water services and seal them at the point of connection to a Sydney Water water main. This work must meet Sydney Water's standards in the Plumbing Code of Australia (the Code) and be done by a licensed plumber. The licensed plumber must arrange for an inspection of the work by a NSW Fair Trading Plumbing Inspection Assurance Services (PIAS) officer. After that officer has looked at the work, the drainer can issue the Certificate of Compliance. The Code requires this.

### **Other fees and requirements**

The requirements in this Notice relate to your Certificate application only. Sydney Water may be involved with other aspects of your development and there may be other fees or requirements. These include:

- plumbing and drainage inspection costs;
- the installation of backflow prevention devices;
- trade waste requirements;
- large water connections and

- council fire fighting requirements. (It will help you to know what the fire fighting requirements are for your development as soon as possible. Your hydraulic consultant can help you here.)

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**END**