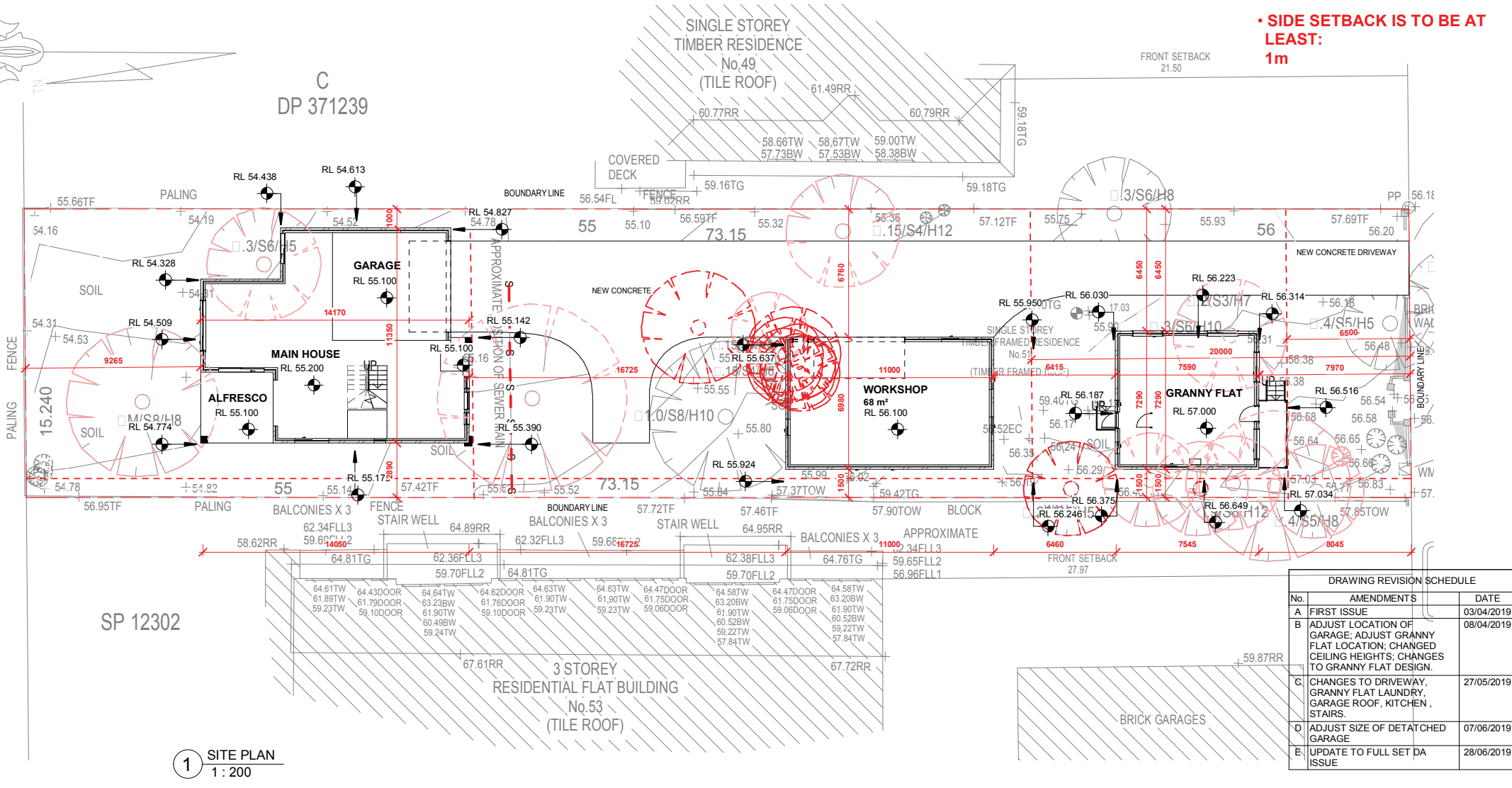


NOTE:

FRONT SETBACK IS TO BE AT LEAST: 6.5m

SIDE SETBACK IS TO BE AT LEAST: 1m

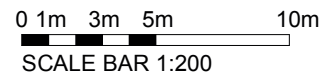
C
DP 371239



SP 12302

1 SITE PLAN
1 : 200

DRAWING REVISION SCHEDULE		
No.	AMENDMENTS	DATE
A	FIRST ISSUE	03/04/2019
B	ADJUST LOCATION OF GARAGE; ADJUST GRANNY FLAT LOCATION; CHANGED CEILING HEIGHTS; CHANGES TO GRANNY FLAT DESIGN.	08/04/2019
C	CHANGES TO DRIVEWAY, GRANNY FLAT LAUNDRY, GARAGE ROOF, KITCHEN, STAIRS.	27/05/2019
D	ADJUST SIZE OF DETACHED GARAGE	07/06/2019
E	UPDATE TO FULL SET DA ISSUE	28/06/2019



PROPOSED FLOOR SPACES		
NAME	AREA	%
ALFRESCO	14 m²	4%
FIRST FLOOR	90 m²	25%
GARAGE	115 m²	33%
GRANNY FLAT	51 m²	15%
MAIN HOUSE	81 m²	23%
PORCH	2 m²	1%
TOTAL AREAS:	354 m²	100%

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G.J. Gardner. HOMES
Builders Details

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DRAFTERS: **KJR**
SUITE 302
5 CELEBRATION DRIVE
BELLA VISTA NSW 2153
ABN 15 078 937 238
(02) 8883 4344 kjrdrafting@kjrd.net.au

CLIENT: **DOUBLE STOREY DWELLING**
WOHL
DRAWING TITLE:
SITE PLAN
SCALE: 1 : 200

PROJECT:
**51 REDMAN ROAD, DEE WHY
NSW 2099**
STAGE: DA

SHEET SIZE: **A3** A03 E
REVISION:
DATE: **28/06/2019**
JOB NO: 230250 STAGE: DA
DRAWN: NF GJGN090

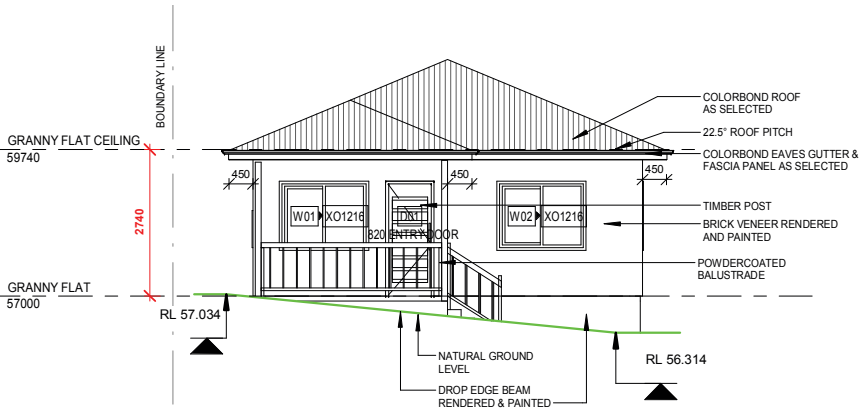
REFER TO COLOUR SELECTION FOR BATHROOM AND LAUNDRY FINAL LAYOUT & FINISHES

DOOR SCHEDULE

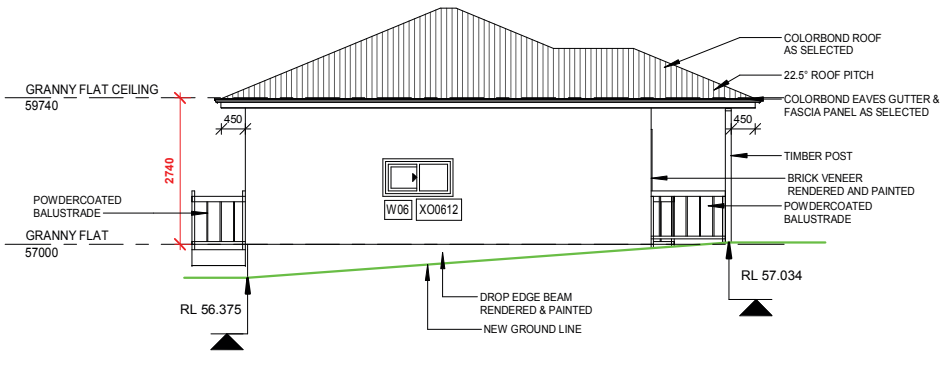
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D04	1200	2100
D05	1570	2100
D06	2410	2100
D07	2410	2100
D08	790	2100

WINDOW SCHEDULE

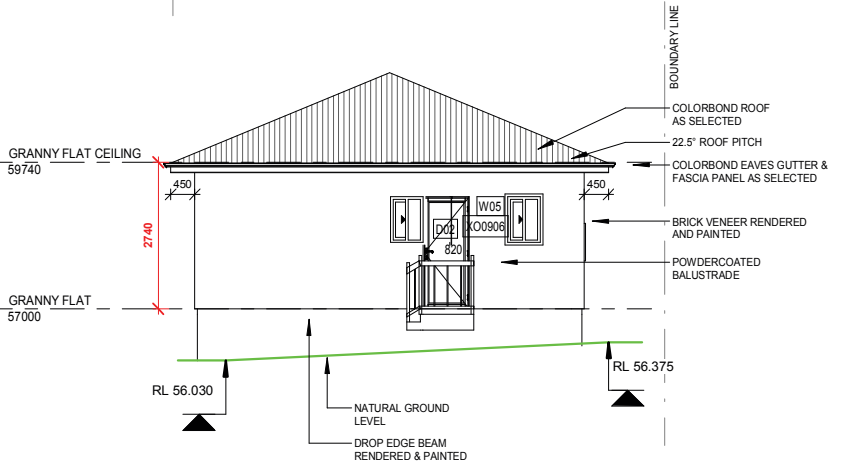
Code	Width	Height
W01	1570	1200
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W03	1570	1200
W04	1570	1200
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W06	1210	600
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W08	850	1200
W09	850	1200
W10	610	860
W11	610	860
W12	1810	1030
W13	1810	1030
W14	610	1460
W15	900	1460
W16	610	1460
W17	2650	1460
W18	1810	600
W19	610	860
W20	610	1460
W21	922	1500
W22	610	1460
W23	1200	900
W24	1810	860
W25	1810	860
W26	610	600
W27	610	600
W28	610	600
W29	1810	600
W30	1810	1030
W31	1810	1030
W32	1810	1030
W33	1810	600
W34	1810	1030
W35	610	860



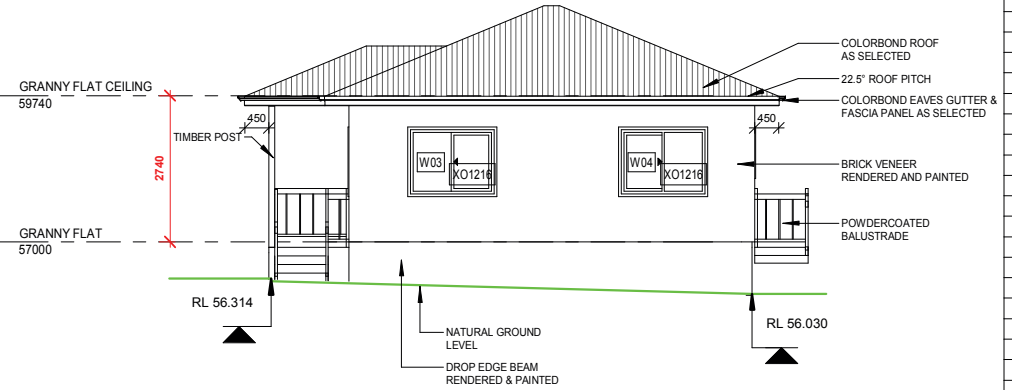
1 FRONT ELEVATION
1 : 100



2 SIDE ELEVATION 2
1 : 100



3 REAR ELEVATION
1 : 100



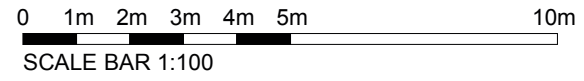
4 SIDE ELEVATION 1
1 : 100

PROPOSED FLOOR SPACES

NAME	AREA	%
ALFRESCO	14 m ²	4%
FIRST FLOOR	90 m ²	25%
GARAGE	115 m ²	33%
GRANNY FLAT	51 m ²	15%
MAIN HOUSE	81 m ²	23%
PORCH	2 m ²	1%
TOTAL AREAS:	354 m ²	100%

DRAWING REVISION SCHEDULE

No.	AMENDMENTS	DATE
A	FIRST ISSUE	03/04/2019
B	ADJUST LOCATION OF GARAGE; ADJUST GRANNY FLAT LOCATION; CHANGED CEILING HEIGHTS; CHANGES TO GRANNY FLAT DESIGN.	08/04/2019
C	CHANGES TO DRIVEWAY, GRANNY FLAT LAUNDRY, GARAGE ROOF, KITCHEN, STAIRS.	27/05/2019
D	ADJUST SIZE OF DETACHED GARAGE	07/06/2019
E	UPDATE TO FULL SET DA ISSUE	28/06/2019



G.J. Gardner. HOMES
Builders Details

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DRAFTERS:
KJR
SUITE 302
5 CELEBRATION DRIVE
BELLA VISTA NSW 2153
ABN 15 078 937 238
(02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: DOUBLE STOREY DWELLING
WOHL
DRAWING TITLE:
ELEVATIONS (GRANNY FLAT)
SCALE: 1 : 100

PROJECT:
51 REDMAN ROAD, DEE WHY NSW 2099
STAGE: DA

SHEET SIZE: A3 A05 E
REVISION:
DATE: 28/06/2019
JOB NO: 230250 STAGE: DA
DRAWN: NF GJGN090

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REFER TO COLOUR SELECTION FOR BATHROOM AND LAUNDRY FINAL LAYOUT & FINISHES

DOOR SCHEDULE

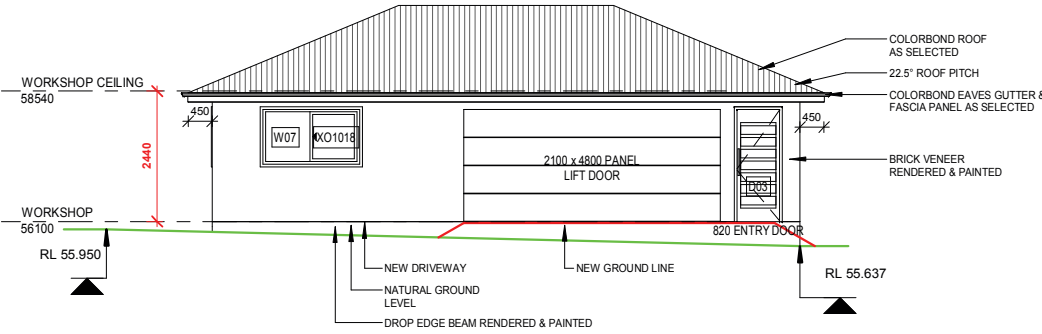
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D04	1200	2100
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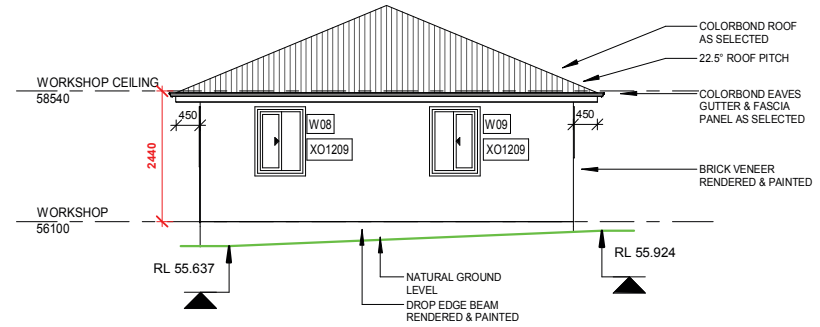
WINDOW SCHEDULE

Code	Width	Height
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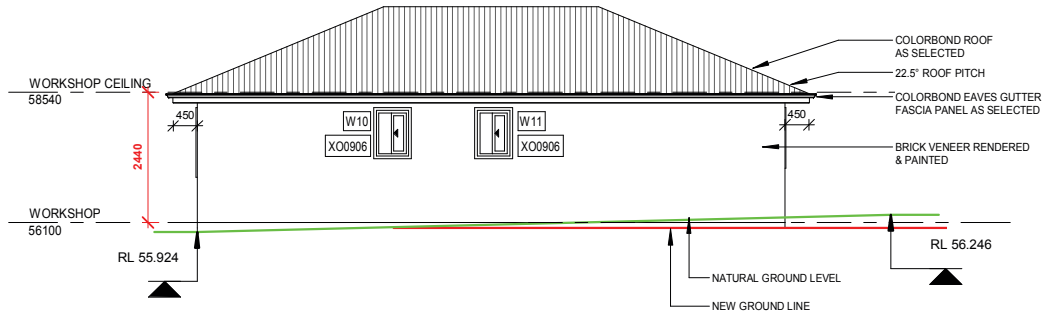
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W02	1570	1200
W03	1570	1200
W04	1570	1200
W05	610	860
W06	1210	600
W07	1810	1030
W08	850	1200
W09	850	1200
W10	610	860
W11	610	860
W12	1810	1030
W13	1810	1030
W14	610	1460
W15	900	1460
W16	610	1460
W17	2650	1460
W18	1810	600
W19	610	860
W20	610	1460
W21	922	1500
W22	610	1460
W23	1200	900
W24	1810	860
W25	1810	860
W26	610	600
W27	610	600
W28	610	600
W29	1810	600
W30	1810	1030
W31	1810	1030
W32	1810	1030
W33	1810	600
W34	1810	1030
W35	610	860



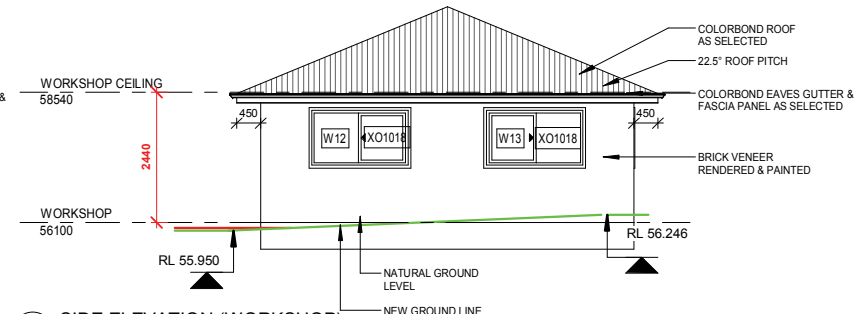
1 FRONT ELEVATION (WORKSHOP)
1 : 100



2 SIDE ELEVATION 2 (WORKSHOP)
1 : 100



3 REAR ELEVATION (WORKSHOP)
1 : 100



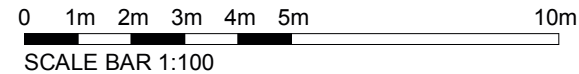
4 SIDE ELEVATION (WORKSHOP)
1 : 100

PROPOSED FLOOR SPACES

NAME	AREA	%
ALFRESCO	14 m ²	4%
FIRST FLOOR	90 m ²	25%
GARAGE	115 m ²	33%
GRANNY FLAT	51 m ²	15%
MAIN HOUSE	81 m ²	23%
PORCH	2 m ²	1%
TOTAL AREAS:	354 m ²	100%

DRAWING REVISION SCHEDULE

No.	AMENDMENTS	DATE
A	FIRST ISSUE	03/04/2019
B	ADJUST LOCATION OF GARAGE; ADJUST GRANNY FLAT LOCATION; CHANGED CEILING HEIGHTS; CHANGES TO GRANNY FLAT DESIGN.	08/04/2019
C	CHANGES TO DRIVEWAY, GRANNY FLAT LAUNDRY, GARAGE ROOF, KITCHEN, STAIRS.	27/05/2019
D	ADJUST SIZE OF DETACHED GARAGE	07/06/2019
E	UPDATE TO FULL SET DA ISSUE	28/06/2019



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Builders Details

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DRAFTERS:
KJR
SUITE 302
5 CELEBRATION DRIVE
BELLA VISTA NSW 2153
ABN 15 078 937 238
(02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: DOUBLE STOREY DWELLING
WOHL
DRAWING TITLE:
ELEVATIONS (WORKSHOP)
SCALE: 1 : 100

PROJECT:
**51 REDMAN ROAD, DEE WHY
NSW 2099**
STAGE: DA

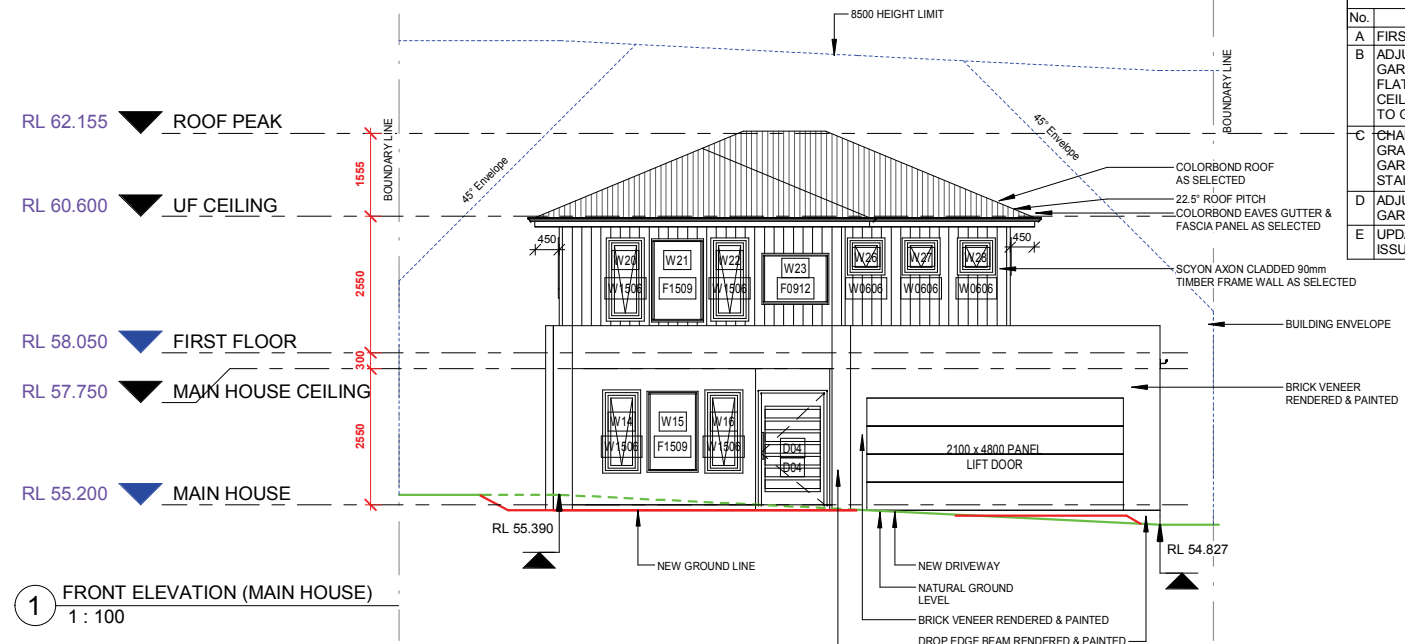
SHEET SIZE: **A3** SHEET No: **A07** REVISION: **E**
DATE: **28/06/2019**
JOB NO: 230250 STAGE: DA
DRAWN: NF GJGN090

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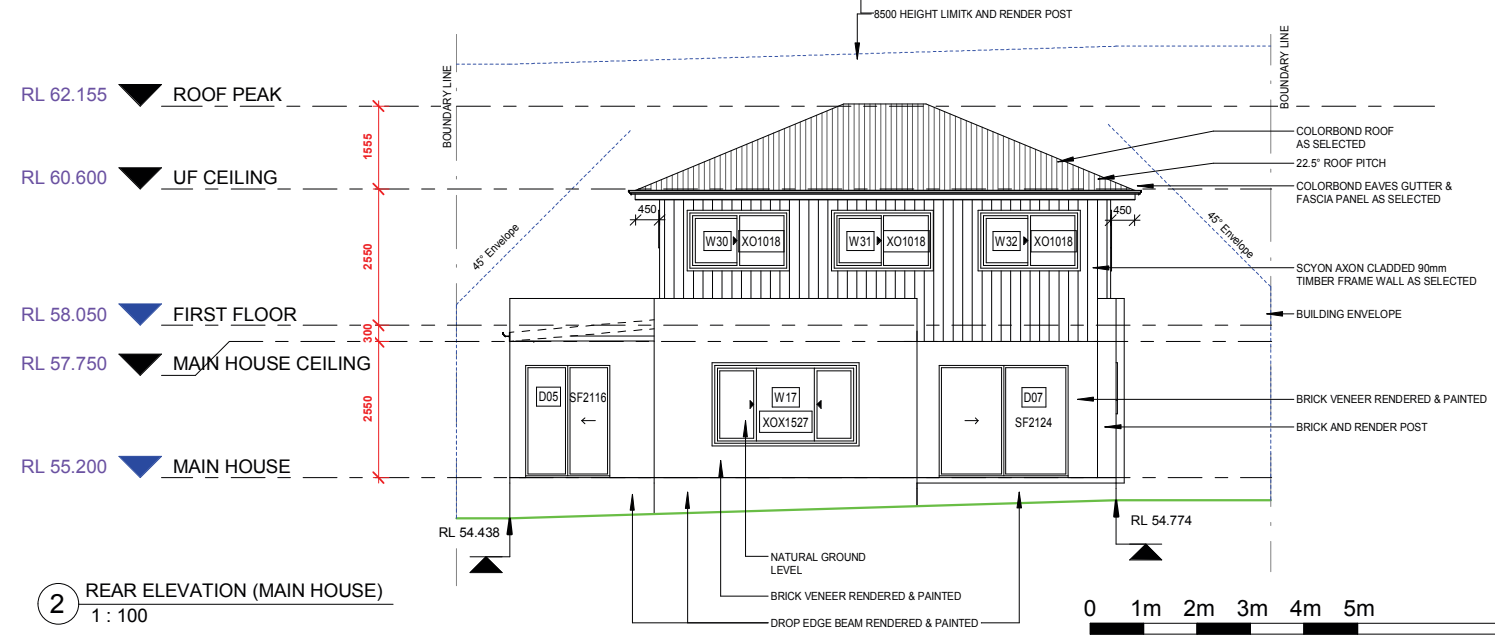
DRAWING REVISION SCHEDULE		
No.	AMENDMENTS	DATE
A	FIRST ISSUE	03/04/2019
B	ADJUST LOCATION OF GARAGE; ADJUST GRANNY FLAT LOCATION; CHANGED CEILING HEIGHTS; CHANGES TO GRANNY FLAT DESIGN.	08/04/2019
C	CHANGES TO DRIVEWAY, GRANNY FLAT LAUNDRY, GARAGE ROOF, KITCHEN, STAIRS.	27/05/2019
D	ADJUST SIZE OF DETACHED GARAGE	07/06/2019
E	UPDATE TO FULL SET DA ISSUE	28/06/2019

DOOR SCHEDULE		
Code	Width	Height
D01	820	2100
D02	870	2100
D03	820	2100
D04	1200	2100
D05	1570	2100
D06	2410	2100
D07	2410	2100
D08	790	2100

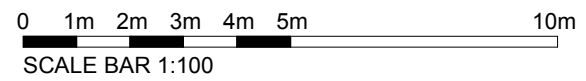
WINDOW SCHEDULE		
Code	Width	Height
W01	1570	1200
W02	1570	1200
W03	1570	1200
W04	1570	1200
W05	610	860
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W07	1810	1030
W08	850	1200
W09	850	1200
W10	610	860
W11	610	860
W12	1810	1030
W13	1810	1030
W14	610	1460
W15	900	1460
W16	610	1460
W17	2650	1460
W18	1810	600
W19	610	860
W20	610	1460
W21	922	1500
W22	610	1460
W23	1200	900
W24	1810	860
W25	1810	860
W26	610	600
W27	610	600
W28	610	600
W29	1810	600
W30	1810	1030
W31	1810	1030
W32	1810	1030
W33	1810	600
W34	1810	1030
W35	610	860



1 FRONT ELEVATION (MAIN HOUSE)
1 : 100



2 REAR ELEVATION (MAIN HOUSE)
1 : 100



PROPOSED FLOOR SPACES		
NAME	AREA	%
ALFRESCO	14 m ²	4%
FIRST FLOOR	90 m ²	25%
GARAGE	115 m ²	33%
GRANNY FLAT	51 m ²	15%
MAIN HOUSE	81 m ²	23%
PORCH	2 m ²	1%
TOTAL AREAS:	354 m ²	100%

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Builders Details

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DRAFTERS:
KJR
SUITE 302
5 CELEBRATION DRIVE
BELLA VISTA NSW 2153
ABN 15 078 937 238
(02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: DOUBLE STOREY DWELLING
WOHL
DRAWING TITLE:
ELEVATIONS (MAIN HOUSE)
SCALE: 1 : 100

PROJECT:
51 REDMAN ROAD, DEE WHY NSW 2099
STAGE: DA

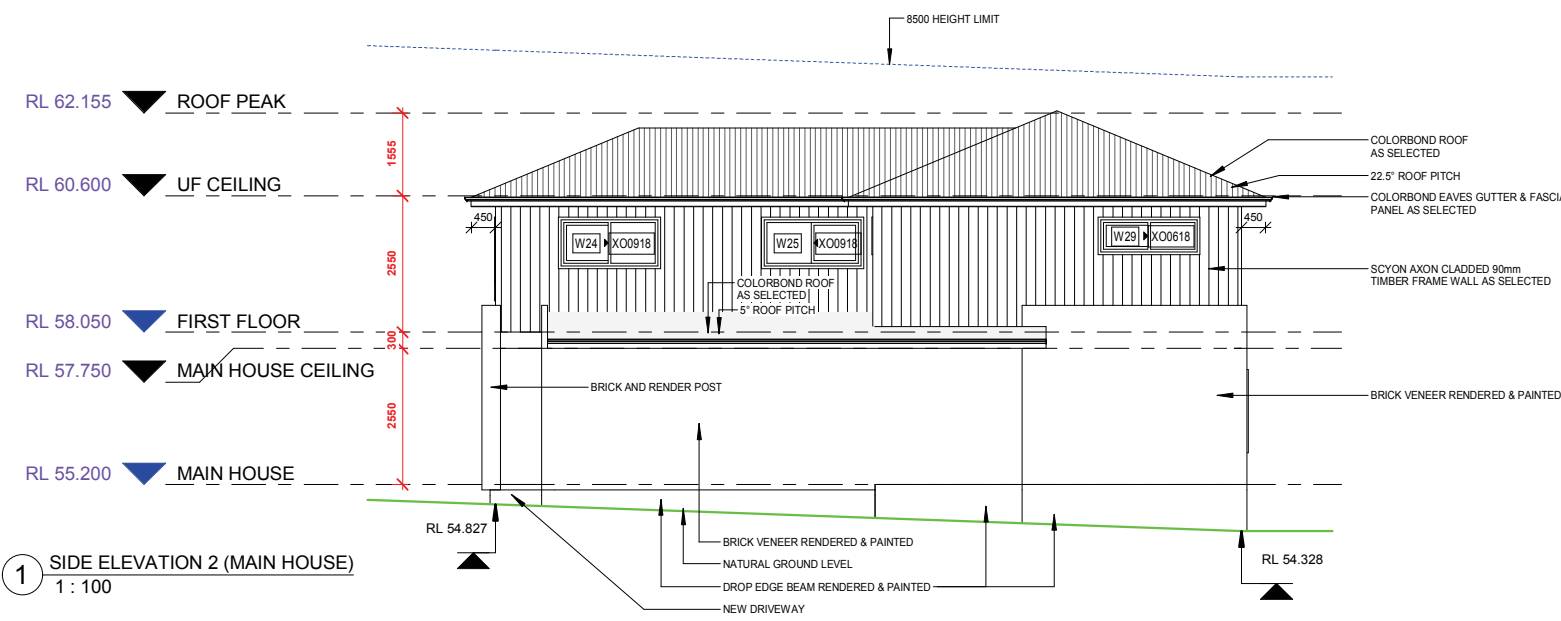
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REVISION:
DATE: **28/06/2019**
JOB No: STAGE: DA
DRAWN: NF GJGN090

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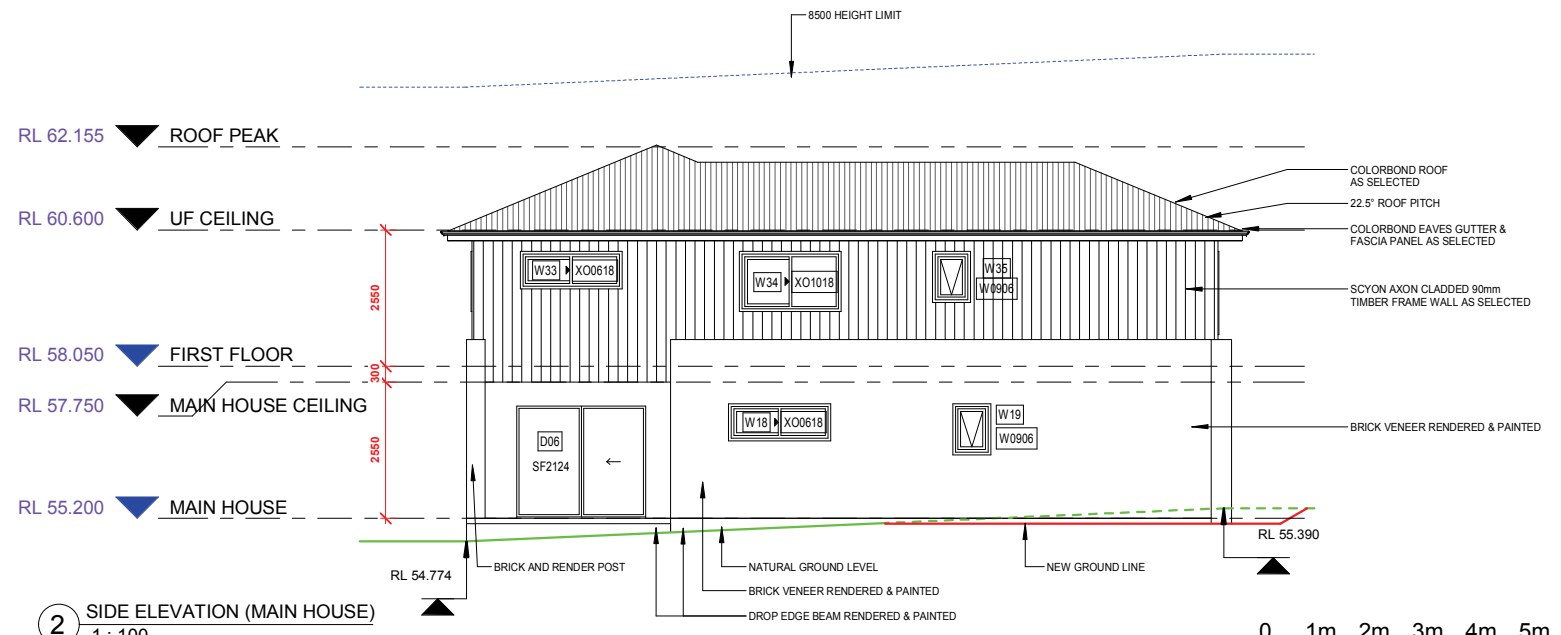
DRAWING REVISION SCHEDULE		
No.	AMENDMENTS	DATE
A	FIRST ISSUE	03/04/2019
B	ADJUST LOCATION OF GARAGE; ADJUST GRANNY FLAT LOCATION; CHANGED CEILING HEIGHTS; CHANGED TO GRANNY FLAT DESIGN.	08/04/2019
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D	ADJUST SIZE OF DETACHED GARAGE	07/06/2019
E	UPDATE TO FULL SET DA ISSUE	28/06/2019

DOOR SCHEDULE		
Code	Width	Height
D01	820	2100
D02	870	2100
D03	820	2100
D04	1200	2100
D05	1570	2100
D06	2410	2100
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D08	790	2100

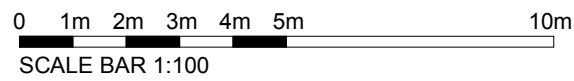
WINDOW SCHEDULE		
Code	Width	Height
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W02	1570	1200
W03	1570	1200
W04	1570	1200
W05	610	860
W06	1210	600
W07	1810	1030
W08	850	1200
W09	850	1200
W10	610	860
W11	610	860
W12	1810	1030
W13	1810	1030
W14	610	1460
W15	900	1460
W16	610	1460
W17	2650	1460
W18	1810	600
W19	610	860
W20	610	1460
W21	922	1500
W22	610	1460
W23	1200	900
W24	1810	860
W25	1810	860
W26	610	600
W27	610	600
W28	610	600
W29	1810	600
W30	1810	1030
W31	1810	1030
W32	1810	1030
W33	1810	600
W34	1810	1030
W35	610	860



① SIDE ELEVATION 2 (MAIN HOUSE)
1 : 100



② SIDE ELEVATION (MAIN HOUSE)
1 : 100



PROPOSED FLOOR SPACES		
NAME	AREA	%
ALFRESCO	14 m ²	4%
FIRST FLOOR	90 m ²	25%
GARAGE	115 m ²	33%
GRANNY FLAT	51 m ²	15%
MAIN HOUSE	81 m ²	23%
PORCH	2 m ²	1%
TOTAL AREAS:	354 m ²	100%

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ABN 15 078 937 238
(02) 8883 4344 kjrdrafting@kjrdrafting.com.au

CLIENT: DOUBLE STOREY DWELLING
WOHL
DRAWING TITLE:
ELEVATIONS (MAIN HOUSE)
SCALE: 1 : 100

PROJECT:
**51 REDMAN ROAD, DEE WHY
NSW 2099**
STAGE: DA

SHEET SIZE: A3 A11 E
REVISION:
DATE: 28/06/2019
JOB NO: 230250 STAGE: DA
DRAWN: NF GJGN090

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