

COVICH RESIDENCE

PROPOSED ALTERATIONS AND ADDITIONS

11 BEACON AVENUE,
BEACON HILL
N.S.W. 2100

20 JUNE, 2019



PLAN OR DOCUMENT CERTIFICATION

I AM A QUALIFIED STRUCTURAL DRAFTSPERSON

I HOLD THE FOLLOWING QUALIFICATIONS

BUILDING CERTIFICATE - SYDNEY TAFE

MEMBER: BUILDING DESIGNERS ASSOCIATION AUSTRALIA - Accreditation No: 6255

FURTHER I AM APPROPRIATELY QUALIFIED TO CERTIFY THIS
COMPONENT OF THE PROJECT.

I HEREBY STATE THAT THESE PLANS OR DETAILS COMPLY WITH THE
CONDITIONS OF DEVELOPMENT CONSENT OF THE APPROPRIATE
LOCAL GOVERNMENT AUTHORITY AND / OR THE RELEVANT AUSTRALIAN
BUILDING INDUSTRY STANDARDS.

SALLY GARDNER 20/06/19

Sally Gardner

NAME

DATE

SIGNATURE



47 Towradgi Street, Narrabeena, NSW, 2099 Australia
ABN 17 751 732 195
Accreditation Number 6255
www.designanddraft.com.au

SPECIFICATION :

- "Approval" - obtained by either an "Accredited Certifying Authority" or "Local Council".
- The Owner will directly pay all fees associated with the following: building approval from Council or Accredited Certifier, any footpath and kerb deposits with the local council, insurance fees to Building Services Corporation, Long Service Leave Levies and approval fees by water and sewerage authorities. All other fees are to be paid by the Builder.
The amount of any local authority deposits which are forfeited due to damage or other causes, will be deducted from payments due to the Builder.
- The Builder is to provide at his/her own expense, adequate Public Risk Insurance and arrange indemnification under the Workers Compensation Act. Works insurance to be as stated in the contract conditions.
- All tenderers are to visit the site to satisfy themselves as to the nature and extent of the works, facilities available and difficulties entailed in the works, as variations will not be allowed due to work arising owing to neglect of this clause.
- These drawings shall be read in conjunction with all structural and other consultant's drawings and specifications and with any such written instructions as may be issued during the course of the contract.
- Set out dimensions shown on the drawings shall be verified by the Builder on site before commencement of any work. Dimensions shall not be obtained by scaling the drawings. Use only figured dimensions. All dimensions are in millimetres.
- The Builder is to ensure all construction, levels and other items comply with the conditions of the Building Approval.
- Any detailing in addition to what is supplied shall be resolved between the Owner and the Builder, to the Owner's approval, except for any structural details or design which is to be supplied by the Engineer.
- All work to be carried out in a tradesman like manner and in accordance with the standards, codes and regulations of the Standards Association of Australia, National Construction Code of Australia and any Statutory Authority having jurisdiction over the works.
- All structural work is to be in accordance with the structural details prepared by a suitably qualified Structural Engineer. Including but not limited to, all piers, footings, concrete slabs, retaining walls, steelwork, formwork, underpinning, additional structural loads, timber framing, wind bracing and associated connections. Builder to obtain prior to finalising tender, unless previously obtained by owners.
- All brickwork is to be selected by owners and is to comply with AS 1640. All masonry is to comply with AS 3700.
- Provide all metalwork and flashings necessary to satisfactorily complete the works.
- All timber construction to be in accordance with AS 1684 - "Timber Framing Code".
- All glazing installed is to comply with AS 1288, AS 2047 and in accordance with manufacturer's recommendations.

- All wall and ceiling linings to be plasterboard or cement render as selected and villaboard or equal in wet areas. Workmanship is to comply with the relevant Australian Standards or installed in accordance with manufacturer's specifications.
- All bathrooms and wet areas to be adequately waterproofed to manufacturer's specification and in accordance with AS 3740 and Part 3.8.1 of the National Construction Code - Volume 2, provisions for Class 1 and Class 10 buildings.
- All architraves and skirtings to be to owner's selection or provide standard colonial mouldings or to match existing. Paint or stain finish as selected.
- All plumbing and drainage works to be installed and completed by a licenced tradesperson and in accordance with the statutory body having authority over the works. Connect all waste to Sydney Water sewer line.
- Connect all stormwater to existing system or street drainage system in accordance with AS 3500 and part 3.1.2 Drainage, of the National Construction Code - Volume 2, provisions for Class 1 and Class 10 buildings.
- Smoke detector alarms to be installed in accordance with AS3786 and part 3.7.2 of the National Construction Code - Volume 2, provisions for Class 1 and Class 10 buildings
- Termite protection measures to comply with AS3660 and be installed to manufacturer's specification.
- Stairs and Balustrades to comply with part 3.9.1 & 3.9.2 of the National Construction Code - Volume 2, provisions for Class 1 and Class 10 buildings.
- Electrical works to be in accordance with SAA wiring rules and be done by a licensed tradesman. Obtain electrical layout prior to proceeding. All electrical power (GPO) and light outlets to be determined by owner.
- Any work indicated on the plans but not specified and any item not shown on the plans which is obviously necessary as part of proper construction and/or finish, is to be considered as shown and specified and is to be undertaken at the Builder's expense.
- Variations will not be permitted without prior written approval by the owners.
- The Builder shall provide sediment and siltration control measures as required by Council and maintain them throughout the duration of the works.
- A legible copy of the plans bearing approval stamps, must be maintained on the job site at all times. Hours of construction shall be restricted to the times as required by the building approval.
- The Builder is to arrange for all inspections required by the relevant authorities and/or lending institutions, to their requirements.
- The Builder is to obtain approval for interruptions to existing services and minimise the duration and number of interruptions. Any interruptions to existing services and equipment is to be undertaken by appropriately qualified tradespersons.
- The Builder shall restore, reinstate or replace any damage to existing structures or landscaping caused by the construction works or workmen.
- Provide protection to existing trees to remain, or as required by the Approval Conditions.

DRAWING SCHEDULE

- Title Sheet
- N1. Specification & Drawing List
- N2. Schedules & Basix Commitments
- E1. Existing Ground Floor Plan
- A1. Roof Plan
- A2. Proposed Upper Floor Plan
- A3. Proposed Ground Floor Plan
- A4. Elevations Sheet 1 of 2
- A5. Elevations Sheet 2 of 2
- A6. Sections
- S1. Site Analysis Plan
- S2. Site Plan and Calculations
- S3. Sediment Control & Site Management Plan
- S4. Shadow Diagram at 9am
- S5. Shadow Diagram at 12 noon
- S6. Shadow Diagram at 3pm



northern
beaches
council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2019/0807

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|--|--|------|--|---------------------------|--|--|---|--|---------|---|------------|---------|------------|----------------|---------|
| | | |  BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA | Accreditation Number 6255 |  SALLY GARDNER DESIGN AND DRAFT PLANS DRAWN FOR APPROVAL |  SustainAbility Design™ Specialist | 47 Towradgi Street Narraweena, NSW, 2099 ABN 17 751 732 195 http:// www.designanddraft.com.au | Clients Adrian & Nicole COVICH | Project | PROPOSED ALTERATIONS & ADDITIONS 11 BEACON AVENUE, BEACON HILL | True North | Scale | 1:100 @ A3 | Job Number | 18-1206 |
| | | | | | | | | | Drawn | R.G. | | Checked | S.G. | Drawing Number | Rev. |
| | | | | | | | | | Date | 20 June, 2019 | | N1 | - | | |
| | | Date | Amendments | | | | | | | | | | | | |

| NO. | HEIGHT | WIDTH | LOCATION | FRAME / GLAZING STYLE | U value : SHGC | Additional Basix Requirements |
|-----|--------|-------|------------------|--|----------------|--|
| W1 | 0.600 | 2.400 | Bed 1 | Powder Coated Aluminium framed Fixed / Louvred window with clear glazing | 6.44 : 0.75 | |
| W2 | 1.100 | 3.000 | Bed 1 | Powder Coated Aluminium framed Fixed / Double Hung window with clear glazing | 6.44 : 0.75 | |
| W3 | 0.600 | 2.400 | Bed 1 | Powder Coated Aluminium framed Fixed / Louvred window with clear glazing | 6.44 : 0.75 | |
| W4 | 1.100 | 1.250 | Bathroom | Powder Coated Aluminium framed Sliding window with clear glazing | 6.44 : 0.75 | |
| W5 | 1.100 | 0.750 | Bathroom | Powder Coated Aluminium framed Louvred window with frosted glazing | 6.44 : 0.75 | |
| W6 | 1.100 | 0.995 | Retreat | Powder Coated Aluminium framed Double Hung window with clear glazing | 6.44 : 0.75 | |
| W7 | 1.100 | 0.850 | Retreat | Powder Coated Aluminium framed Double Hung window with clear glazing | 6.44 : 0.75 | |
| W8 | 1.100 | 1.000 | Retreat | Powder Coated Aluminium framed Double Hung window with clear glazing | 6.44 : 0.75 | Require Fixed Awning to 900mm projection |
| W9 | 1.100 | 1.000 | Retreat | Powder Coated Aluminium framed Double Hung window with clear glazing | 6.44 : 0.75 | Require Fixed Awning to 900mm projection |
| W10 | 1.100 | 0.455 | Retreat | Powder Coated Aluminium framed Louvred window with clear glazing | 6.44 : 0.75 | |
| W11 | 1.100 | 1.500 | Retreat | Powder Coated Aluminium framed Fixed / Double Hung window with clear glazing | 6.44 : 0.75 | |
| W12 | 1.100 | 1.225 | Retreat | Powder Coated Aluminium framed Sliding window with clear glazing | 6.44 : 0.75 | |
| W13 | 0.600 | 0.650 | W.I.R. | Powder Coated Aluminium framed Louvred window with clear glazing | 6.44 : 0.75 | |
| W14 | 1.155 | 0.600 | Open Plan Living | Powder Coated Aluminium framed Double Hung window with clear glazing | 6.44 : 0.75 | |
| W15 | 1.155 | 0.600 | Open Plan Living | Powder Coated Aluminium framed Double Hung window with clear glazing | 6.44 : 0.75 | |
| W16 | 1.300 | 3.710 | Open Plan Living | Powder Coated Aluminium framed Bi-fold Doors with clear glazing | 6.44 : 0.75 | |
| W17 | 2.100 | 1.930 | Open Plan Living | Powder Coated Aluminium framed Sliding Door with clear glazing | 6.44 : 0.75 | |
| W18 | 2.100 | 3.170 | Open Plan Living | Powder Coated Aluminium framed Stacking Sliding Doors with clear glazing | 6.44 : 0.75 | |
| W19 | 0.600 | 2.400 | Kitchen | Powder Coated Aluminium framed Fixed window with frosted glazing | 6.39 : 0.56 | Requires Shade Projection to min. 260mm |
| W20 | 1.210 | 0.600 | Pantry | Powder Coated Aluminium framed Louvred window with clear glazing | 6.44 : 0.75 | Requires Shade Projection to min. 510mm |

| Construction | Additional insulation required (R-value) |
|---|---|
| suspended floor with open subfloor: framed (R0.7). | R0.8 (down) (or R1.50 including construction) |
| floor above existing dwelling or building. | nil |
| external wall: framed (weatherboard, fibro, metal clad) (R0.40) | R1.30 (or R1.70 including construction) |
| flat ceiling, pitched roof | ceiling: R3.00 (up), roof: foil/sarking |

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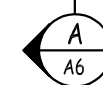
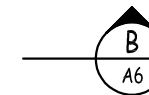
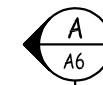
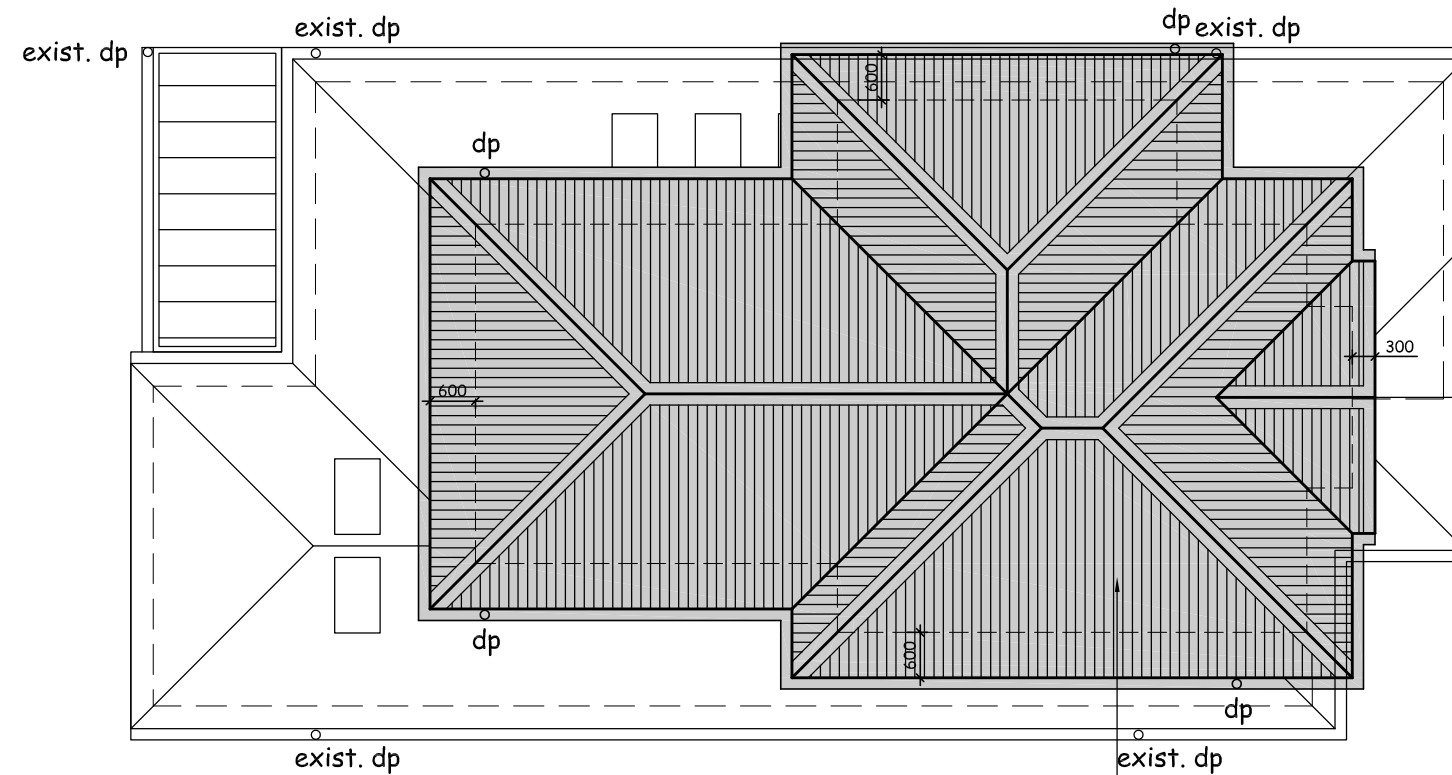
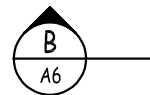


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 northern
beaches
council

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2019/0807

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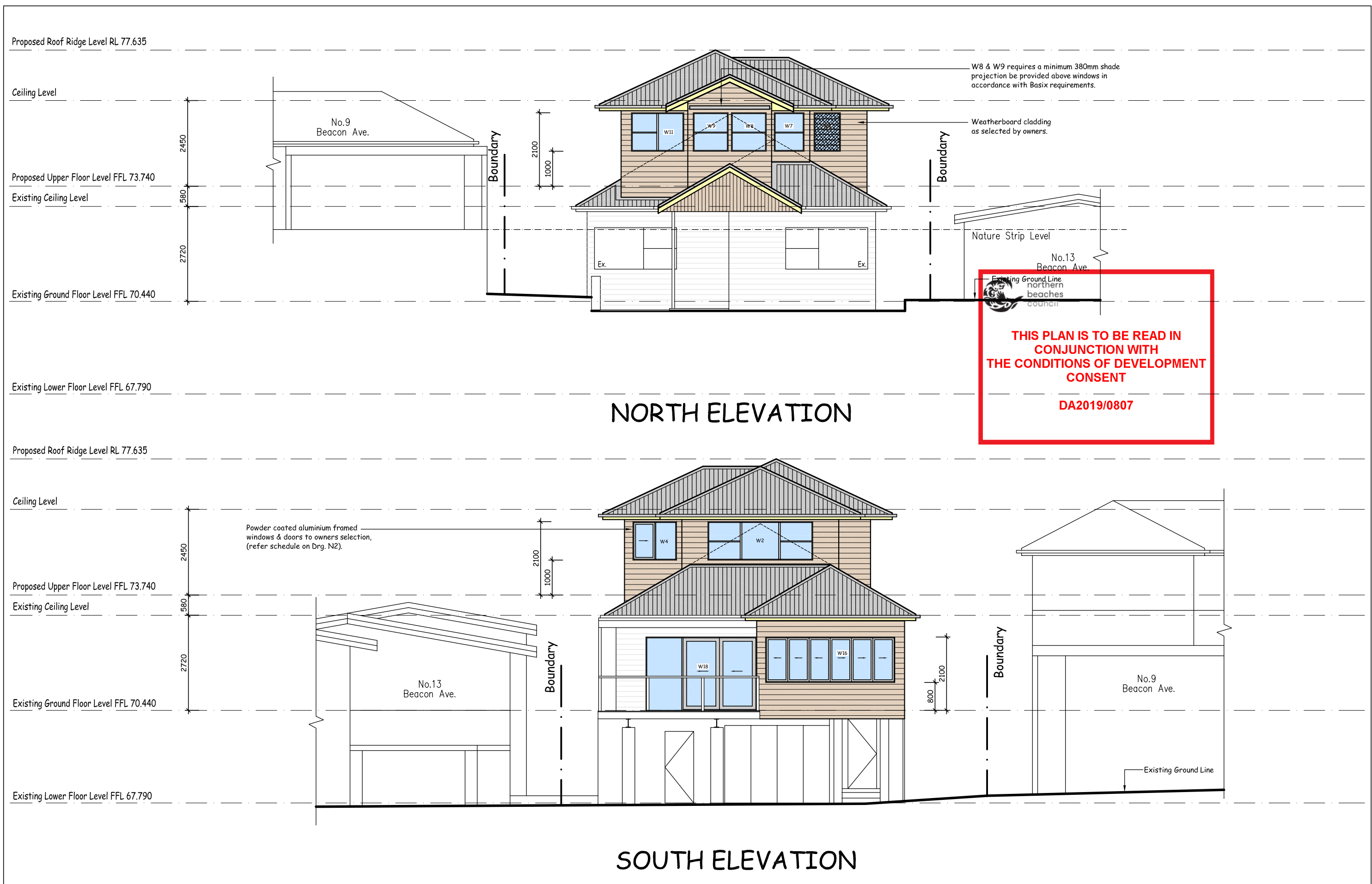
Provide Colorbond downpipes in accordance with Hydraulic Engineer's details. Colour as selected by owners. Connect head to gutter & foot to drainage system with brackets at 2700mm max. spacing, with a minimum of 2 brackets per downpipe. All new downpipes are to be connected to the existing stormwater system that discharges to an existing Council stormwater collection system.

Timber Fascia Boards shall be of seasoned solid timber primed or stained all round prior to fixing and not less than 19mm finished thickness for 600mm maximum centres.

Provide Colorbond Guttering to all new eaves in accordance with Hydraulic Engineer's details. Set gutter with sufficient fall to all downpipes and secure with brackets max. 1200mm apart.

Colorbond "Custom-Orb" roof sheeting fixed to framing or trusses in accordance with the manufacturers specifications. Colour: to match existing roof or as selected by owners. Reflective sarking to be installed under sheeting. Provide all ridge, barge and other fittings as required to complete the roof and leave fully cleaned.

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| | | |  <div>Accreditation Number 6255</div>   <div>47 Towradgi Street Narraweena, NSW, 2099 ABN 17 751 732 195</div> <div>Clients Adrian & Nicole COVICH</div> <div>Project PROPOSED ALTERATIONS & ADDITIONS 11 BEACON AVENUE, BEACON HILL</div> <div>True North </div> <div>Scale 1:100 @ A3</div> <div>Job Number 18-1206</div> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | | | | <div>BUILDING DESIGNERS SALLY GARDNER DESIGN AND DRAFT</div> <div>ASSOCIATION OF AUSTRALIA PLANS DRAWN FOR APPROVAL</div> <div><div>SustainAbility Design™ Specialist</div></div> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | </ |



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|------|------------|--|--|---|--|---|--|---|------------|------------------------------|------------------------------|-----------------------------|------------------|
| | | |  <div>Accreditation Number 6255</div> |  |  <div>SustainAbility Design™ Specialist</div> | 47 Towradgi Street Narraweena, NSW, 2099 ABN 17 751 732 195 http:// www.designanddraft.com.au | Clients Adrian & Nicole COVICH | Project PROPOSED ALTERATIONS & ADDITIONS 11 BEACON AVENUE, BEACON HILL Drawing Title ELEVATIONS - SHEET 1 of 2 | True North | Scale 1:100 @ A3 | Job Number 18-1206 | | |
| | | | <div>BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA</div> | <div>SALLY GARDNER DESIGN AND DRAFT PLANS DRAWN FOR APPROVAL</div> | | | | | | Drawn R.G. | Checked S.G. | Drawing Number A4 | Rev. - |
| Date | Amendments | | | | | | | | | Date 20 June, 2019 | | | |

Proposed Roof Ridge Level RL 77.635

Ceiling Level

Proposed Upper Floor Level FFL 73.740

Existing Ceiling Level

Existing Ground Floor Level FFL 70.440

Existing Lower Floor Level FFL 67.790

Existing Ground Line

Powder coated aluminium framed windows & doors to owners selection, (refer schedule on Drg. N2).

Infill existing window opening and make good walls to match adjacent.

EAST ELEVATION

Proposed Roof Ridge Level RL 77.635

Ceiling Level

Proposed Upper Floor Level FFL 73.740

Existing Ceiling Level

Existing Ground Floor Level FFL 70.440

Existing Lower Floor Level FFL 67.790



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2019/0807

Boundary

W20 requires a minimum 510mm shade projection be provided above window in accordance with Basix requirements.

Infill existing window opening and make good walls to match adjacent.

Extent of non-compliance within building envelope, this elevation.

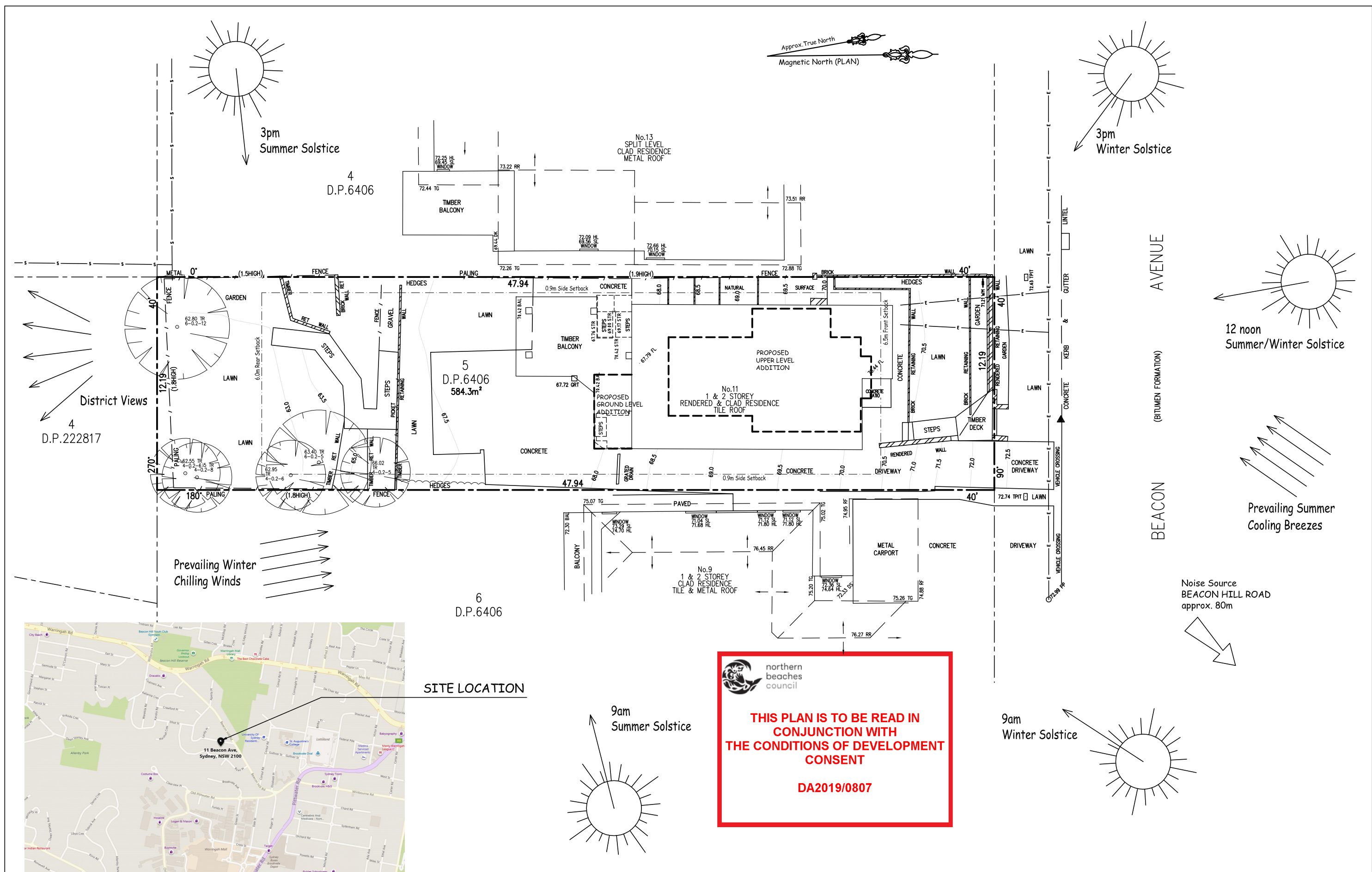
Weatherboard cladding as selected by owners.

W19 requires a minimum 260mm shade projection be provided above window in accordance with Basix requirements.

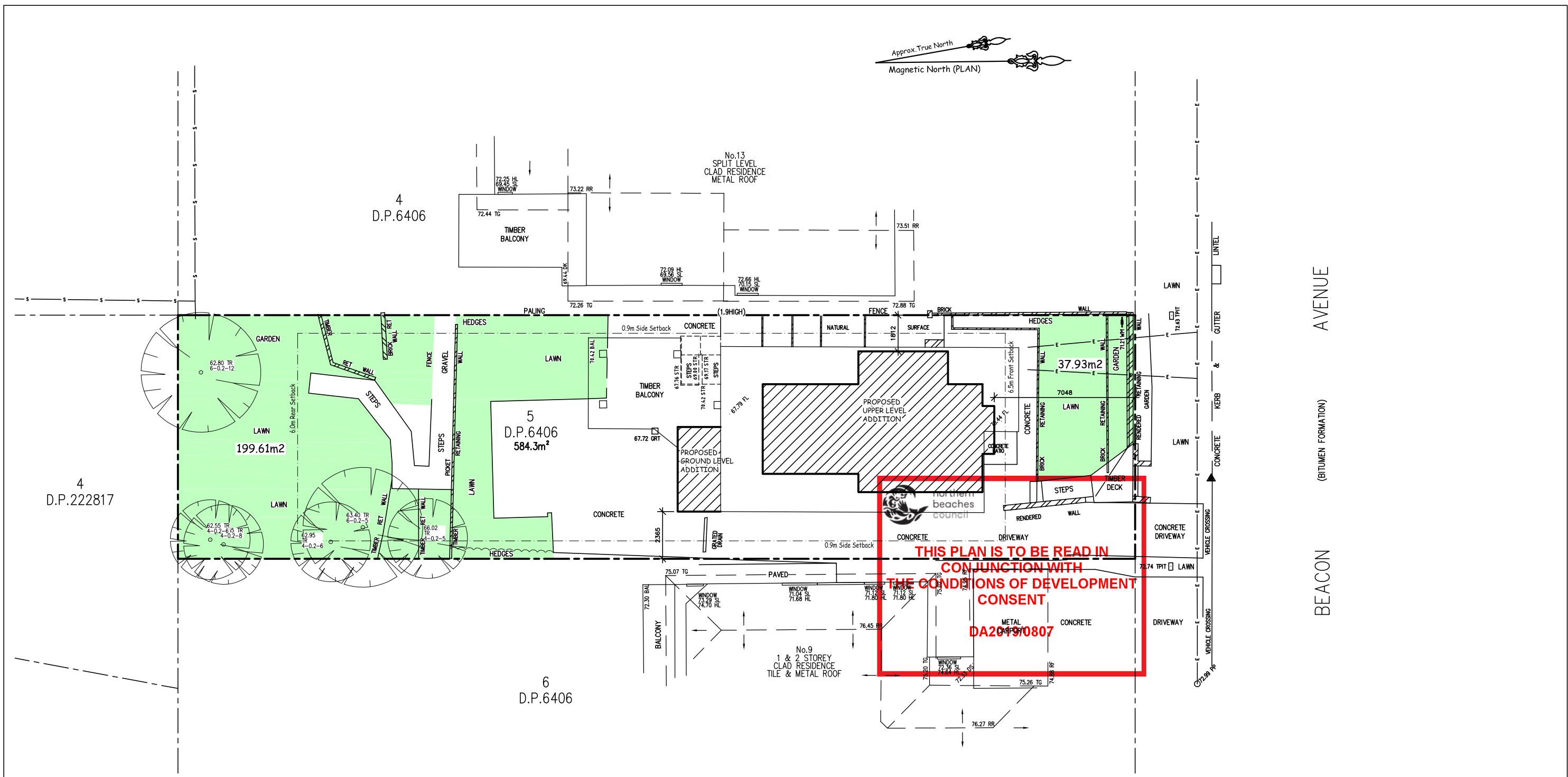
Existing Ground Line

WEST ELEVATION

| | | | | | | | | | | | | | | | | |
|------|--|--|---|--|--|--|--|--|--|--|-----------------------|--|-----------------------------|--|------------------------------|--|
| | | | Accreditation Number 6255 | | 47 Towradgi Street Narraweena, NSW, 2099 ABN 17 751 732 195 | | Clients Adrian & Nicole COVICH | | Project PROPOSED ALTERATIONS & ADDITIONS 11 BEACON AVENUE, BEACON HILL | | True North | | Scale 1:100 @ A3 | | Job Number 18-1206 | |
| | | |  | |  | | | | Drawing Title ELEVATIONS - SHEET 2 of 2 | | | | Drawn R.G. | | Checked S.G. | |
| Date | | | Amendments | | http:// www.designanddraft.com.au | | | | | | Date 20 June, 2019 | | Drawing Number A5 | | Rev. - | |
| | | | BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA | | SALLY GARDNER DESIGN AND DRAFT | | SustainAbility Design™ Specialist | | | | | | | | | |

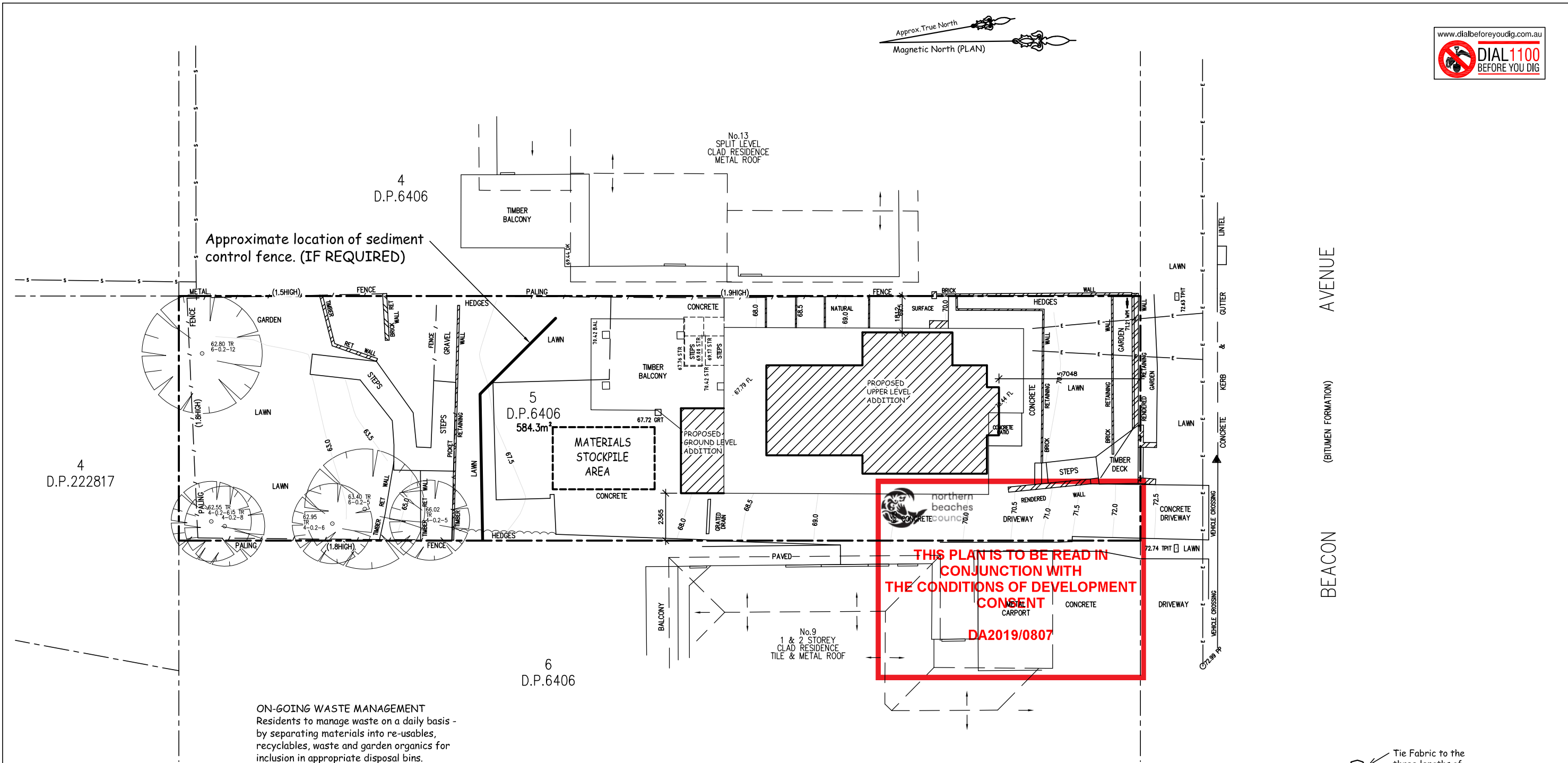


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|------|--|---|--|---|--|---------------------------|--|---|--|------------|--|-----------------------|--|----------------------|--|
| | | Accreditation Number 6255 | | 47 Towradgi Street Narraweena, NSW, 2099 | | Clients | | Project | | True North | | Scale | | Job Number | |
| | | bda | | ABN 17 751 732 195 | | Adrian & Nicole COVICH | | PROPOSED ALTERATIONS & ADDITIONS 11 BEACON AVENUE, BEACON HILL | | | | 1:200 @ A3 | | 18-1206 | |
| | | BUILDING DESIGNERS SALLY GARDNER DESIGN AND DRAFT | | http://www.designanddraft.com.au | | | | Drawing Title | | | | Drawn R.G. | | Checked S.G. | |
| Date | | Amendments | | | | | | SITE ANALYSIS PLAN | | | | Date 20 June, 2019 | | Drawing Number S1 | |
| | | | | | | | | | | | | | | Rev. - | |



| SITE DEVELOPMENT CALCULATIONS - R2 LOW DENSITY RESIDENTIAL | | | | | | |
|--|-------------|------------|-------------|------------|----------|------------|
| Site Area = 584.3 m2 | Existing m2 | Existing % | Proposed m2 | Proposed % | Control | Compliance |
| Residence | 119.32 | | 119.32 | | | |
| Driveway | 156.22 | | 156.22 | | | |
| Paving / Deck | 45.65 | | 45.65 | | | |
| Site Coverage | 321.19 | 54.97 | 321.19 | 54.97 | 60% max. | YES |
| Total Landscaped Open Space (Excludes areas of less than 2.0m wide) | 237.54 | 40.65 | 237.54 | 40.65 | 40% min. | YES |
| Total Pervious Site Area | 263.11 | 45.03 | 263.11 | 45.03 | | |

Denotes Proposed Landscape Area
(excludes areas less than 2m wide)



Approximate location of sediment control fence. (IF REQUIRED)

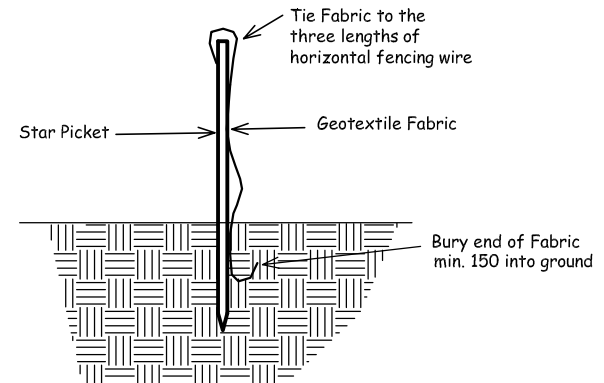
ON-GOING WASTE MANAGEMENT
Residents to manage waste on a daily basis - by separating materials into re-usables, recyclables, waste and garden organics for inclusion in appropriate disposal bins. Bins to be placed kerbside on specified days for collection by council.

BUILDING WASTE DISPOSAL
All waste material to be sorted and transported to the local authorized waste management centre for potential re-use by recycling.
Garden waste to be delivered to an authorized Recycling centre for chipping for reuse as mulch.
Any Asbestos materials located on the site during the demolition process is to be properly disposed of in accordance with the guidelines of the relevant regulatory authority. Every attempt will be made to keep waste to a minimum.

DUST CONTROL :
To reduce dust generated by wind action, the removal of the top soil is to be minimised. To prevent dust generation, watering down of the site, especially during the movement of machinery is required.
Where excavating into rock, keep the surface moist to minimise dust. Ensure wind breaks, such as existing fences are maintained during the construction phase until new landscaping is provided or reinstated. Prevent dust by covering stockpiles.

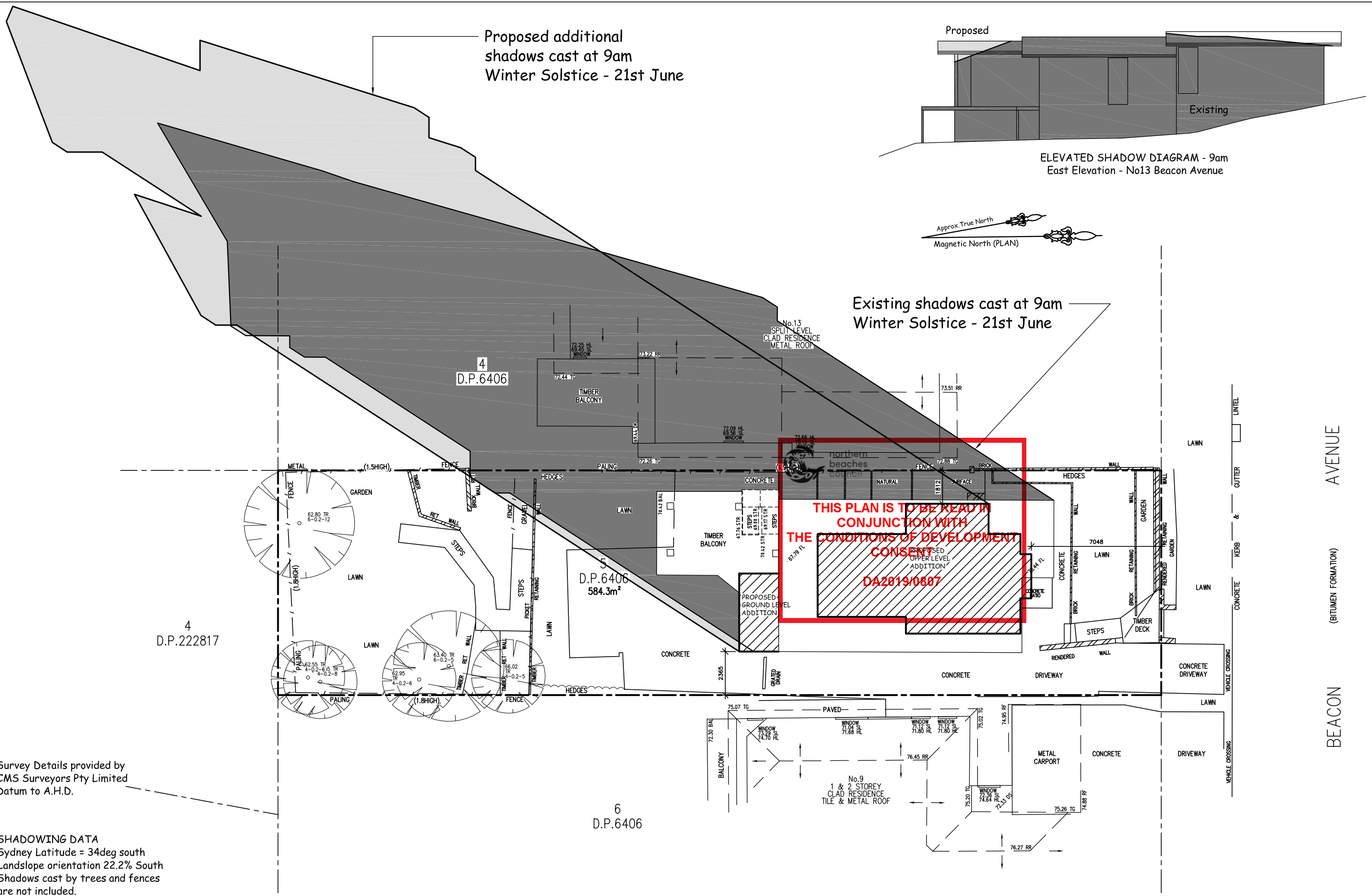
ON-SITE PRACTICES :
All trenches must be filled immediately after services are laid.
Excess materials such as cement, water from tool cleaning, paintbrushes and brick and concrete slurry, must not be washed into stormwater system. It's against the law to pollute waters with any solid, liquid or gas. Where possible, construct a depression or earth dam below brick, concrete or tile cutting. If this is not possible, pass waste water through a filtration system prior to release.

SEDIMENT NOTE :
1. All Erosion and Sediment Control measures to be inspected and maintained daily by the site manager.
2. Minimise disturbed areas, remove excess soil from excavated area as soon as possible.
3. All material stockpile to be clear from drains, gutters and footpaths, or within sediment fence area.
4. Drainage to be connected to stormwater as soon as possible. If stored on site, it must be filtered before releasing into stormwater system or waterways.
5. Roads and footpaths to be swept daily.

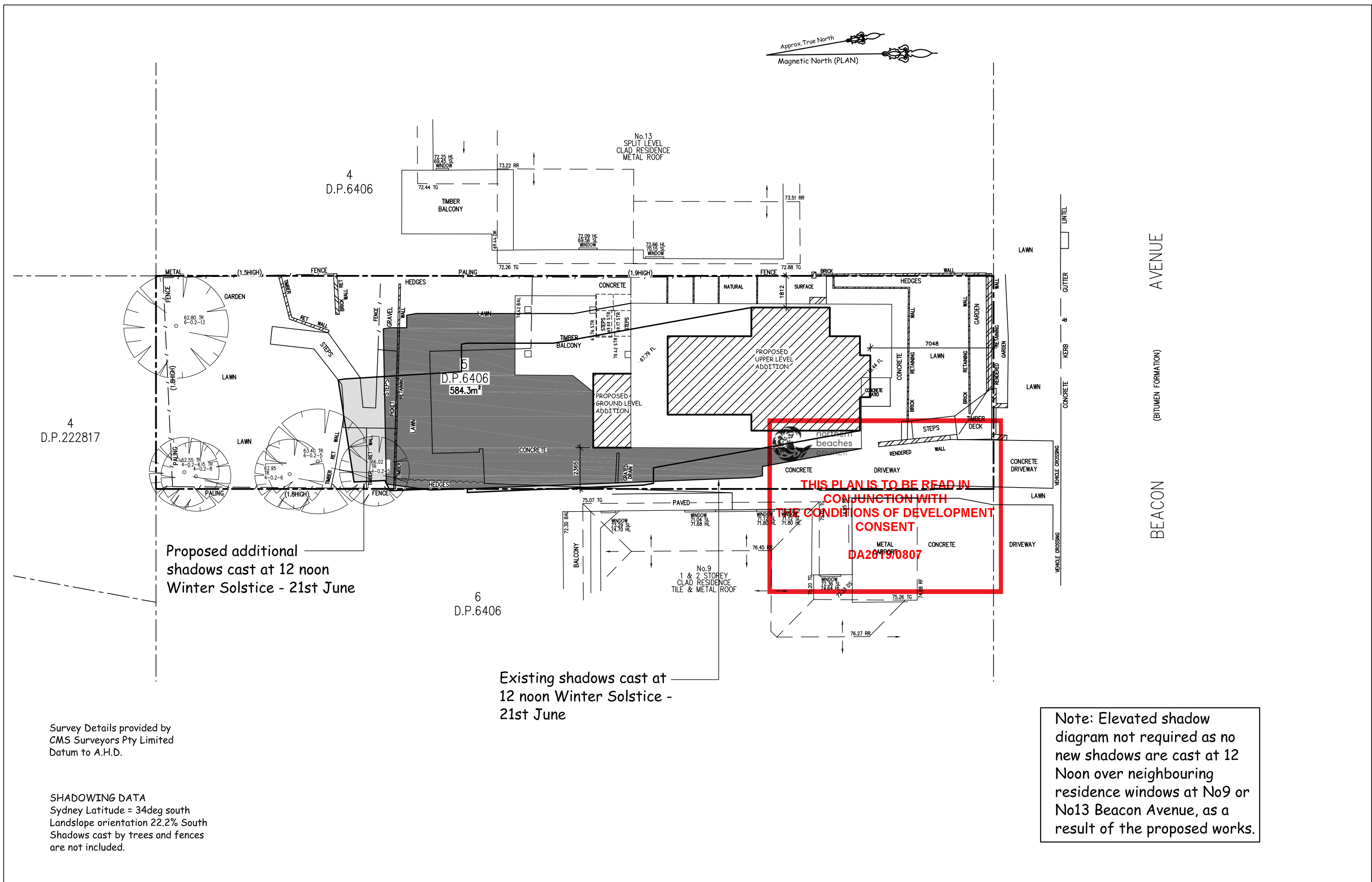


Sediment Control Fence

STOCKPILES :
All stockpiles are to be kept on-site where possible. Any materials placed on the footpaths or nature strips require council's permission.
All stockpiles are to be placed away from the drainage lines and street gutters. It is best to locate these on the highest part of the site if possible. Place waterproof covering over stockpiles.
If required provide diversion drain & bank around stockpiles.



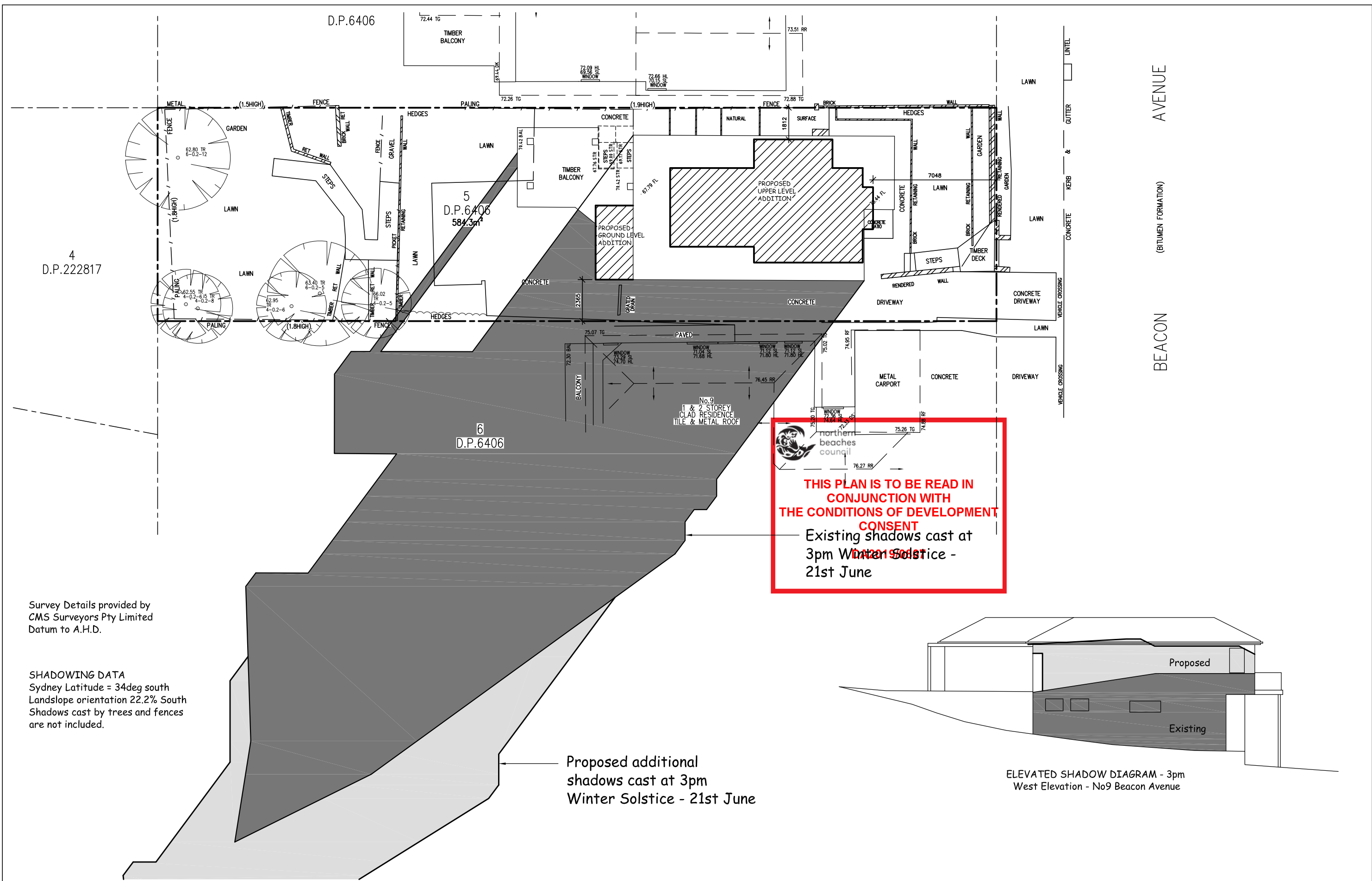
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|------|--|---------------------------|--|---|--|--------------------------------------|--|--|--|-----------------------|--|---------------------|--|-----------------------|--|
| | | Accreditation Number 6255 | | 47 Towradgi Street Narraweena, NSW, 2099 ABN 17 751 732 195 | | Clients Adrian & Nicole COVICH | | Project PROPOSED ALTERATIONS & ADDITIONS 11 BEACON AVENUE, BEACON HILL | | True North | | Scale 1:200 @ A3 | | Job Number 18-1206 | |
| | | bda | | SDS | | | | Drawing Title 9am SHADOW DIAGRAM - WINTER SOLSTICE | | Drawn R.G. | | Checked S.G. | | Drawing Number S4 | |
| Date | | Amendments | | BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA | | SALLY GARDNER DESIGN AND DRAFT | | | | Date 20 June, 2019 | | | | Rev. - | |



Survey Details provided by
CMS Surveyors Pty Limited
Datum to A.H.D.

SHADOWING DATA
Sydney Latitude = 34deg south
Landscape orientation 22.2% South
Shadows cast by trees and fences
are not included.

| | | | | | | | | | | | | | | | |
|------|--|---------------------------|--|---|--|--------------------------------------|--|--|--|-----------------------|--|---------------------|--|-----------------------|--|
| | | Accreditation Number 6255 | | 47 Towradgi Street Narraweena, NSW, 2099 ABN 17 751 732 195 | | Clients Adrian & Nicole COVICH | | Project PROPOSED ALTERATIONS & ADDITIONS 11 BEACON AVENUE, BEACON HILL | | True North | | Scale 1:200 @ A3 | | Job Number 18-1206 | |
| | | bda | | Sally Gardner Design and Draft | | SDS | | Drawing Title 12 Noon SHADOW DIAGRAM - WINTER SOLSTICE | | Drawn R.G. | | Checked S.G. | | Drawing Number S5 | |
| Date | | Amendments | | http://www.designanddraft.com.au | | | | | | Date 20 June, 2019 | | | | Rev. - | |



Survey Details provided by
CMS Surveyors Pty Limited
Datum to A.H.D.

SHADOWING DATA
Sydney Latitude = 34deg south
Landslope orientation 22.2% South
Shadows cast by trees and fences
are not included.

Proposed additional
shadows cast at 3pm
Winter Solstice - 21st June

ELEVATED SHADOW DIAGRAM - 3pm
West Elevation - No9 Beacon Avenue