

NOSWORTHY HOUSE

UPPER LEVEL WORKS

35A PLATEAU ROAD - AVALON BEACH - NSW 2107



DRAWING LIST	
Sheet Number	Sheet Name
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A002	BASIX REQUIREMENT
A003	NOTIFICATION PLAN AT A4
A004	SITE ANALYSIS
A005	SHADOW DIAGRAM
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A210	PROPOSED FLOOR PLANS
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ISSUE	DATE	REVISION
1	21.01.20	CLIENT/ PLANNING REVIEW
2	14.07.21	FOR DA - UPDATE 1

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NOMINATED ARCHITECT:
Luke Barker 8910

TITLE SHEET

1807- B UPPER LEVEL AMENDMENTS
CLIENT NAME: PHILL & JESS NOSWORTHY
ADDRESS: 35 A PLATEAU ROAD
BILGOLA - LOT 138- DP.16902

sheet no.	A000
scale:	
date:	JUNE
drawn:	F.AVICE
revision	2



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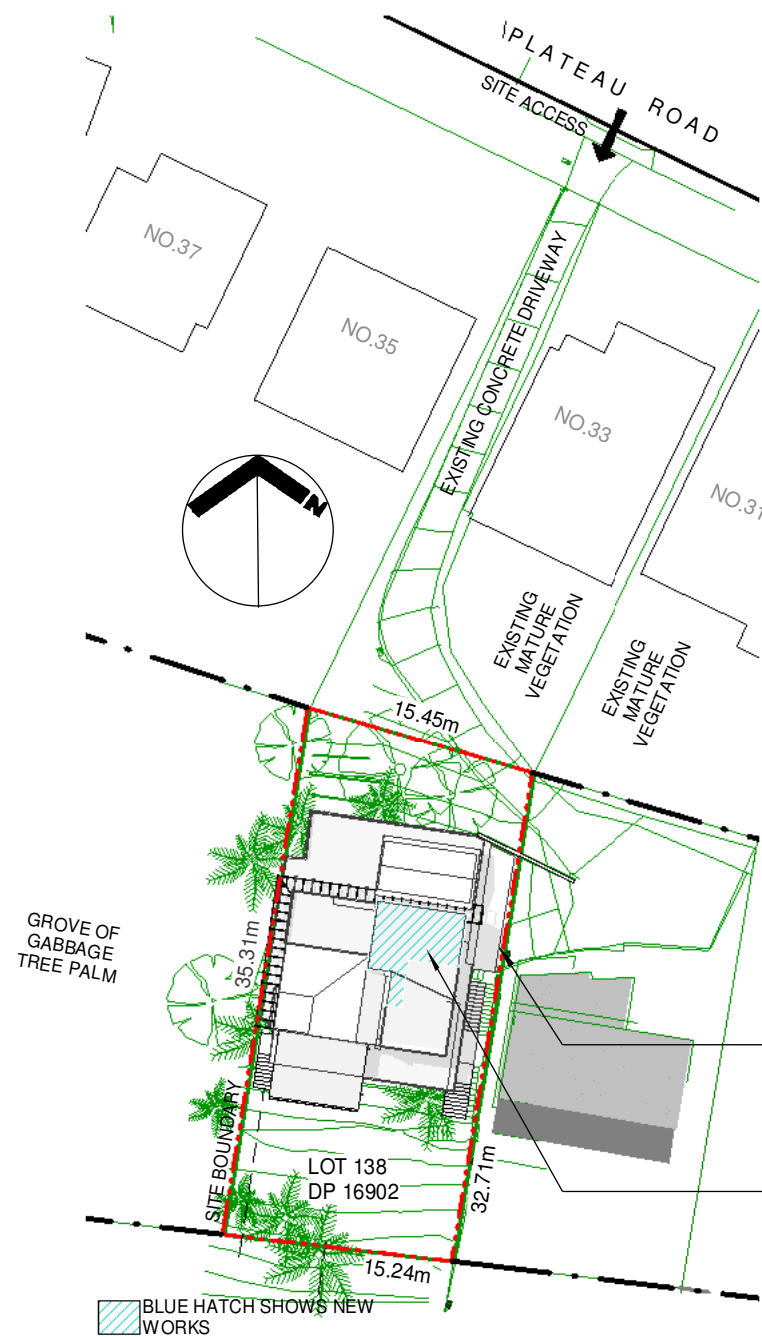
BASIX REQUIREMENT

1807- B UPPER LEVEL AMENDMENTS

CLIENT NAME: PHILL & JESS NOSWORTHY
ADDRESS: 35 A PLATEAU ROAD
BILGOLA - LOT 138- DP.16902

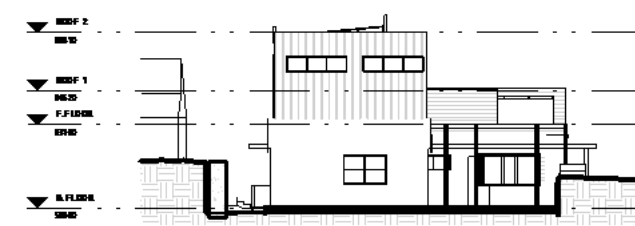
sheet no.	A002
scale:	
date:	JUNE
drawn:	F.AVICE
revision	



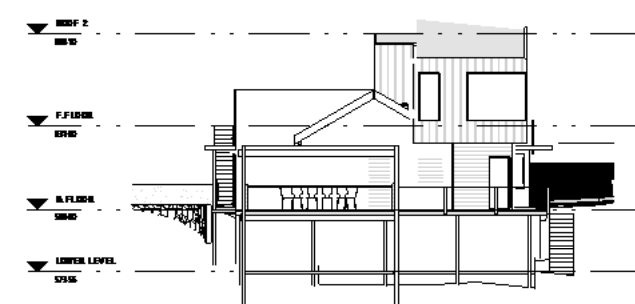


1 PROPOSED SITE PLAN
A502 1 : 500

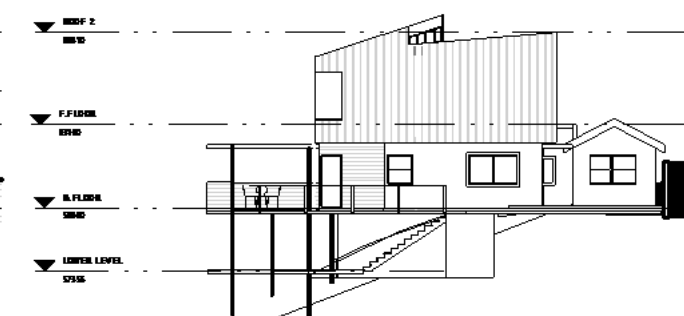
**UPPER LEVEL: COVERED DECK
ENCLOSED & BATHROOM LAYOUT
AMENDED**



NORTH ELEVATION - NO CHANGE TO EXISTING



SOUTH ELEVATION - NO CHANGE TO EXISTING



EAST ELEVATION - NO CHANGE TO EXISTING



WEST ELEVATION - NEW GLAZED WALL TO UPPER DECK

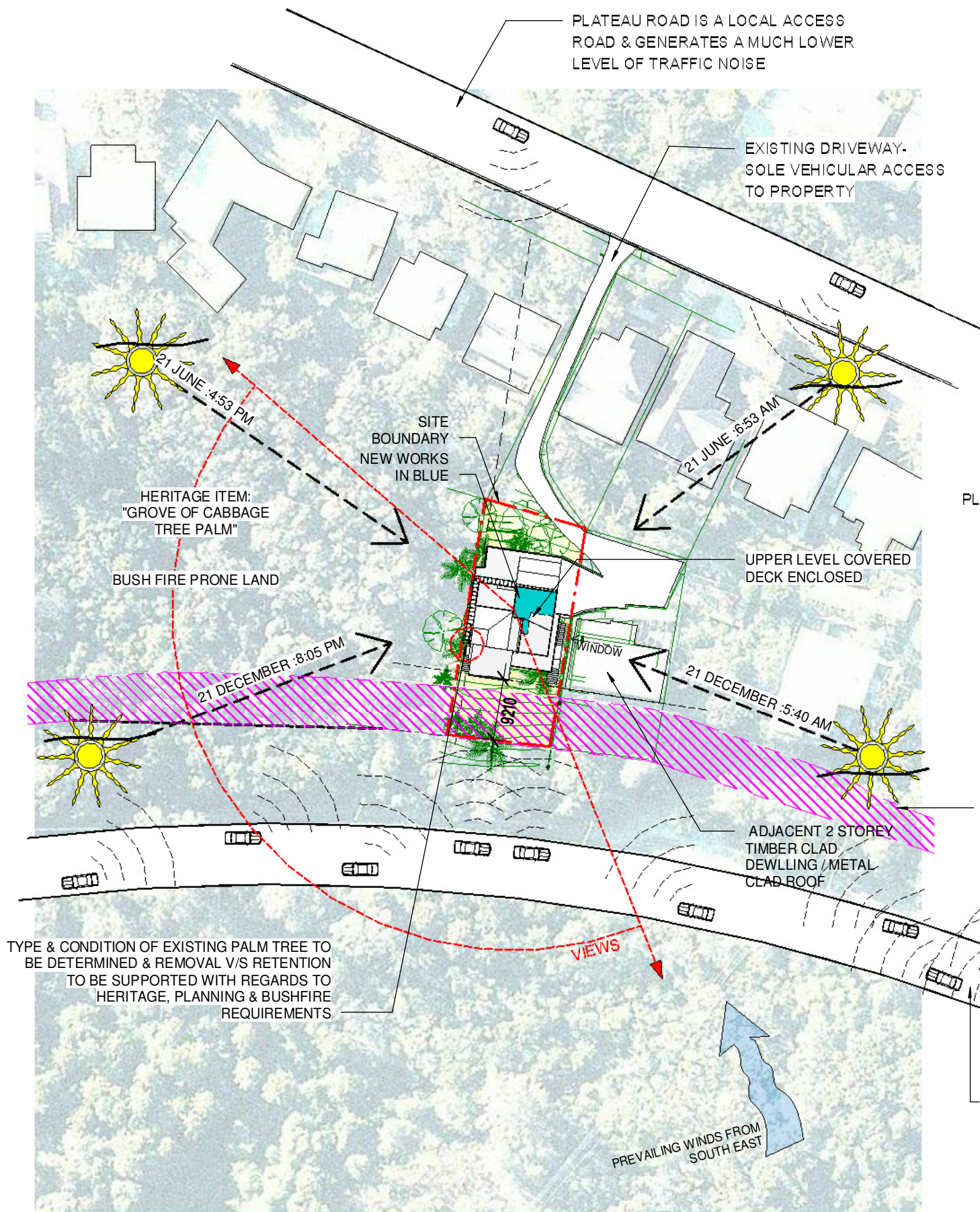
BLUE HATCH SHOWS EXTENT OF NEW WORKS
ELEVATIONS ARE AT 1:300

NEW WORKS GFA CONSISTS OF:
F.FLOOR = 23.5m²

NOTIFICATION PLAN AT A4

1807- B: UPPER LEVEL AMENDMENTS
CLIENT NAME: PHILL & JESS NOSWORTHY
ADDRESS: 35 A PLATEAU ROAD
BILGOLA - LOT 138- DP.16902
REVISION: 2 DRAWING No: A003
DRAWN BY: F. AVICE

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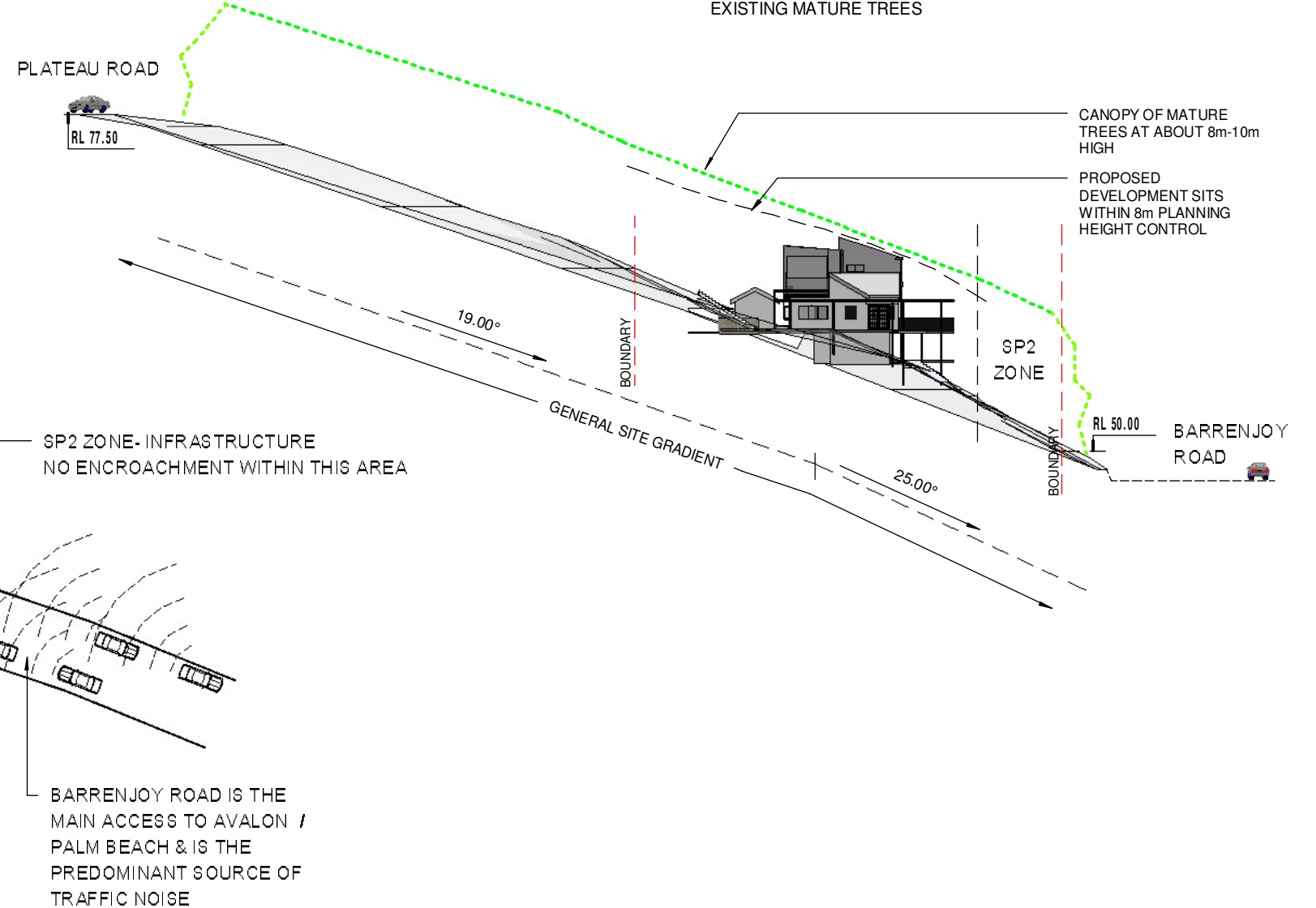
SITE : 35A PLATEAU ROAD- BILGOLA- NSW 2107



VIEW OF DRIVEWAY ENTRANCE FROM PLATEAU ROAD- PROPOSED DEVELOPMENT IS HIDDEN FROM VIEW



VIEW FROM BARRENJOY ROAD SHOWING PARTS OF 2 STOREY NEIGHBOURING BUILDING AT NO. 33A - SUBJECT SITE HIDDEN BY EXISTING MATURE TREES



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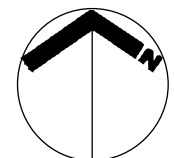
NOMINATED ARCHITECT:
Luke Barker 8910

SITE ANALYSIS

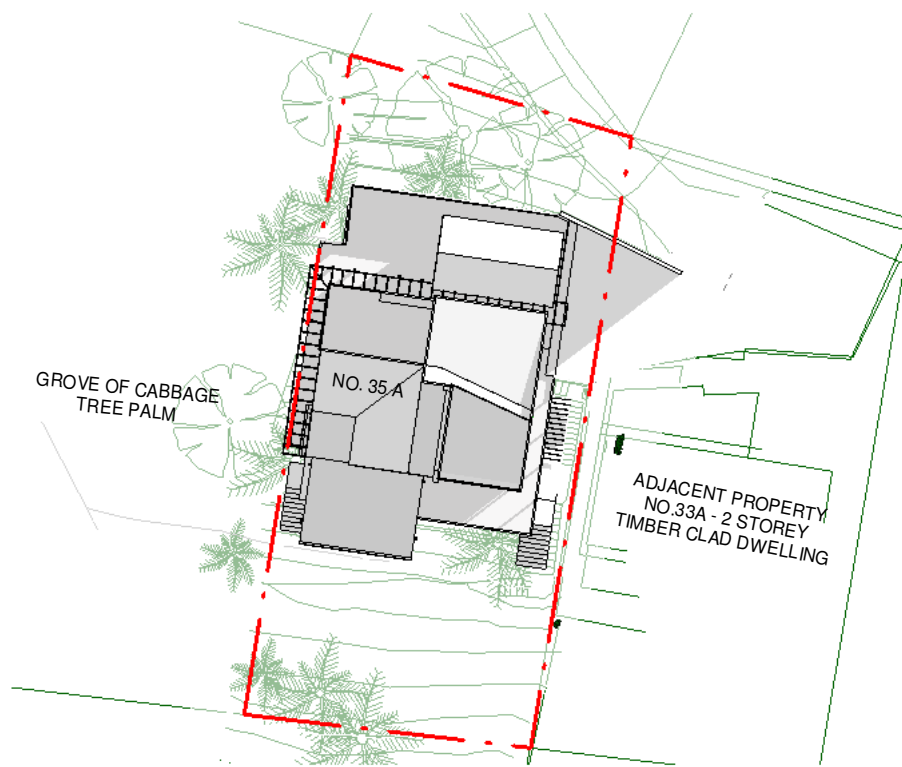
1807- B UPPER LEVEL AMENDMENTS

CLIENT NAME: PHILL & JESS NOSWORTHY
ADDRESS: 35 A PLATEAU ROAD
BILGOLA - LOT 138- DP.16902

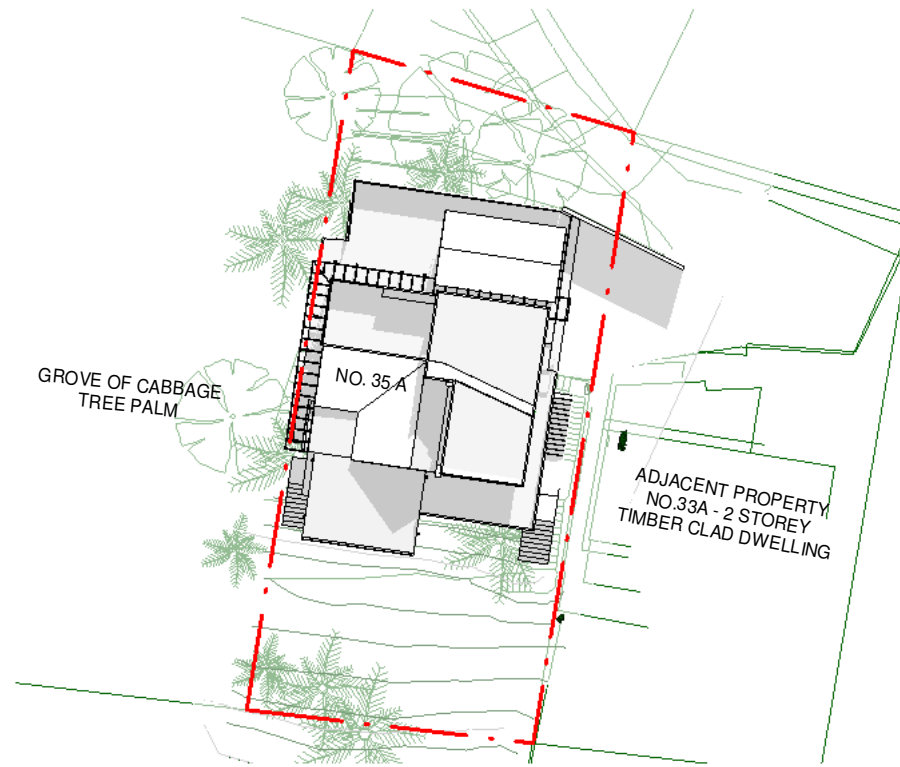
sheet no.	A004
scale:	1 : 750
date:	JUNE
drawn:	F.AVICE
revision	2



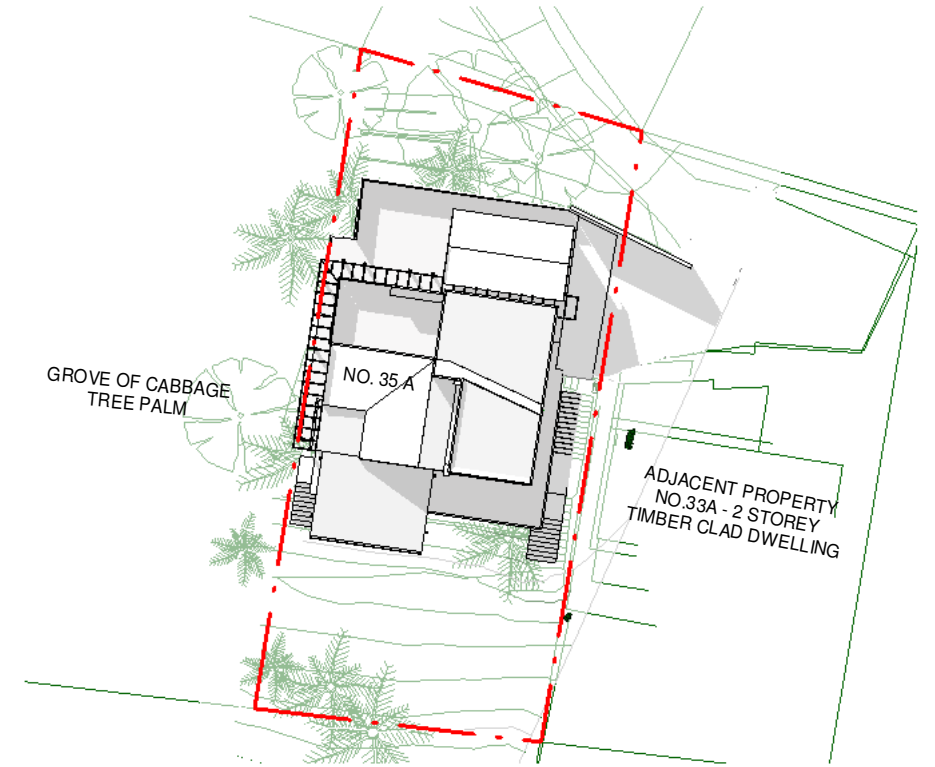
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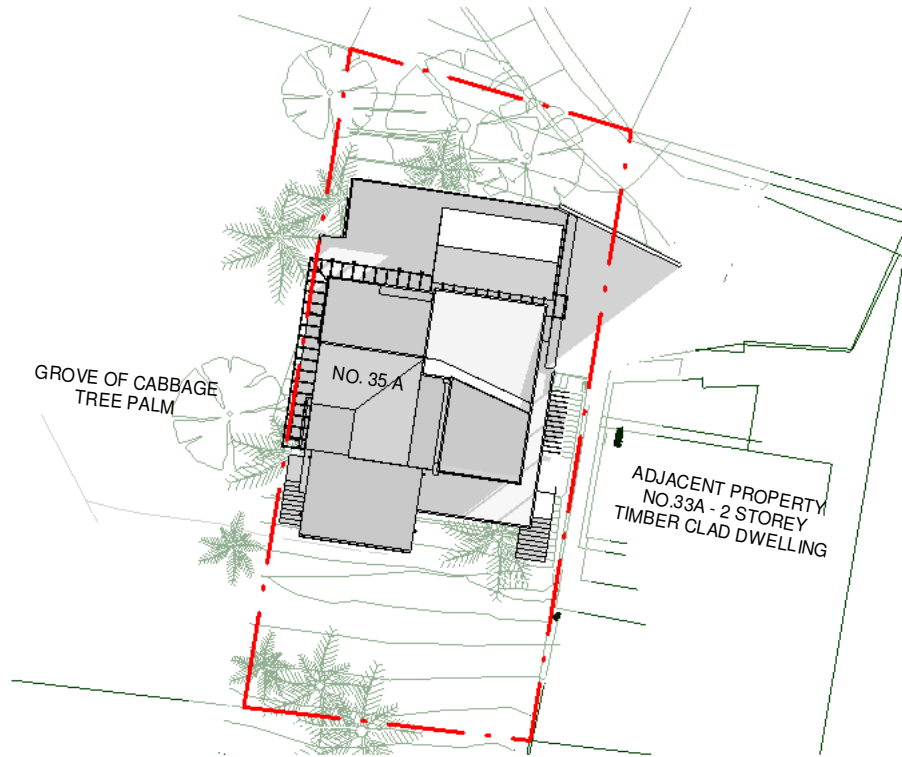
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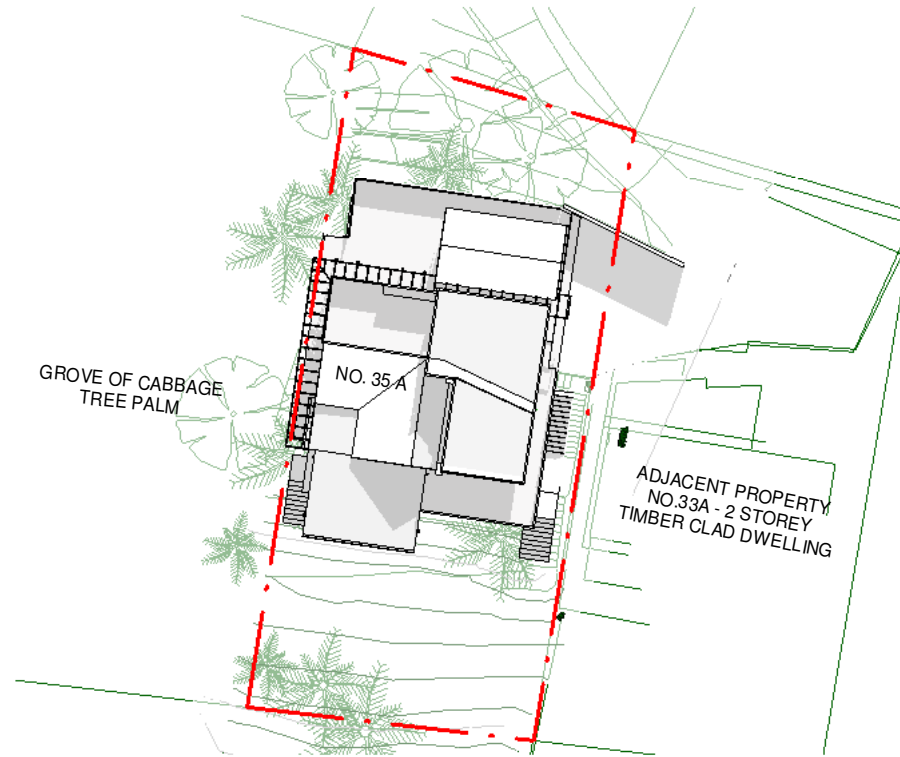
EXISTING DWELLING: 21 JUNE AT 12:00 NOON



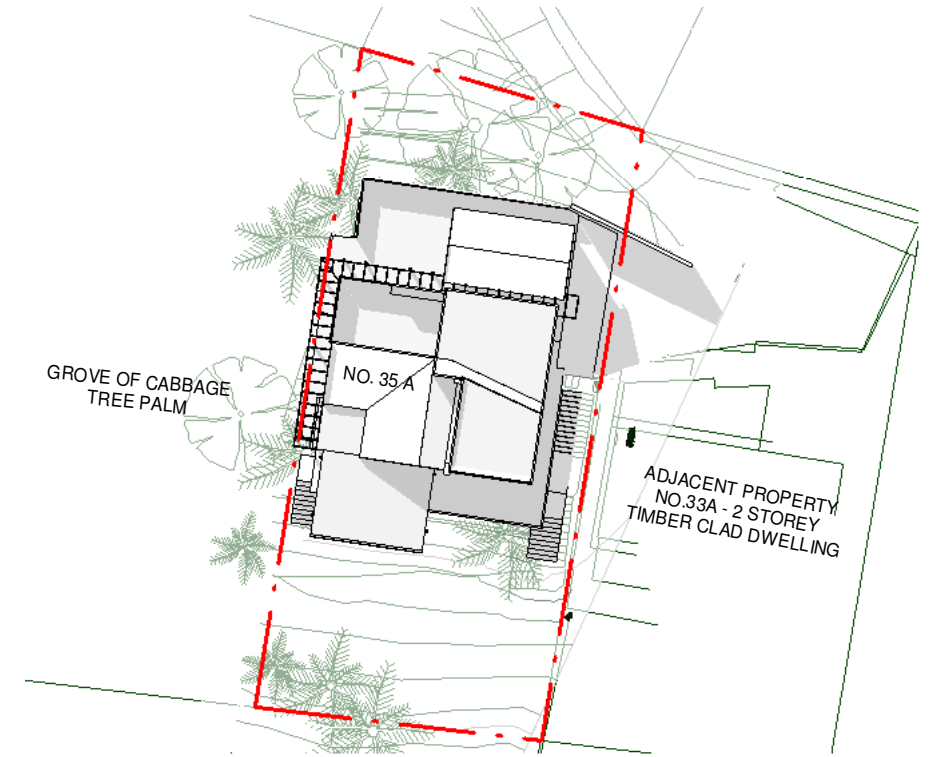
EXISTING DWELLING: 21 JUNE AT 03:00 PM



PROPOSED DWELLING: 21 JUNE AT 9:00 AM



PROPOSED DWELLING: 21 JUNE AT 12:00 NOON



PROPOSED DWELLING: 21 JUNE AT 03:00 PM

THESE SHADOW DIAGRAMS HAVE BEEN PRODUCED WITH AUTODESK REVIT 2020 SOFTWARE INBUILT ANALYSIS TOOL & ARE CONFIRMED AS ACCURATE REPRESENTATION OF SITE CONDITIONS: THE BIM MODEL FOR THIS PROJECT IS GEO-LOCATED TO THE SITE ADDRESS OF 35A PLATEAU ROAD, BILGOLA, NSW, 2107- AUSTRALIA & THE SITE TOPOGRAPHY MODELLED FROM THE SITE SURVEY 888detail 1 BY WATERVIEW SURVEYING SERVICES DATED 03/10/2018
- BY LUKE BARKER: ARCHITECT REG 8910

THESE DIAGRAMS SHOW NO CHANGES FROM EXISTING TO NEW SHADOW PROJECTIONS

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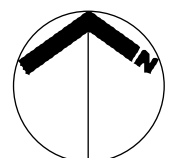
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SHADOW DIAGRAM

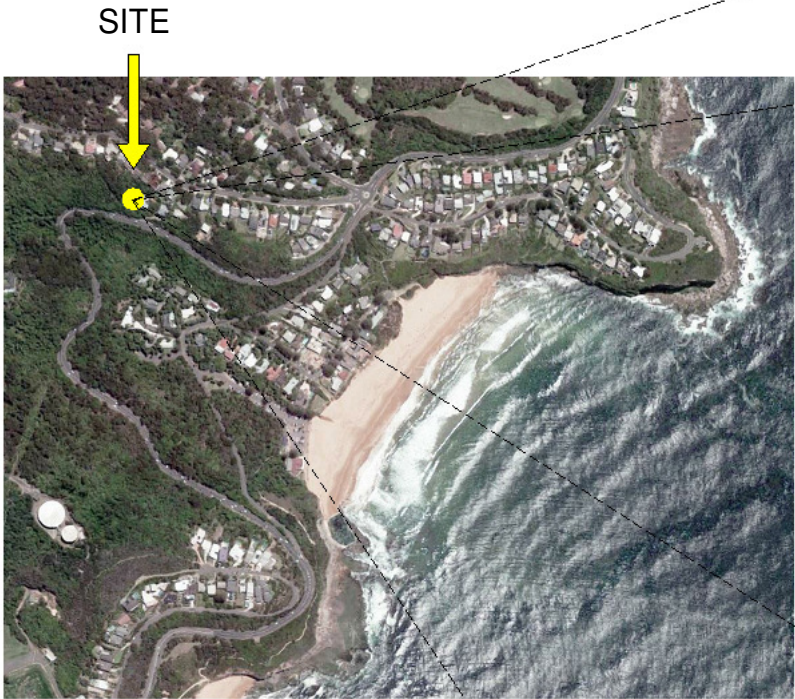
1807- B UPPER LEVEL AMENDMENTS

CLIENT NAME: PHILL & JESS NOSWORTHY
ADDRESS: 35 A PLATEAU ROAD
BILGOLA - LOT 138- DP.16902

sheet no.	A005
scale:	1 : 400
date:	JUNE
drawn:	F.AVICE
revision	2



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35A PLATEAU ROAD
AVALON BEACH, BILGOLA
NSW 2107

TITLE INDICATES THAT LOT 138 IN DP 16902 IS SUBJECT TO:

- RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
 - C99037 COVENANT (NOT INVESTIGATED)
- EASEMENT(S) AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM CREATED BY:
 - DP607430 RIGHT OF CARRIAGEWAY
- EASEMENT(S) APPURTENANT TO THE LAND ABOVE DESCRIBED CREATED BY:
 - DP607430 RIGHT OF CARRIAGEWAY
 - DP640418 EASEMENT FOR PARKING
 - DP640418 RIGHT OF CARRIAGEWAY
 - E876412 RIGHT OF CARRIAGEWAY CREATED BY DP607430 HAS BEEN RELEASED IN SO FAR AS IT AFFECTS THE PART SHOWN IN PLAN WITH E876412
- T571075 RIGHT OF CARRIAGEWAY CREATED BY DP607430 APPURTENANT TO THE LAND WITHIN DESCRIBED HAS BEEN RELEASED IN SO FAR AS IT AFFECTS THE PART SHOWN SO BURDENED IN DP607430

PLEASE REFER TO SITE SURVEY FOR DETAILS

LOT 138
DP 16902



ACCESS ONTO PLATEAU ROAD

CONCRETE DRIVEWAY

EXISTING DWELLING

NEIGHBOURING PROPERTY

PROPERTY SUBJECTED TO THE FOLLOWING
PLANNING CONTROLS

- Coastal Management SEPP
- Bushfire Prone Land - Certified June 2013
- Sec 94 Plan for Residential Development
- Land Application Map
- Land Zoning Map - E4 Environmental Living

SOURCE- NORTHERN BEACHES COUNCIL
WEBSITE:
<https://services.northernbeaches.nsw.gov.au/icongis/index.html>

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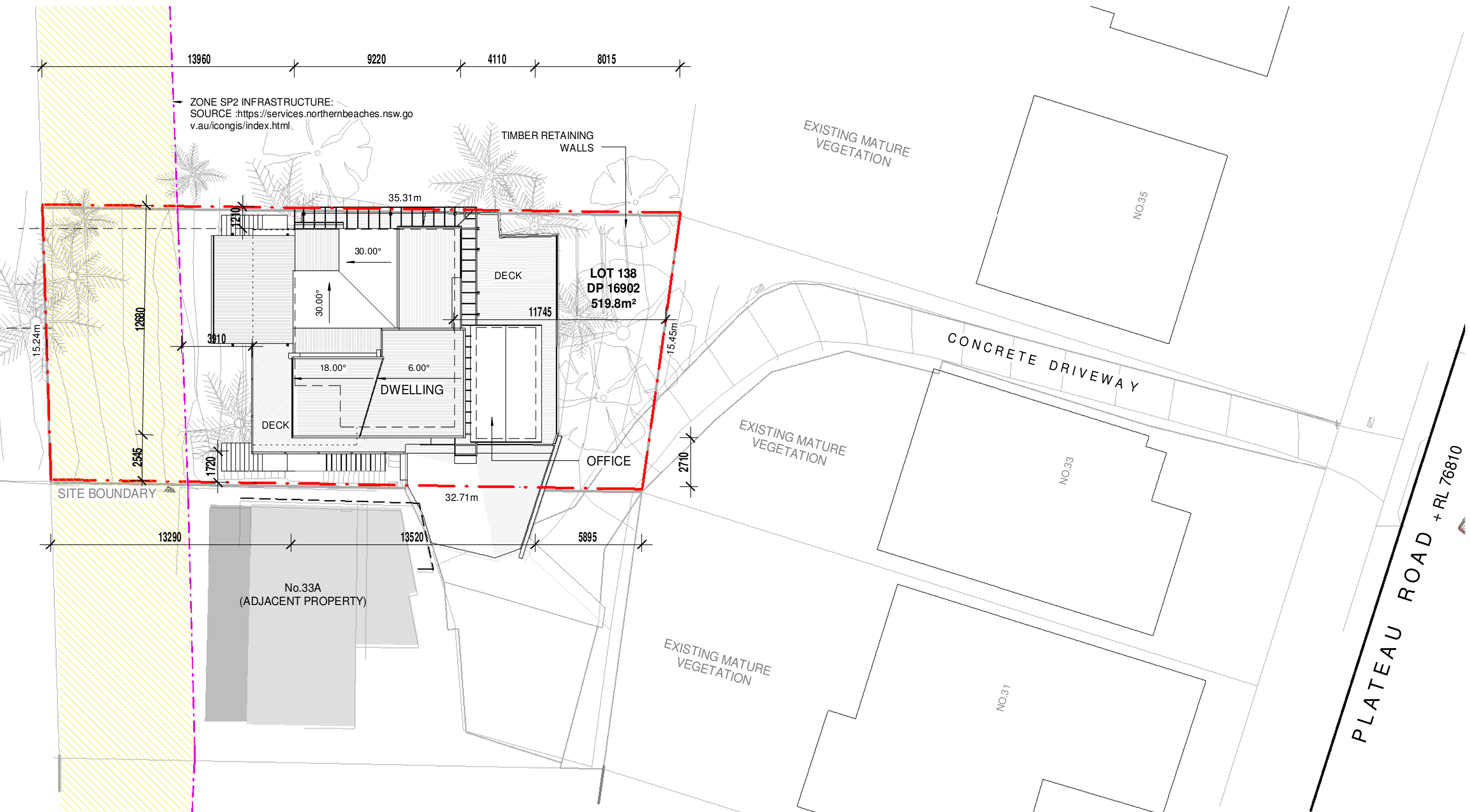
LOCATION PLAN

1807- B UPPER LEVEL AMENDMENTS

CLIENT NAME: PHILL & JESS NOSWORTHY
ADDRESS: 35 A PLATEAU ROAD
BILGOLA - LOT 138- DP.16902

sheet no.	A110
scale:	1 : 500
date:	JUNE
drawn:	F.AVICE
revision	2





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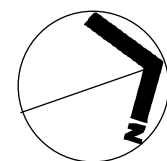
NOMINATED ARCHITECT:
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EXISTING SITE PLAN

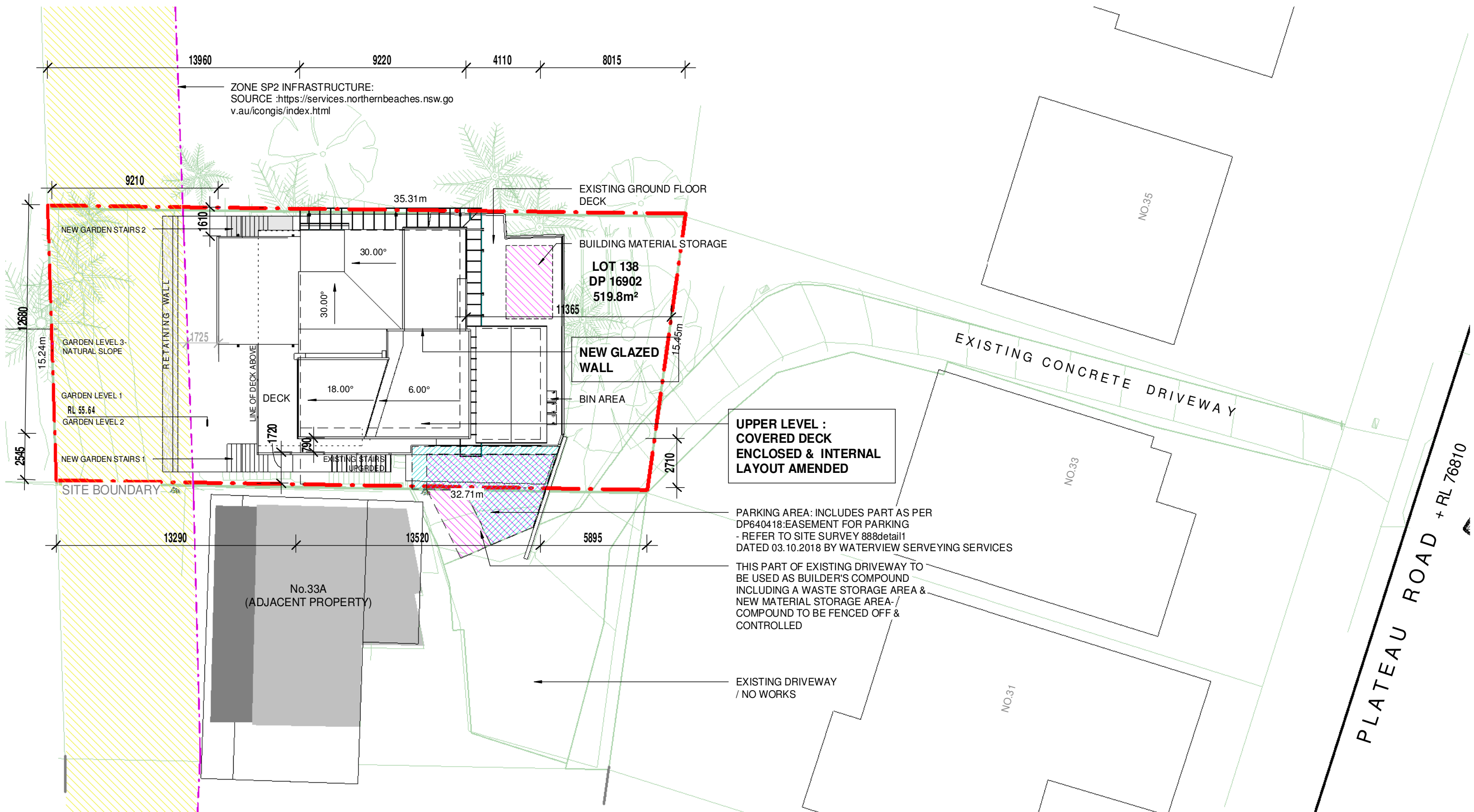
1807- B UPPER LEVEL AMENDMENTS

CLIENT NAME: PHILL & JESS NOSWORTHY
ADDRESS: 35 A PLATEAU ROAD
BILGOLA - LOT 138- DP.16902

sheet no.	A111
scale:	1 : 200
date:	JUNE
drawn:	F.AVICE
revision	2



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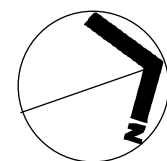
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PROPOSED SITE PLAN

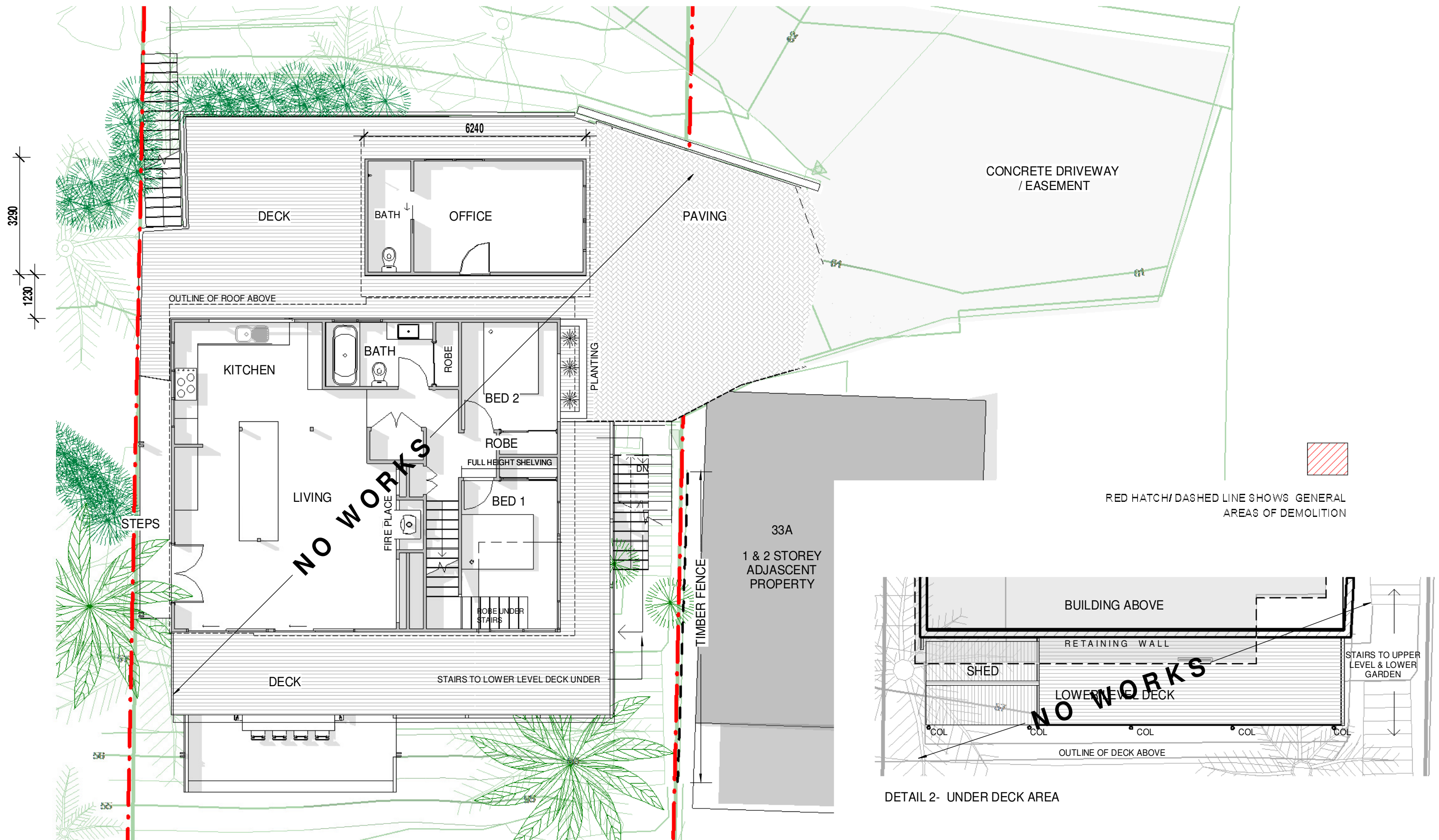
1807- B UPPER LEVEL AMENDMENTS

CLIENT NAME: PHILL & JESS NOSWORTHY
ADDRESS: 35 A PLATEAU ROAD
BILGOLA - LOT 138- DP.16902

sheet no.	A112
scale:	1 : 200
date:	JUNE
drawn:	F.AVICE
revision	1



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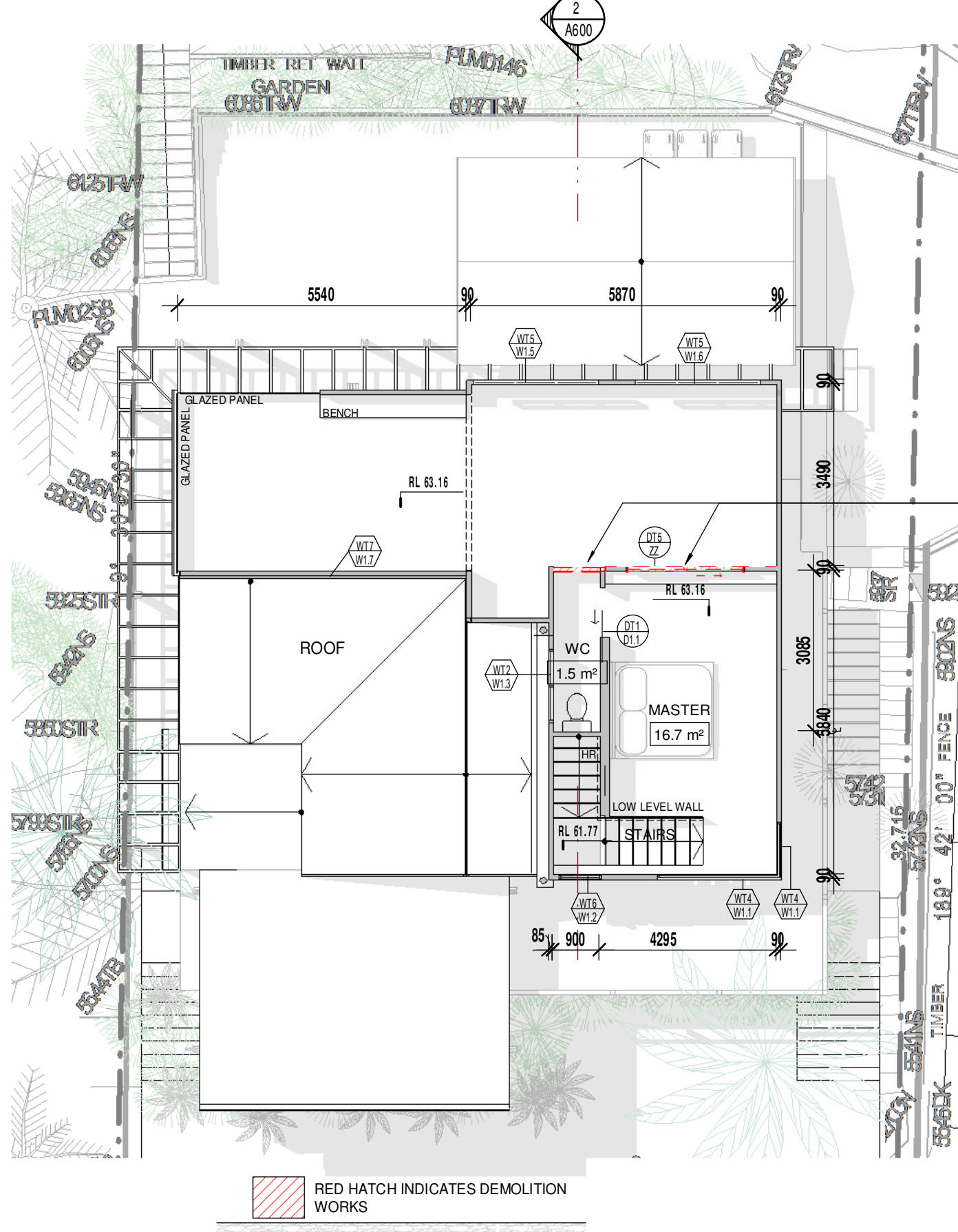
EXISTING/ DEMOLITION PLAN - G.FLOOR

1807- B UPPER LEVEL AMENDMENTS

CLIENT NAME: PHILL & JESS NOSWORTHY
ADDRESS: 35 A PLATEAU ROAD
BILGOLA - LOT 138- DP.16902

sheet no.	A200
scale:	1 : 100
date:	JUNE
drawn:	F.AVICE
revision	2

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PARTS OF EXTERNAL WALL & SLIDING DOOR DEMOLISHED

RED HATCH INDICATES DEMOLITION WORKS

F.FLOOR EXISTING / DEMOLITION

1
A201
1 : 100

ISSUE	DATE	REVISION
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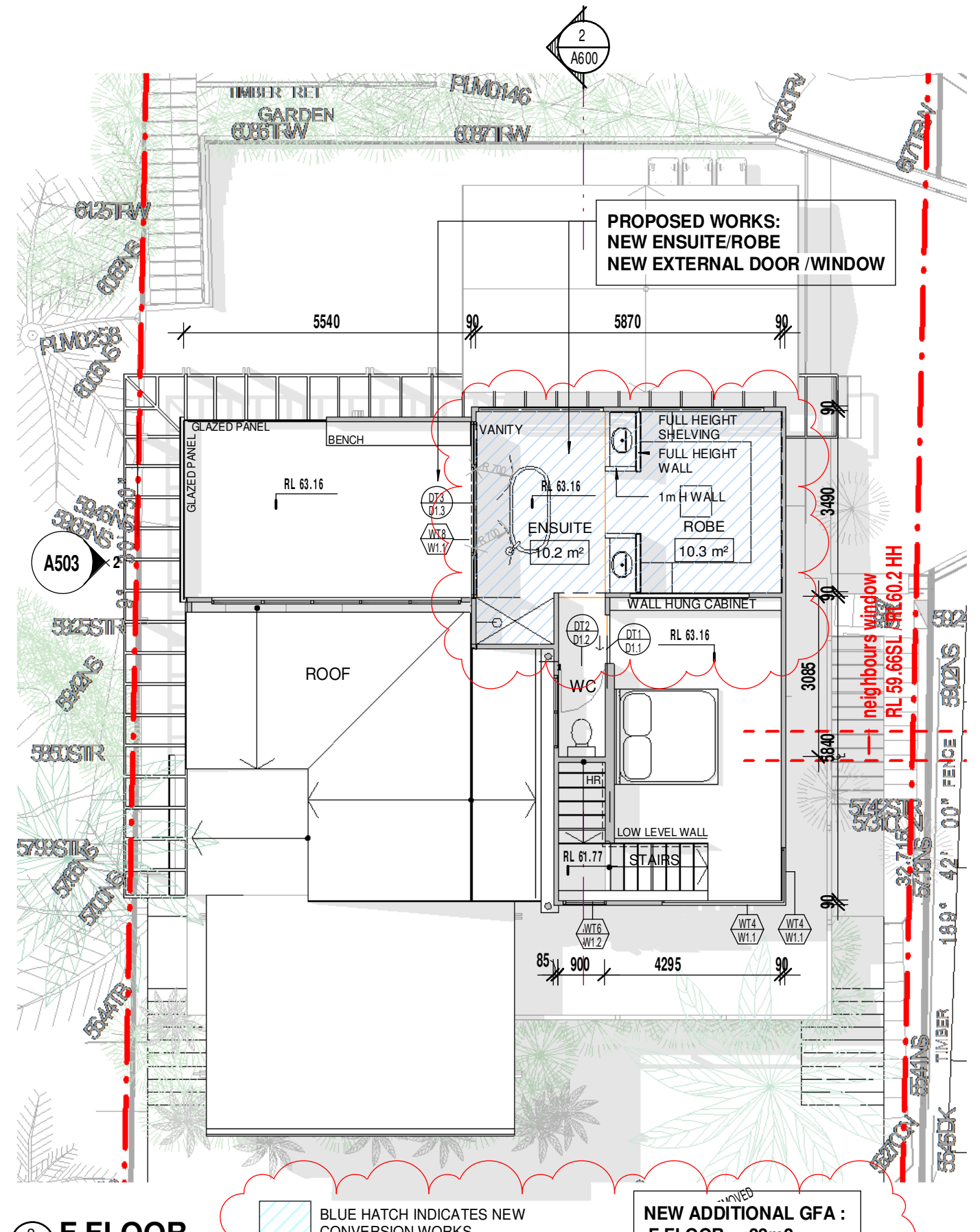
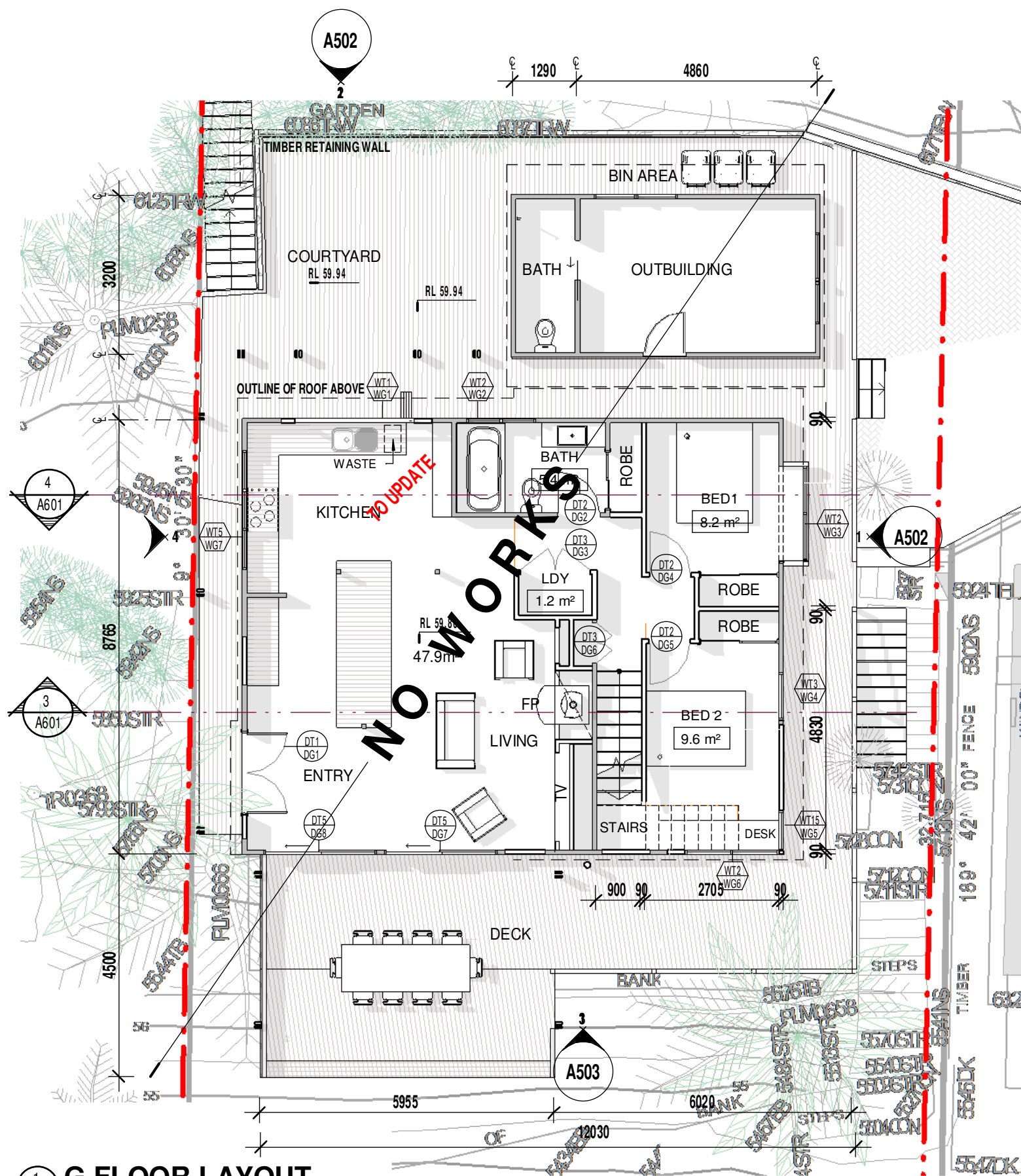
EXISTING/ DEMOLITION PLAN -FIRST FLOOR

1807- B UPPER LEVEL AMENDMENTS

CLIENT NAME: PHILL & JESS NOSWORTHY
ADDRESS: 35 A PLATEAU ROAD
BILGOLA - LOT 138- DP.16902

sheet no.	A201
scale:	1 : 100
date:	JUNE
drawn:	F.AVICE
revision	2

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1 G.FLOOR LAYOUT
1 : 100

2 F.FLOOR
1 : 100

ISSUE	DATE	REVISION
1	21.01.20	CLIENT/ PLANNING REVIEW
2	24.02.20	CLIENT UPDATE 1
3	14.07.21	FOR DA - UPDATE 1

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PROPOSED FLOOR PLANS

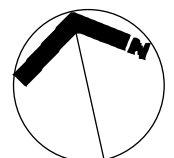
1807- B UPPER LEVEL AMENDMENTS

CLIENT NAME: PHILL & JESS NOSWORTHY
ADDRESS: 35 A PLATEAU ROAD
BILGOLA - LOT 138- DP.16902

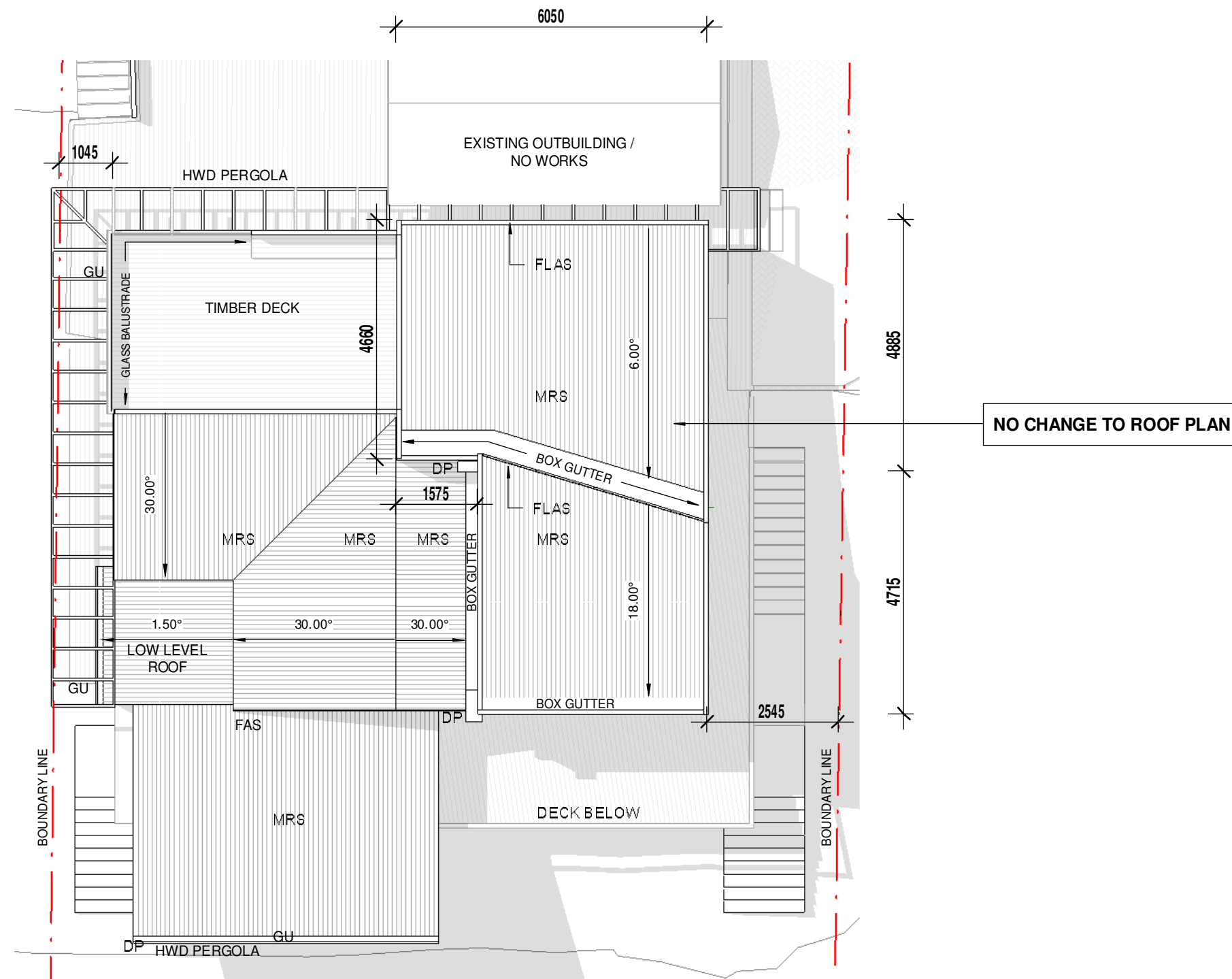
BLUE HATCH INDICATES NEW CONVERSION WORKS

NEW ADDITIONAL GFA :
F.FLOOR = 22m2

sheet no. **A210**
scale: **1 : 100**
date: **JUNE**
drawn: **F.AVICE**
revision **3**



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2
A400
1 : 100

EXISTING / PROPOSED ROOF PLAN

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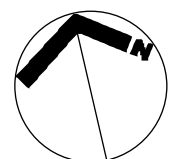
NOMINATED ARCHITECT:
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EXISTING /PROPOSED ROOF PLANS

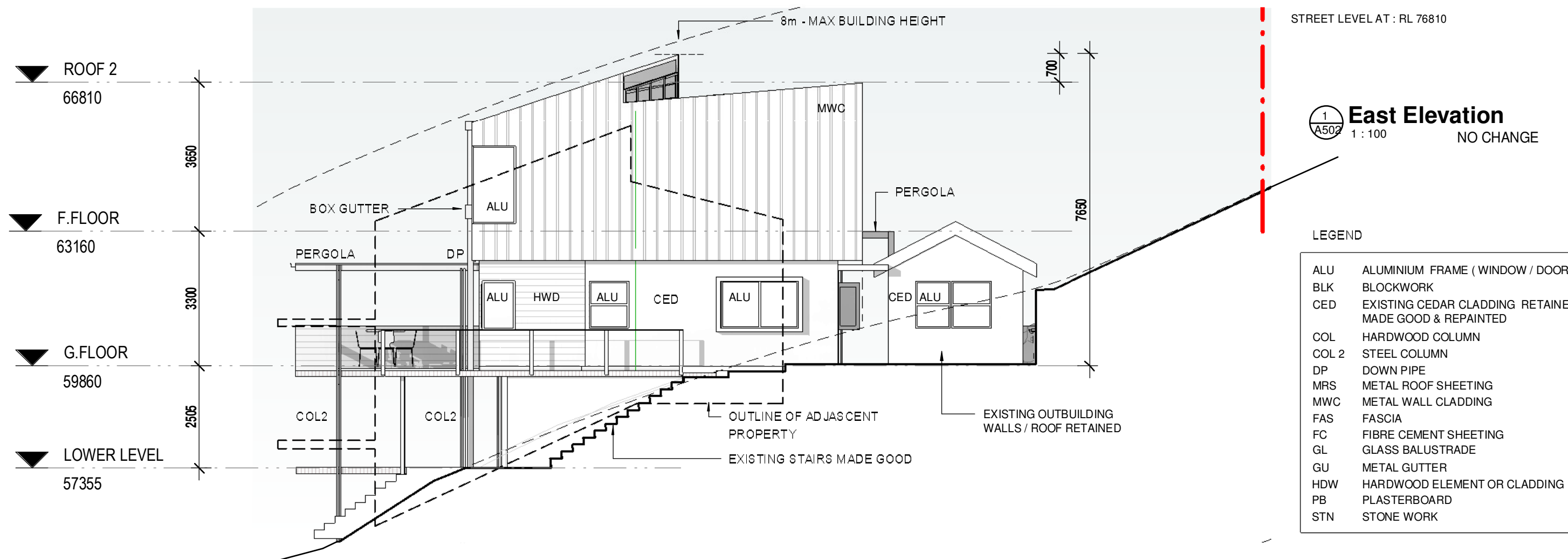
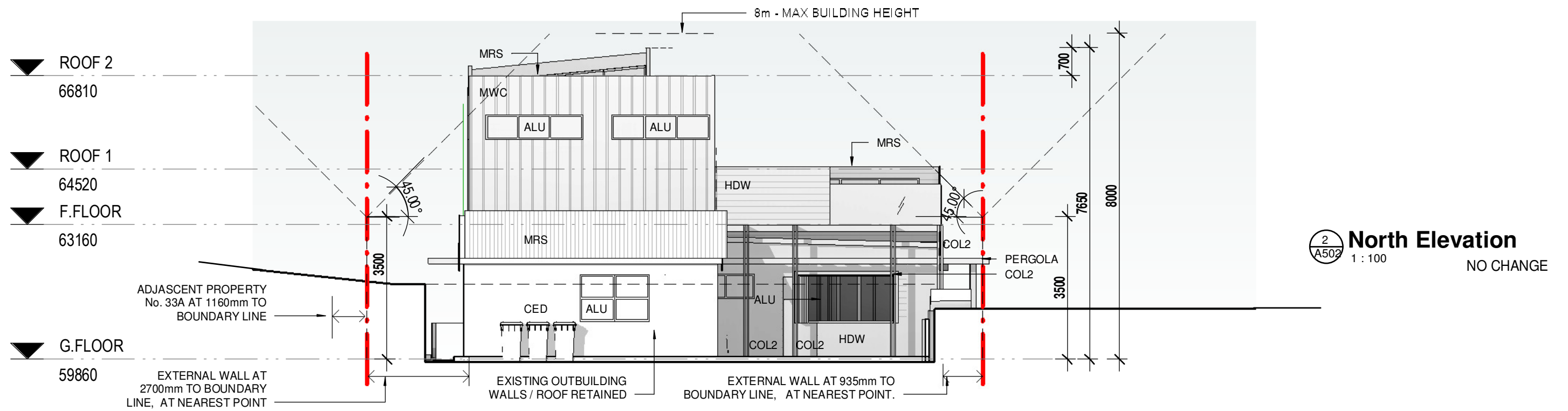
1807- B UPPER LEVEL AMENDMENTS

CLIENT NAME: PHILL & JESS NOSWORTHY
ADDRESS: 35 A PLATEAU ROAD
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sheet no.	A400
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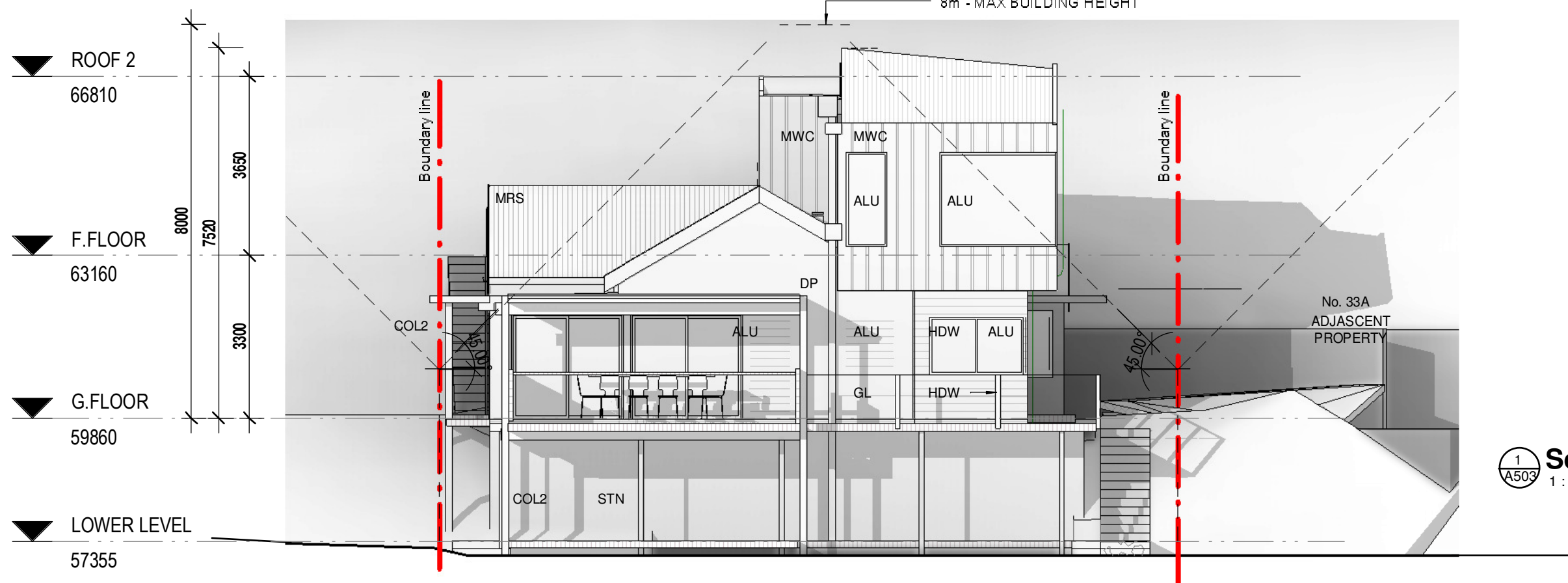
EXISTING / PROPOSED ELEVATIONS PG 1

1807- B UPPER LEVEL AMENDMENTS

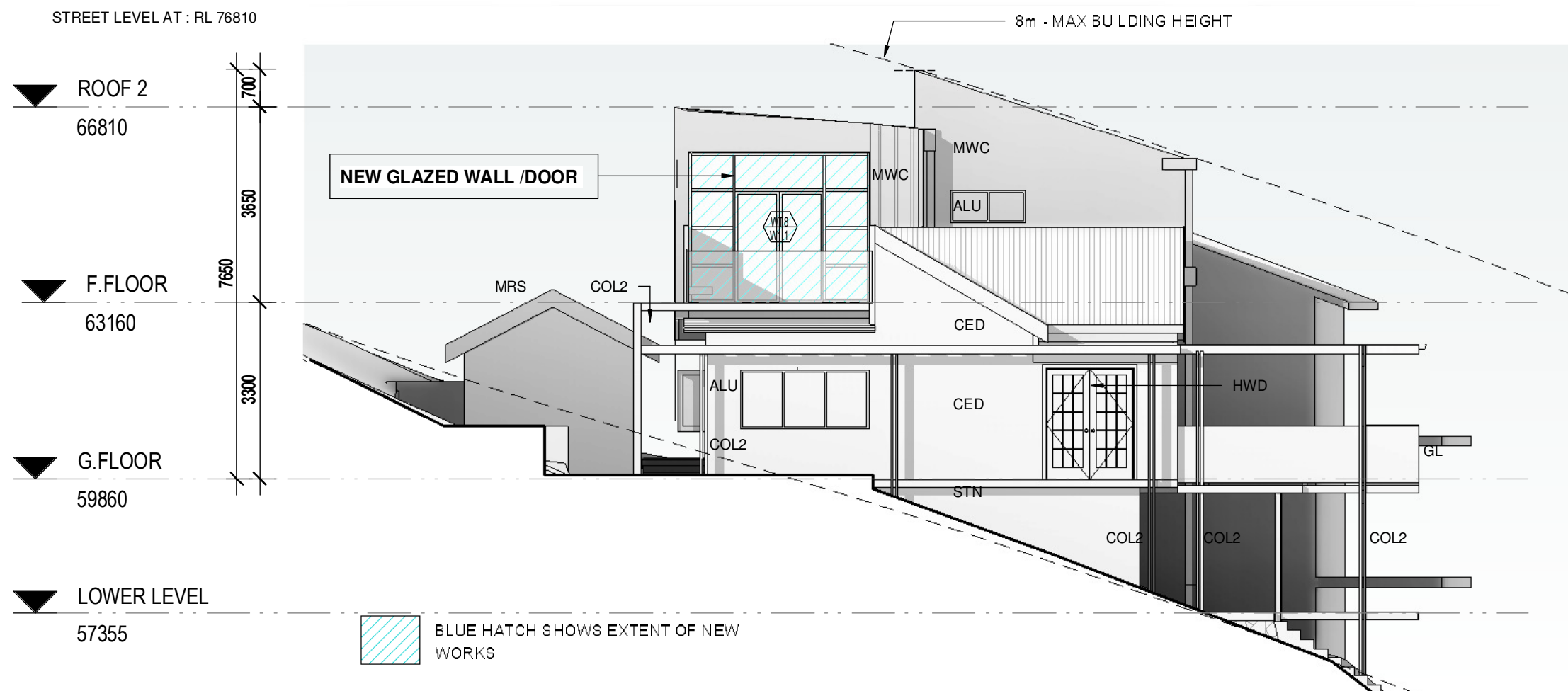
CLIENT NAME: PHILL & JESS NOSWORTHY
ADDRESS: 35 A PLATEAU ROAD
BILGOLA - LOT 138- DP.16902

sheet no. **A502**
scale **As indicated**
date: **JUNE**
drawn: **F.AVICE**
revision **2**

BARKER
ARCHITECTS



1 South Elevation
A503 1 : 100
NO CHANGE



2 West Elevation
A503 1 : 100

LEGEND

ALU	ALUMINIUM FRAME (WINDOW / DOOR)
BLK	BLOCKWORK
CED	EXISTING CEDAR CLADDING RETAINED MADE GOOD & REPAINTED
COL	HARDWOOD COLUMN
COL 2	STEEL COLUMN
DP	DOWN PIPE
MRS	METAL ROOF SHEETING
MWC	METAL WALL CLADDING
FAS	FASCIA
FC	FIBRE CEMENT SHEETING
GL	GLASS BALUSTRADE
GU	METAL GUTTER
HDW	HARDWOOD ELEMENT OR CLADDING
PB	PLASTERBOARD
STN	STONE WORK

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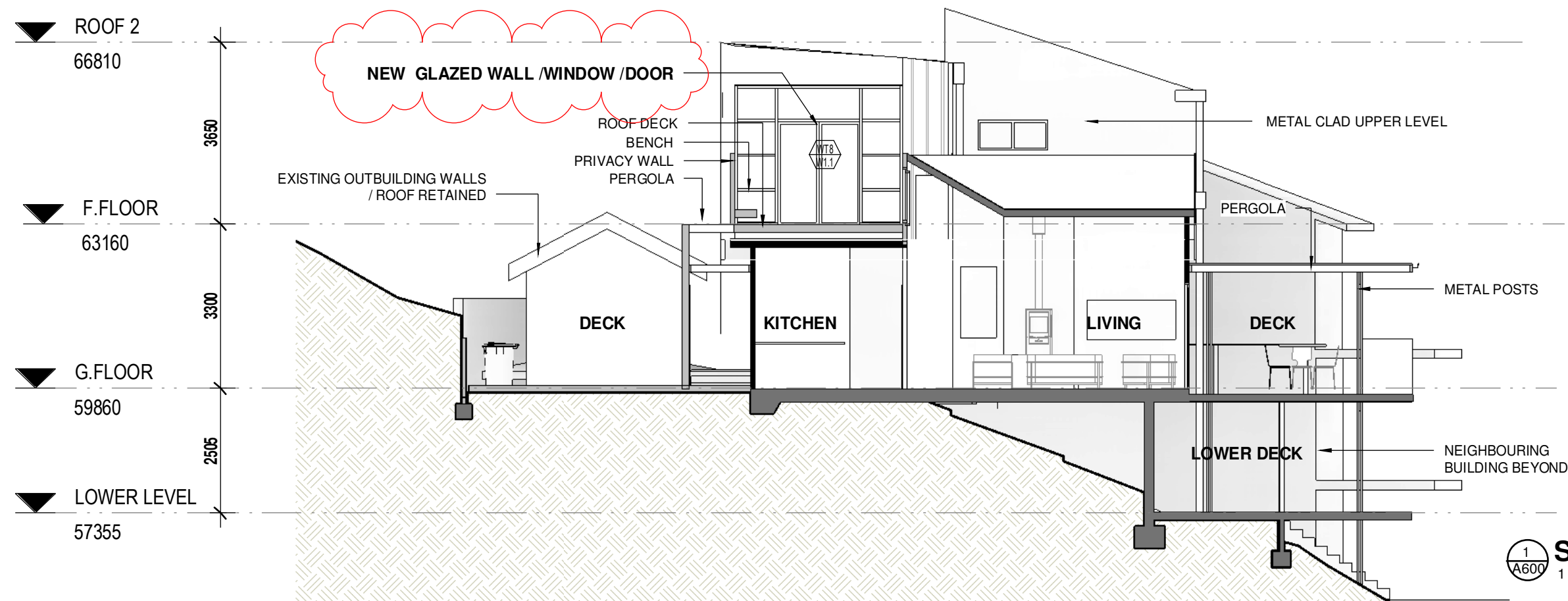
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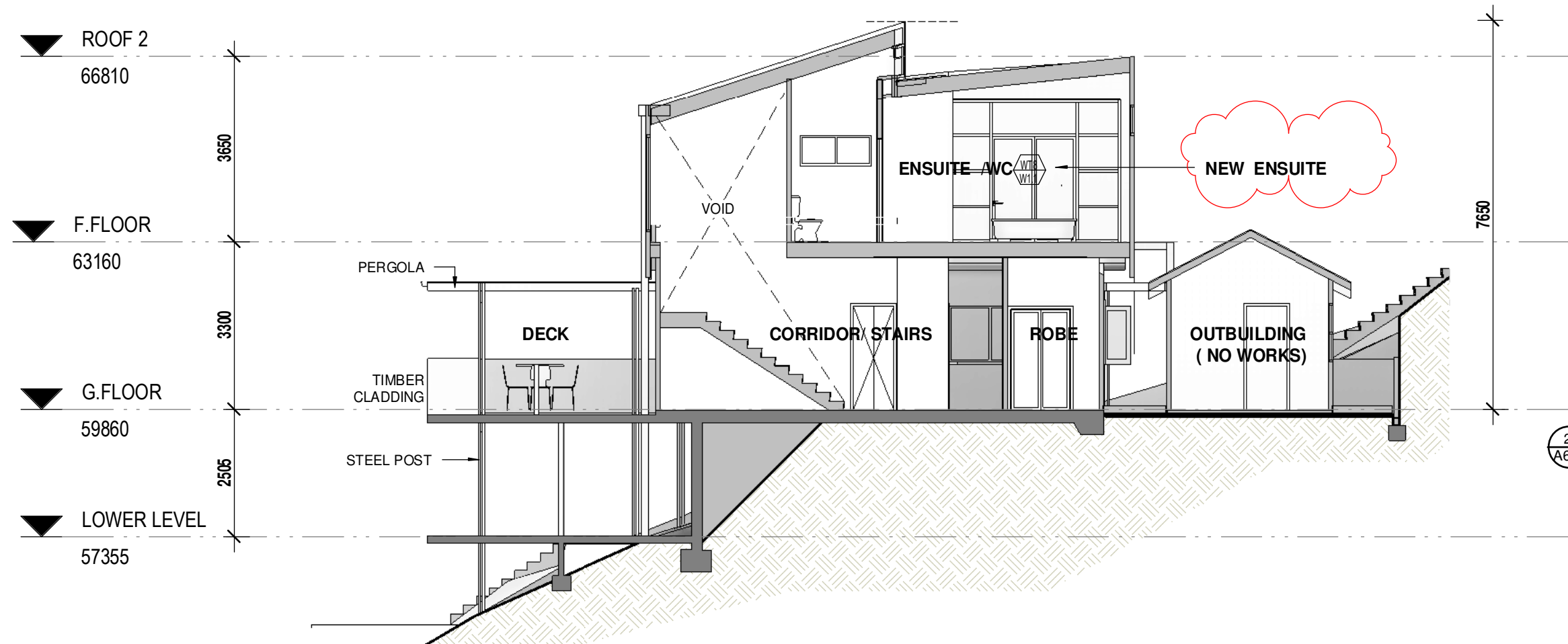
EXISTING / PROPOSED ELEVATIONS PG 2
1807- B UPPER LEVEL AMENDMENTS
CLIENT NAME: PHILL & JESS NOSWORTHY
ADDRESS: 35 A PLATEAU ROAD
BILGOLA - LOT 138- DP.16902

sheet no. **A503**
scale **As indicated**
date: **JUNE**
drawn: **F.AVICE**
revision **2**

BARKER
ARCHITECTS



Section 1
1 : 100



Section 2
1 : 100

ISSUE	DATE	REVISION
1	21.01.20	CLIENT/ PLANNING REVIEW
2	14.07.21	FOR DA - UPDATE 1

LEGEND

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A.B.N. 35 160 523 660
Trading as: Barker Studio ©
NOMINATED ARCHITECT:
Luke Barker 8910

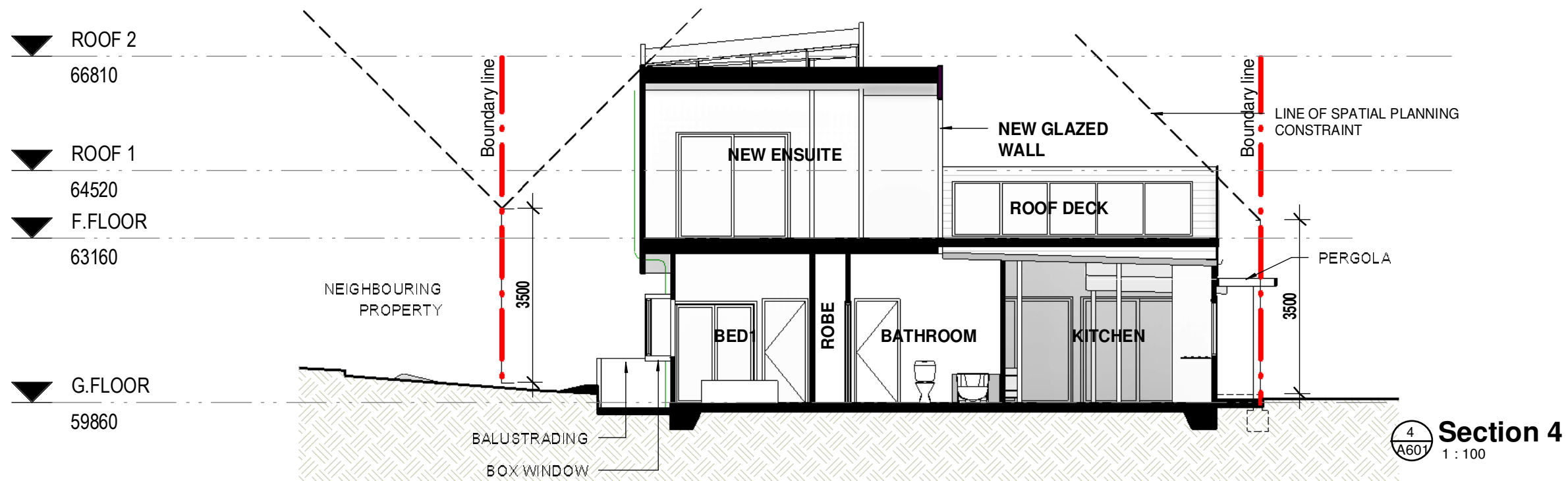
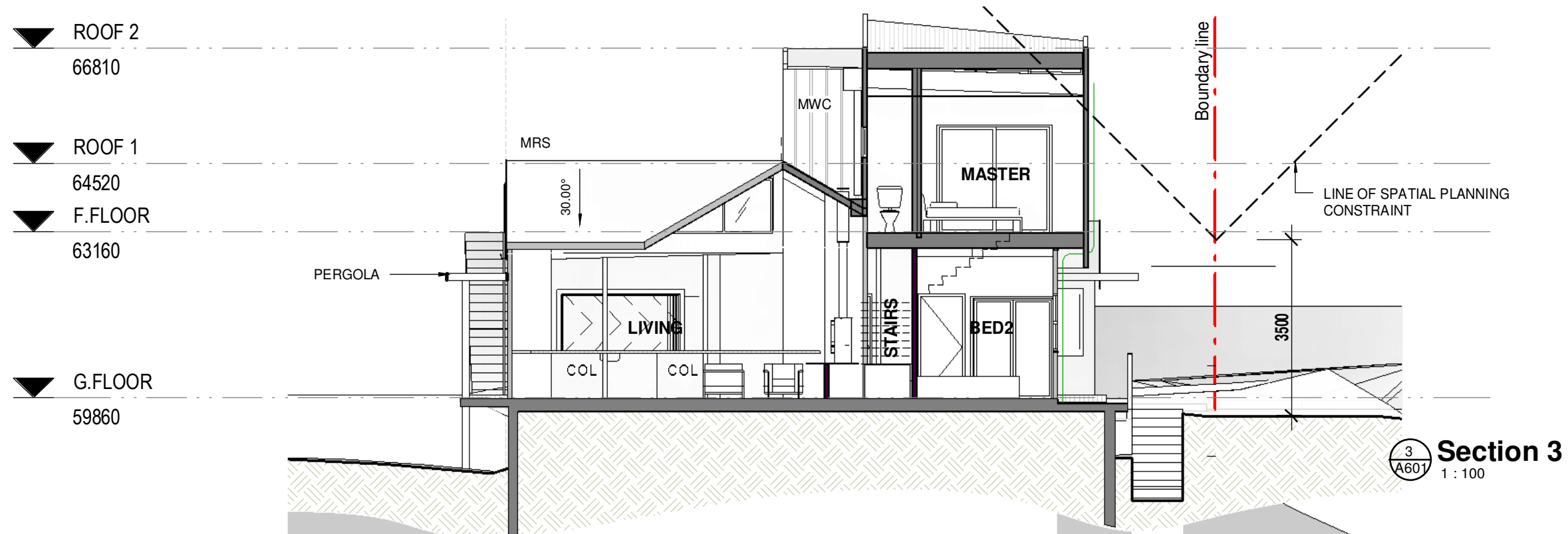
PROPOSED SECTIONS PG 1

1807- B UPPER LEVEL AMENDMENTS

CLIENT NAME: PHILL & JESS NOSWORTHY
ADDRESS: 35 A PLATEAU ROAD
BILGOLA - LOT 138- DP.16902

sheet no.	A600
scale:	1 : 100
date:	JUNE
drawn:	F.AVICE
revision	2

**BAR
KER**
ARCHITECTS



ISSUE	DATE	REVISION	LEGEND
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2	14.07.21	FOR DA - UPDATE 1	

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PROPOSED SECTIONS PG 2

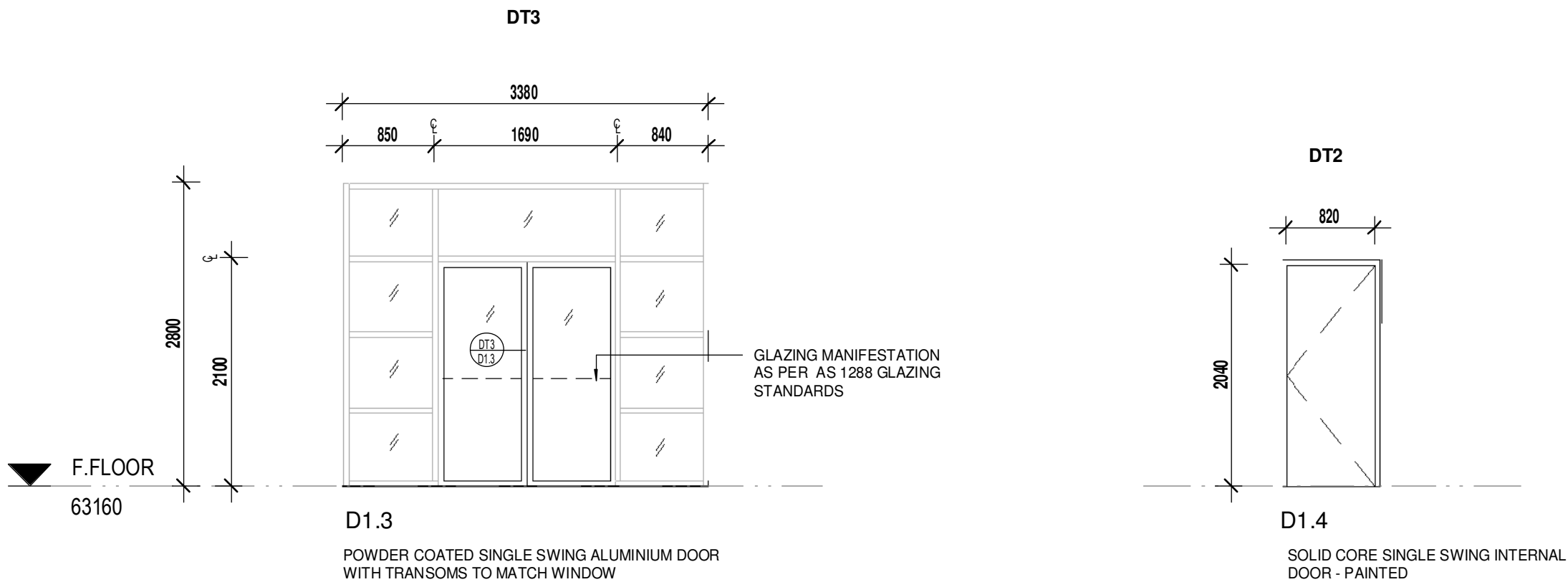
1807- B UPPER LEVEL AMENDMENTS

CLIENT NAME: PHILL & JESS NOSWORTHY
ADDRESS: 35 A PLATEAU ROAD
BILGOLA - LOT 138- DP.16902

sheet no.	A601
scale:	1 : 100
date:	JUNE
drawn:	F.AVICE
revision	2

BARKER
ARCHITECTS

DOOR SCHEDULE							
Door No.	Door Type	Location	Height	Width	Door Finish	Frame Finish	Comments
D1.1	DT1	MASTERBED	2040	950	PAINTED	PAINTED	EXISTING - RETAINED- REPAINT
D1.2	DT2	WC	2040	820	PAINTED	PAINTED	NEW TOILET DOOR + LIFT OFF HINGES
D1.3	DT3	UPPER DECK	2075	1640	POWDERCOATED ALU	POWDERCOATED ALU	NEW DOUBLE EXTERNAL SLIDING DOOR



- NOTES:
- ALL DIMENSIONS MUST BE VERIFIED ON SITE
 - OPERABLE/ FIXED PARTS OF WINDOWS / DOORS TO BE PROVIDED WITH METAL MESH AS PER RELEVANT BUSH FIRE REQUIREMENTS
 - ALL ALUMINIUM WINDOWS /DOOR TO BE 100mm FRAME - TYPE GJAMES
 - PLEASE REFER TO BASIX CERTIFICATE / BUSH FIRE REPORT FOR WINDOW /GLAZING TYPE/ SCREENING REQUIREMENTS
 - ALL FIXED GLAZING TO BE FRONT POCKET
 - ALL GLASS TO COMPLY WITH AS 1288 & AS 3959

ISSUE	DATE	REVISION
1	21.01.20	CLIENT/ PLANNING REVIEW
2	24.02.20	CLIENT UPDATE 1
3	14.07.21	FOR DA - UPDATE 1

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DOOR SCHEDULE

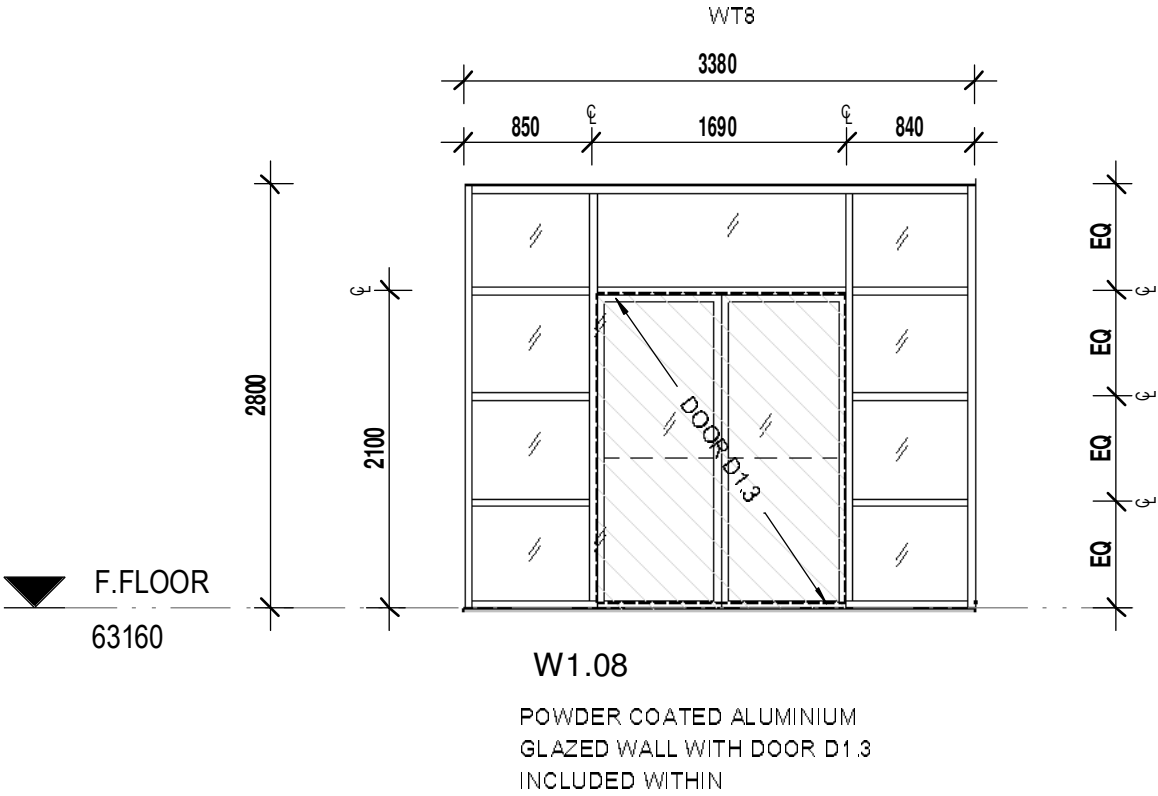
1807- B UPPER LEVEL AMENDMENTS

CLIENT NAME: PHILL & JESS NOSWORTHY
ADDRESS: 35 A PLATEAU ROAD
BILGOLA - LOT 138- DP.16902

sheet no.	A900
scale:	1 : 50
date:	JUNE
drawn:	F.AVICE
revision	3

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KER**
ARCHITECTS

WINDOW SCHEDULE						
Window No.	Window Type	Location	Width	Height	Material	Comments
W1.1	WT4	MASTER	3380	2800	POWDERCOATED ALUMINIUM	NEW GLAZED WALL - WITH DOOR D1.3 WITHIN WALL



- NOTES:
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 - OPERABLE/ FIXED PARTS OF WINDOWS / DOORS TO BE PROVIDED WITH METAL MESH AS PER RELEVANT BUSH FIRE REQUIREMENTS
 - ALL ALUMINIUM WINDOWS /DOOR TO BE 100mm FRAME - TYPE GJAMES
 - PLEASE REFER TO BASIX CERTIFICATE / BUSH FIRE REPORT FOR WINDOW /GLAZING TYPE/ SCREENING REQUIREMENTS
 - ALL FIXED GLAZING TO BE FRONT POCKET
 - ALL GLASS TO COMPLY WITH AS 1288 & AS 3959

ISSUE	DATE	REVISION
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NOMINATED ARCHITECT:
Luke Barker 8910

WINDOW SCHEDULE

1807- B UPPER LEVEL AMENDMENTS
CLIENT NAME: PHILL & JESS NOSWORTHY
ADDRESS: 35 A PLATEAU ROAD
BILGOLA - LOT 138- DP.16902

sheet no.	A901
scale:	1 : 50
date:	JUNE
drawn:	F.AVICE
revision	2

