# **NOSWORTHY HOUSE** UPPER LEVEL WORKS

35A PLATEAU ROAD - AVALON BEACH - NSW 2107



ISSUE DATE REVISION CLIENT/ PLANNING 21.01.20 1 REVIEW 2 14.07.21 FOR DA - UPDATE 1

LEGEND

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## **TITLE SHEET**

1807- B UPPER LEVEL AMENDMENTS

**CLIENT NAME: PHILL & JESS NOSWORTHY** ADDRESS: 35 A PLATEAU ROAD BILGOLA - LOT 138- DP.16902

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GENERAL NOTES
BASIX REQUIREMENT
NOTIFICATION PLAN AT A4
SITE ANALYSIS
SHADOW DIAGRAM
LOCATION PLAN
EXISTING SITE PLAN
PROPOSED SITE PLAN
EXISTING/ DEMOLITION PLAN - G.FLOOR
EXISTING/ DEMOLITION PLAN -FIRST FLOOR
PROPOSED FLOOR PLANS
EXISTING /PROPOSED ROOF PLANS
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EXISTING / PROPOSED ELEVATIONS PG 2
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DOOR SCHEDULE
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EXTERNAL VIEWS - GARDEN

DRAWING	LIST	

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#### **GENERAL NOTES - WHERE APPLICABLE**

ALL WORKS TO BE CARRIED OUT BY QUALIFIED TRADESMEN USING NEW MATERIALS & THE BEST OF THEIR RESPECTIVE KINDS INSTALLED TO THE SATISFACTION OF THE PROPRIETOR IN ACCORDANCE WITH THE BCA & AUSTRALIAN STANDARDS.

ALL MATERIALS AND FITTINGS TO BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURERS REQUIREMENTS.

THE TENDERERS ARE EXPECTED TO VISIT THE SITE OF THE PROPOSED WORKS BEFORE SUBMITTING THEIR TENDER & TO SATISFY THEMSELVES AS TO THE PRELIMINARY WORK INVOLVED & AS TO THE NATURE OF ALL WORK TO BE DONE UNDER THIS CONTRACT.

ANY ITEM NOT SHOWN ON THE DRAWINGS OR NOT SPECIFIED BUT WHICH IS NECCESSARY FOR THE PROPER COMPLETION OF THE CONTRACT WILL FORM PART OF THE CONTRACT.

ALL DIMENSIONS SHOWN SHALL BE VERIFIED BY THE BUILDER ON SITE. UNLESS NOTED OTHERWISE DIMENSIONS SHOWN ARE IN MILLIMETERS. DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS.

#### **RELEVANT STANDARDS**

AS 3740 2010 AS 2358 1990	WATERPROOFING OF DOMESTIC AREAS ADHESIVES FOR FIXING CERAMIC TILES
AS/NZS 1260 2009	PVC - U PIPES AND FITTINGS FOR DRAINS, WASTE AND VENT APPLICATIONS
AS/NZS1477 2006 APPLICATIONS	PVC PIPES AND FITTINGS FOR PRESSURE
AS/NZS3500 2003 AS 1684	PLUMBING AND DRAINAGE RESDENTIAL TIMBER FRAMED CONSTRUCTION
AS 2870 1996 CONSTRUCTION	RESIDENTIAL SLABS AND FOOTINGS
AS 3600 2009	CONCRETE STRUCTURES
AS 1680 AS/NZS 3000 2007	INTERIOR LIGHTING ELECTRICAL INSTALLATIONS
AS 3700 AS/NZS 3679.1 2010	MASONRY STRUCTURES STRUCTURAL STEEL
AS 4100	STEEL STRUCTURES TIMBER STRUCTURES
AS 1720 AS/NZS 2588	PLASTERBOARD
AS/NZS 2908.2 AS 1562.1	FIBRECEMENT SHEET METAL ROOFING AND WALLING
AS3660.1 2014 AS/NZS 3500	TERMITE PROTECTION HYDRAULIC PIPES, FITTINGS AND FIXTURES
AS 1657	STAIRS AND BALUSTRADES
AS 1668.2 2002	THE USE OF VENTILATION AND AIRCONDITIONING

#### SPECIFICATION

#### CONCRETE SLABS AND FOOTINGS

NEW SLABS AND FOOTINGS ARE TO BE DESIGNED AND CERTIFIED BY A QUALIFIED STRUCTURAL ENGINEER. PROVIDE KORDON OR EQUIVALENT APPROVED TERMITE BARRIER TO PERIMITER OF NEW SLAB & ALL SERVICES PENETRATIONS

#### TIMBER

ALL STRUCTURAL TIMBER TO BE DESIGNED AND CERTIFIED BY A QUALIFIED STRUCTURAL ENGINEER. FOR PREFABRICATED ROOF TRUSSES SUBMIT SHOP DETAIL DRAWINGS CERTIFIED BY A PROFESSIONAL ENGINEER STATING THAT THE DESIGN HAS BEEN CARRIED OUT TO THE RELEVANT CURRENT STANDARDS' REQUIREMENT FOR THE CONFIGURATION AND LOADINGS.

#### ROOFING

INSTALL ROOF SHEETS IN ACCORDANCE WITH MANUAFACTURERS INSTRUCTIONS, PROVIDE FLASHINGS, CAPPINGS, GUTTERS, RAINWATER HEADS, OUTLETS AND DOWNPIPES NECESSARY TO COMPLETE THE ROOF SYSTEM. METAL RAINWATER GOODS TO AS/ NZS 2179.1 OR CODEMARK CERTIFIED.

#### INTERNAL LININGS

SKIRTING & ARCHITRAVES: FJ PINE AS PER FINISHES SCHEDULE FC & MR CSR GYPROCK TO BATHROOM WALLS, MR CSR GYPROCK TO CEILINGS IN BATHROOMS SUPPLY AND INSTALL INSULATION IN WALL CAVITIES AS REQUIRED BY BCA SECTION J.

#### WATERPROOFING

WATERPROOF BATHROOM FLOORS FOR TILING WITH A POLYURATHANE LIQUID MEMBRANE

#### TILING

SUPPLY AND INSTALL SELECTED CERAMIC TILES TO BATHROOM WALLS AND FLOORS. PROVIDE FLEXIBLE SEALANT TO ALL INTERNAL CORNER JUNCTIONS AND AROUND RECESSED CABINET AND DOOR ARCHITRAVE JUNCTION WITH TILES .

#### **DOORS & DOOR HARDWARE**

SUPPLY AND INSTALL NEW DOORS AS SCHEDULED . SUPPLY AND INSTALL NEW DOOR HARDWARE

#### DEMOLITION

TO BE IN ACCORDANCE WITH NORTHERN BEACHES COUNCIL'S WASTEMANAGEMENT PLAN

#### PAINTING

PREPARE EACH SURFACE TO BE PAINTED IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS, PAINT ALL NEW SURFACES WITH A SEALER COAT AND 2 FINISHING COATS.CEILINGS TO BE SATIN FINISH. DOORSETS TO BE GLOSS FINISH. PAINT TO HAVE LOW VOC.

#### ELECTRICAL

- LIGHTING SUPPLY AND INSTALL INTERNAL LIGHT 1. FITTINGS. A MINIMUM OF 40% COMPACT FLUORECENT OR LED. SELECTION BY OWNERS. REFER TO DRAWINGS FOR LOCATIONS
- SWITCHING AND POWER OUTLETS ARE TO BE 2. INSTALLED TO MEET RELEVANT STANDARDS AND CURRENT REGULATIONS. POWER OUTLETS: REFER TO DRAWINGS FOR LOCATIONS & HEIGHTS, ACTUAL NUMBER AND LOCATIONS TO BE CONFIRMED ON SITE.
- 3. APPROVED FIREPROOF DOWNLIGHT COVERS MUST BE INSTALLED TO ALL DOWNIGHTS IN CEILINGS WHERE INSULATION IS INSTALLED

SCHEDULE OF MATERIALS- REFER TO FIXTURES, FITTINGS & FINISHES SCHEDULE AND EXERNAL FINISHES SCHEDULE.

METAL CLAD ROOF SHEETING - STANDING SEAM-LYSAGHT KLIPLOCK 700 HI- STRENGTH- COLOUR TBC **GUTTERING AND DOWNPIPES - COLORBOND STEEL,** PAINTED TO MATCH.

LEAF GUARD TO GUTTERING - NON CORROSIVE METAL MESH

INTERNAL WALLS - PLASTERBOARD, PAINTED **INSULATION AS PER AS/NZS 4859.1 AND BASIX** EXTERNAL WALL CLADDING - FIBRE CEMENT/ METAL WINDOWS - ALUMINIUM REFER WINDOW SCHEDULE AND BASIX

**DOORS EXTERNAL** – ALUMINIUM, GLAZED **DOORS INTERNAL** – TIMBER, TIMBER JAMB, SKIRTING -100mm h x 18mm- SPLAYED FJ PINE-PAINTED ARCHITRAVES - 100mm h x 18mm FJ PINE-PAINTEDWHERE REQUIRED, UNLESS DOCUMENTED OTHERWISE. CORNICES- N/A

LIGHT FITTINGS- SELECTION BY OWNERS. REFER BASIX POLISHED CONCRETE FLOORING N/A

HARD WOOD TIMBER FLOORING (INTERNAL) - 155mm or 185mm X 19mm AS SHOWN ON PLANS DECK : STEEL FRAMING WITH NON COMBUSTIBLE FINISH (ALUMINIUM DECKING BOARDS/ TILES)

EXTERNAL FRAMING (PERGOLAS / DECK) - STEEL / PAINTED

**EN-SUITE, BATHROOM & WET ARES** 

COMPRESSED FIBER CEMENT, WATERPROOFING AND **TILING TO AS3740** 

WASTE - CONNECT TO ON SITE SEPTIC SYSTEM WALL TILES AS PER INTERNAL ROOM ELEVATIONS &

INTERNAL FINISHES SCHEDULE FLOOR TILES TO ACHIEVE MINIMUM FALLS- SELECTION AS PER INTERNAL FINISHES SCHEDULE MOISTURE RESISTANT MDF TO CARCASSES.

DOOR, DRAWER FRONTS AND BENCHTOP TBC

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## NOMINATED ARCHITECT: Luke Barker 8910

## **GENERAL NOTES**

1807- B UPPER LEVEL AMENDMENTS

**CLIENT NAME: PHILL & JESS NOSWORTHY** ADDRESS: 35 A PLATEAU ROAD BILGOLA - LOT 138- DP.16902

sheet no.	A001
scale:	
date:	JUNE
drawn:	F.AVICE
revision	1

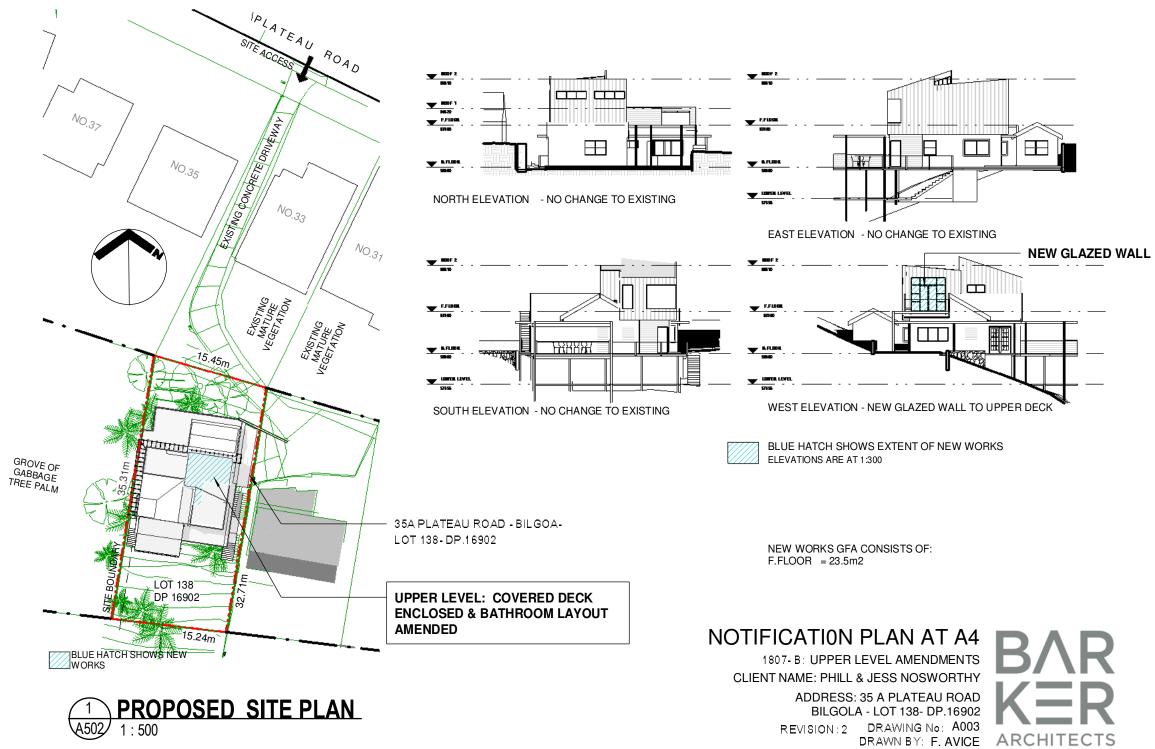


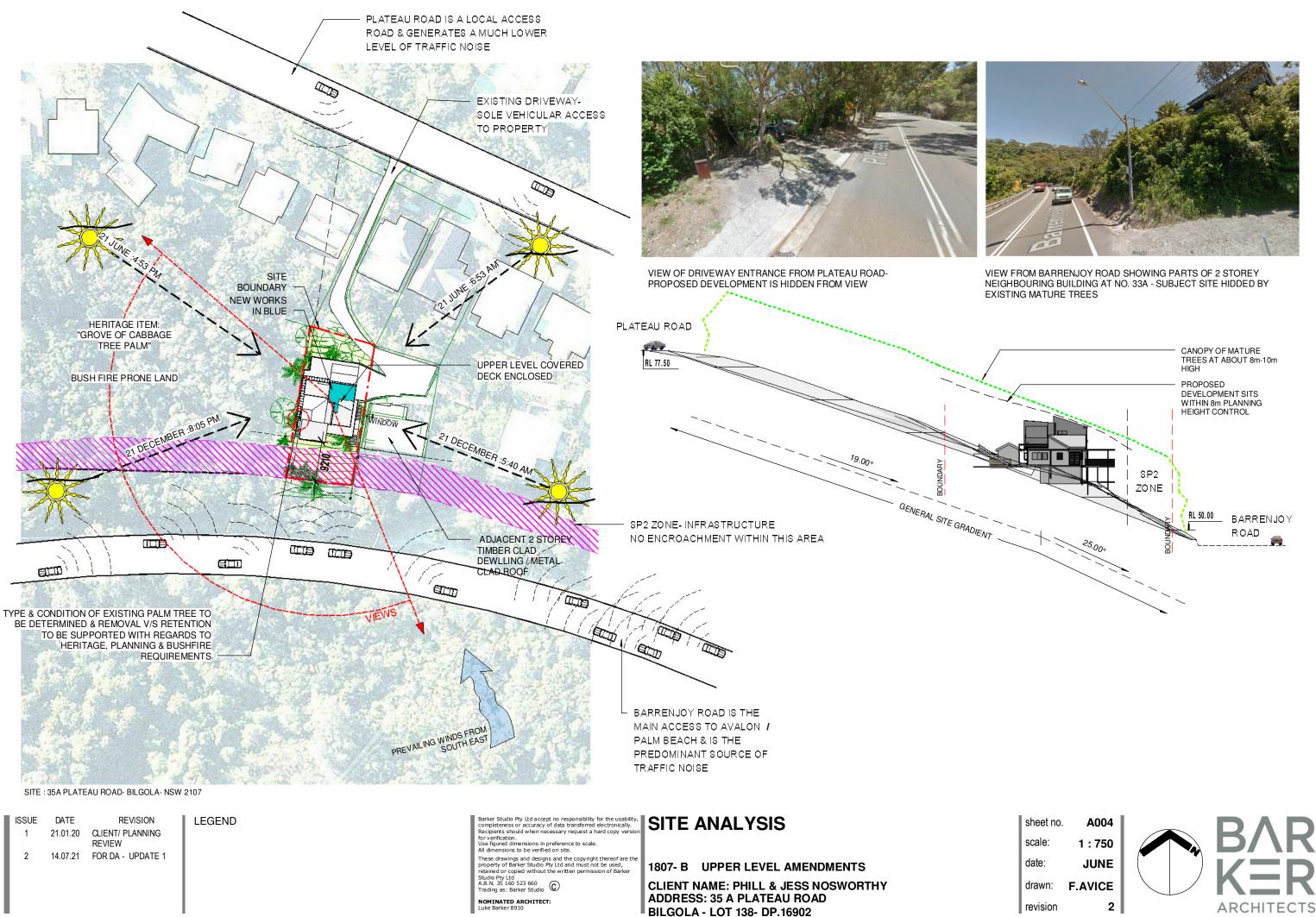
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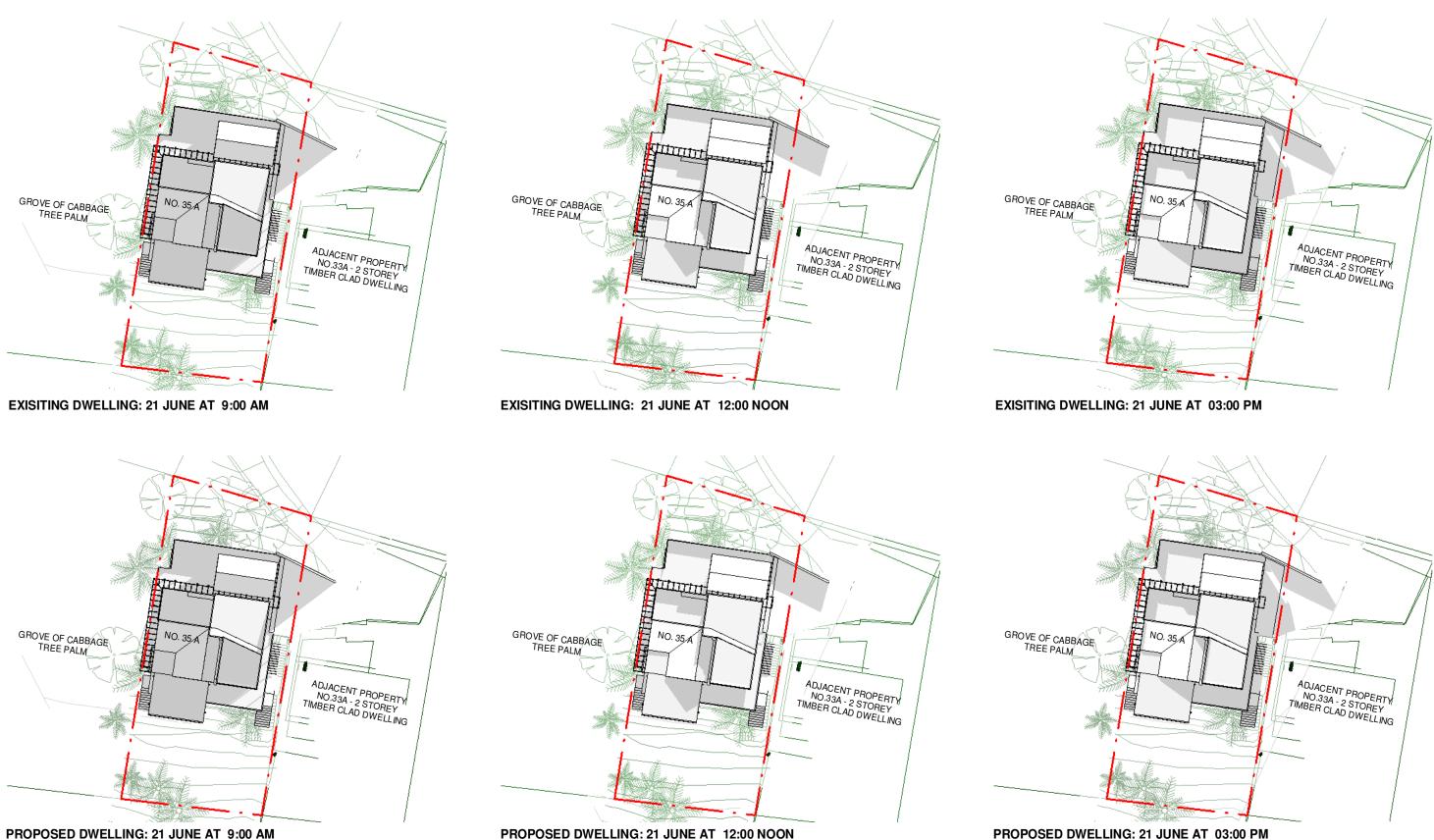
sheet no. A002 scale: date: JUNE drawn: F.AVICE revision

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THESE SHADOW DIAGRAMS HAVE BEEN PRODUCED WITH AUTODESK REVIT 2020 SOFTWARE INBUILT ANALYSIS TOOL & ARE CONFIRMED AS ACCURATE REPRESENTATION OF SITE CONDITIONS: THE BIM MODEL FOR THIS PROJECT IS GEO-LOCATED TO THE SITE ADDRESS OF 35A PLATEAU ROAD, BILGOLA, NSW, 2107- AUSTRALIA & THE SITE TOPOGRAPHY MODELLED FROM THE SITE SURVEY 888detail 1 BY WATERVIEW SURVEYING SERVICES DATED 03/10/2018 - BY LUKE BARKER: ARCHITECT REG 8910

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### THESE DIAGRAMS SHOW NO CHANGES FROM **EXISTING TO NEW SHADOW PROJECTIONS**

sheet no.	A005
scale:	1 : 400
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revision	2







ACCESS ONTO PLATEAU ROAD

CONCRETE DRIVEWAY

**EXISTING DWELLING** 

NEIGHBOURING PROPERTY

PROPERTY SUBJECTED TO THE FOLLOWING PLANNING CONTROLS

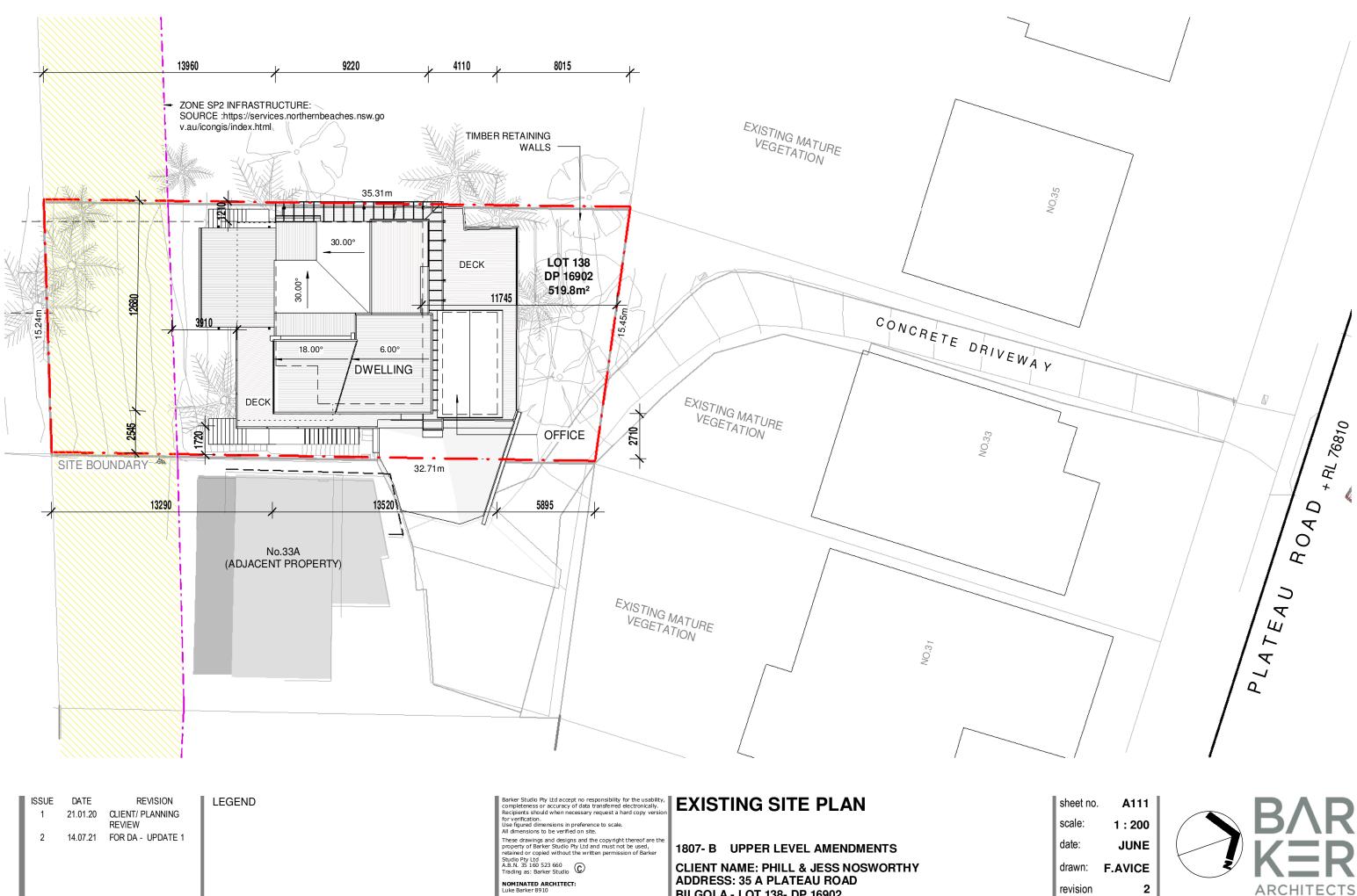
- Coastal Management SEPP - Bushfire Prone Land - Certified June 2013 - Sec 94 Plan for Residential Development - Land Application Map - Land Zoning Map - E4 Environmental Living

SOURCE- NORTHERN BEACHES COUNCIL https://services.northernbeaches.nsw.gov.au/icongis/in

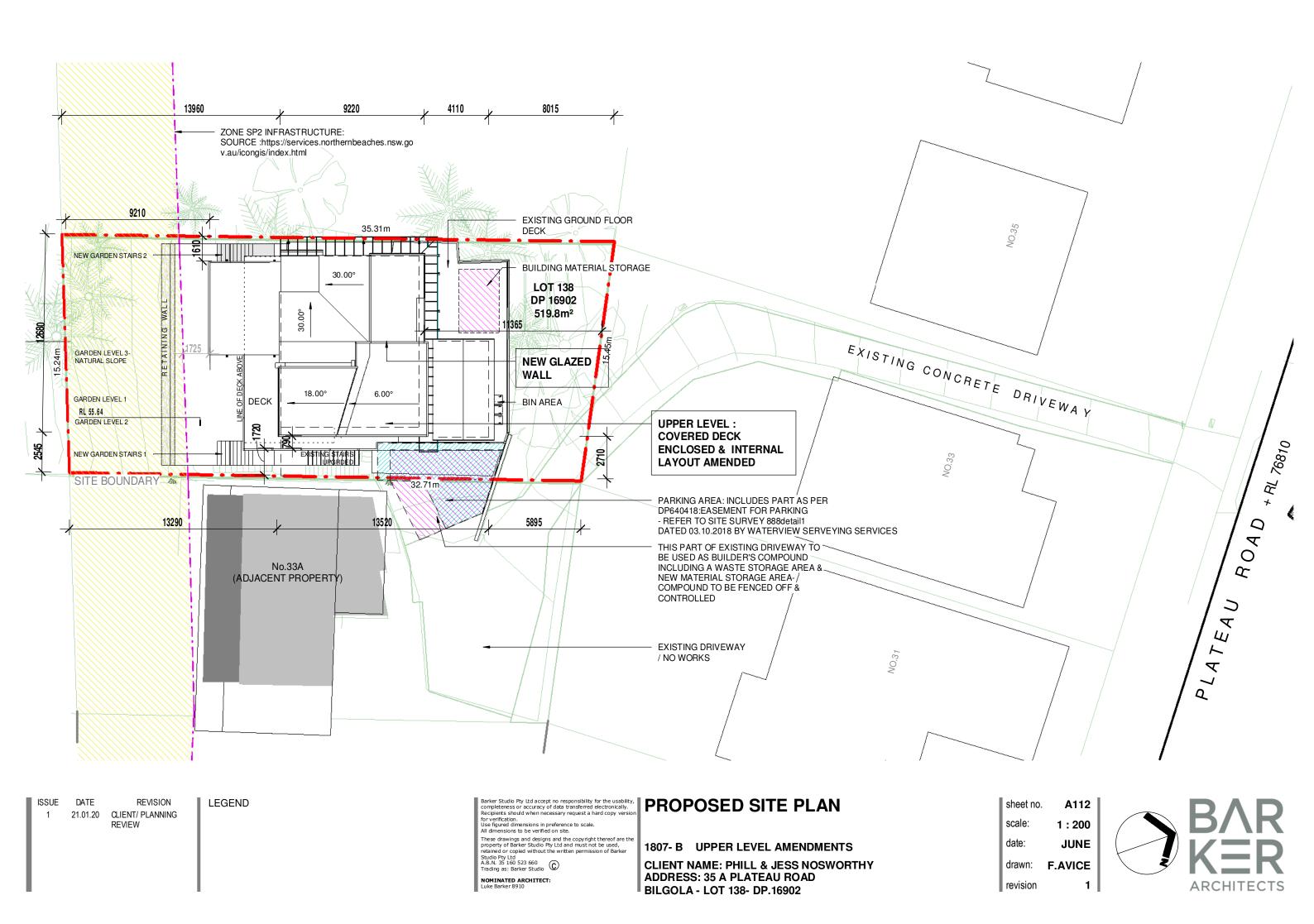
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revision	2

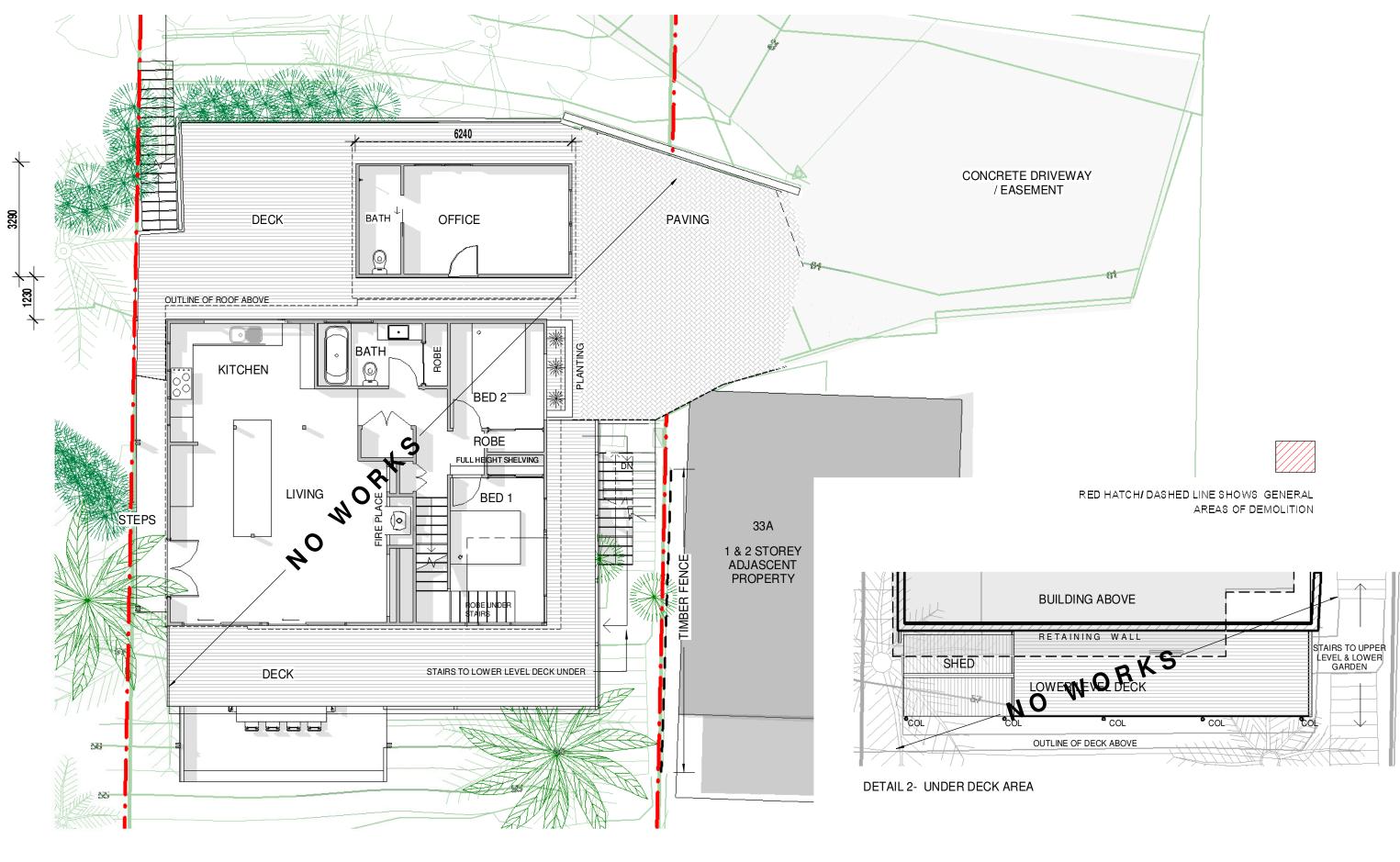






ADDRESS: 35 A PLATEAU ROAD BILGOLA - LOT 138- DP.16902





ISSUE DATE REVISION CLIENT/ PLANNING 21.01.20 1 REVIEW 2

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## **EXISTING/ DEMOLITION PLAN -G.FLOOR**

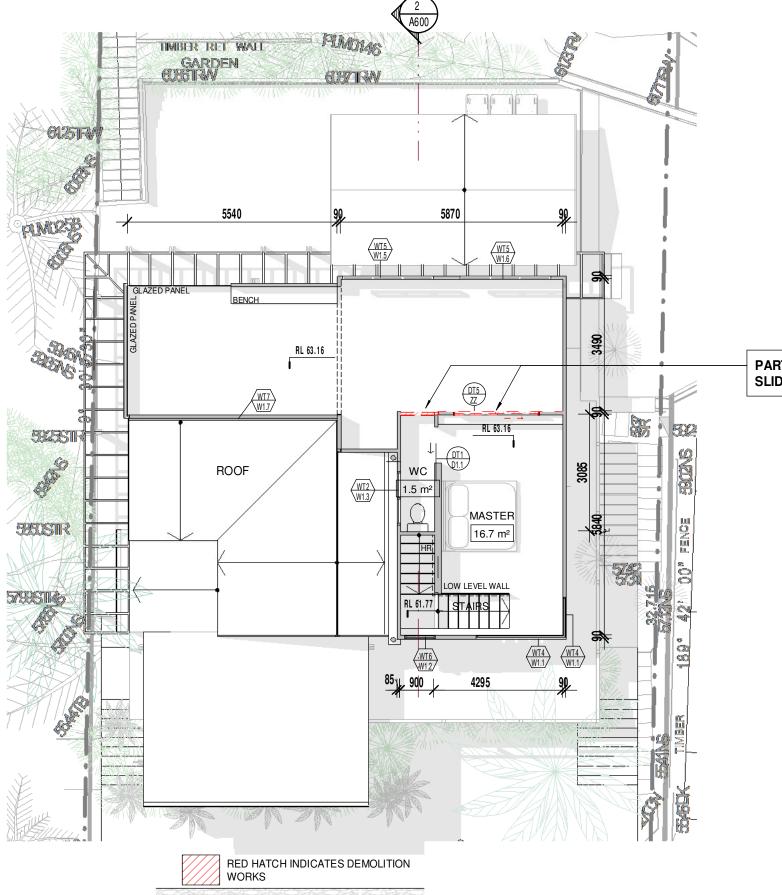
1807- B UPPER LEVEL AMENDMENTS

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sheet no.	A200
scale:	1:100
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revision	2





# $\underbrace{1}_{\text{A20}} \textbf{F.FLOOR EXISTING / DEMOLITION}$

ISSUE DATE REVISION CLIENT/ PLANNING 21.01.20 1 REVIEW 14.07.21 FOR DA - UPDATE 1 2

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NOMINATED ARCHITECT: Luke Barker 8910

## **EXISTING/ DEMOLITION PLAN -FIRST FLOOR**

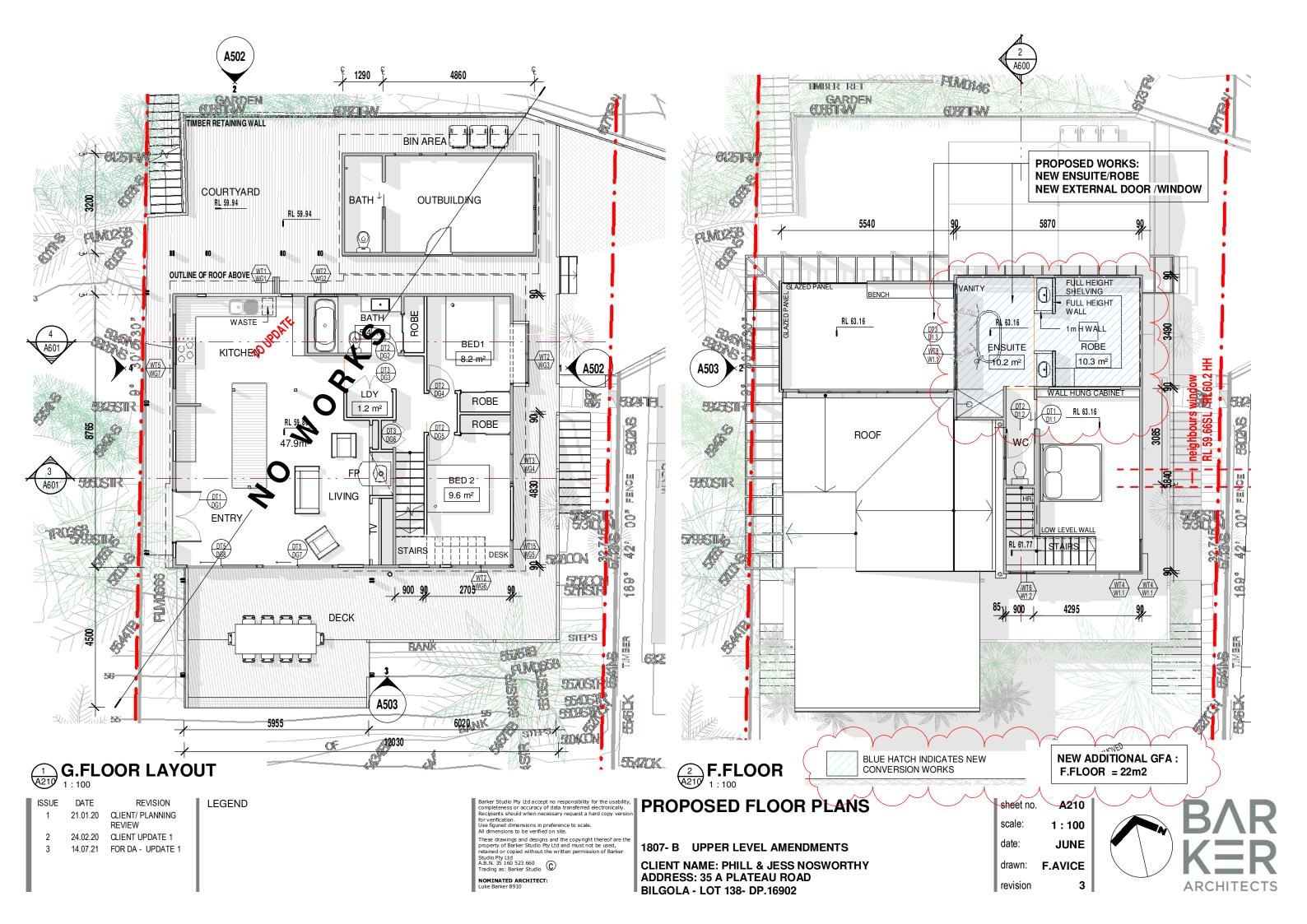
1807- B UPPER LEVEL AMENDMENTS

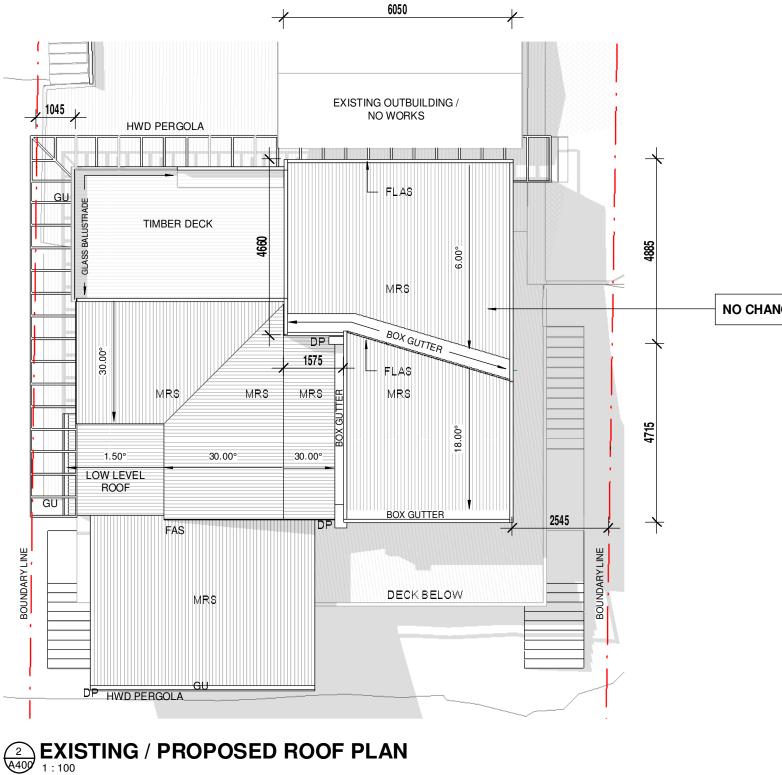
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PARTS OF EXTERNAL WALL & SLIDING DOOR DEMOLISHED

sheet no.	A201
scale:	1 : 100
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**EXISTING /PROPOSED ROOF PLANS** 

1807- B UPPER LEVEL AMENDMENTS

NOMINATED ARCHITECT: Luke Barker 8910

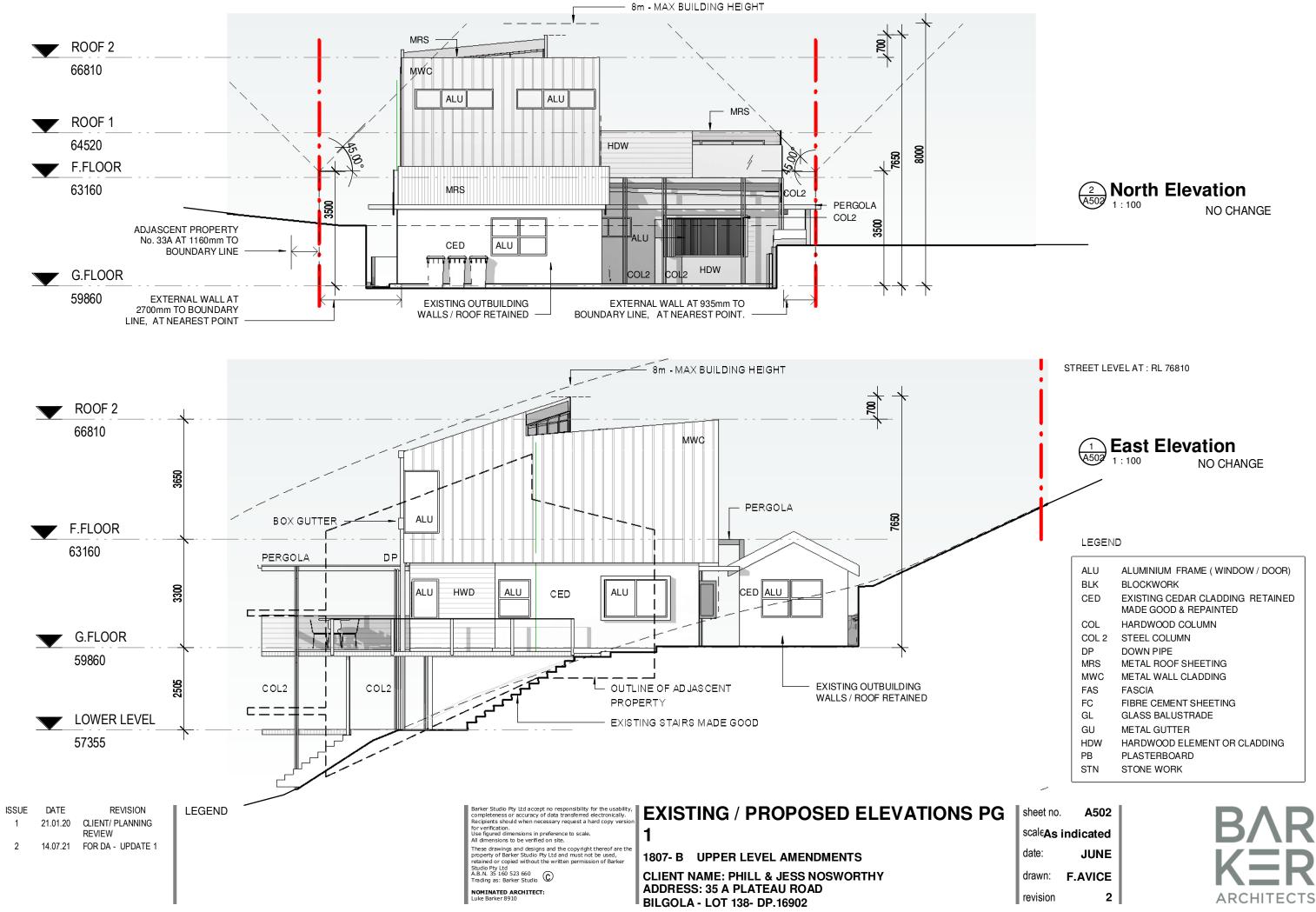
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NO CHANGE TO ROOF PLAN

sheet no. A400 scale: 1:100 date: JUNE drawn: F.AVICE revision 2

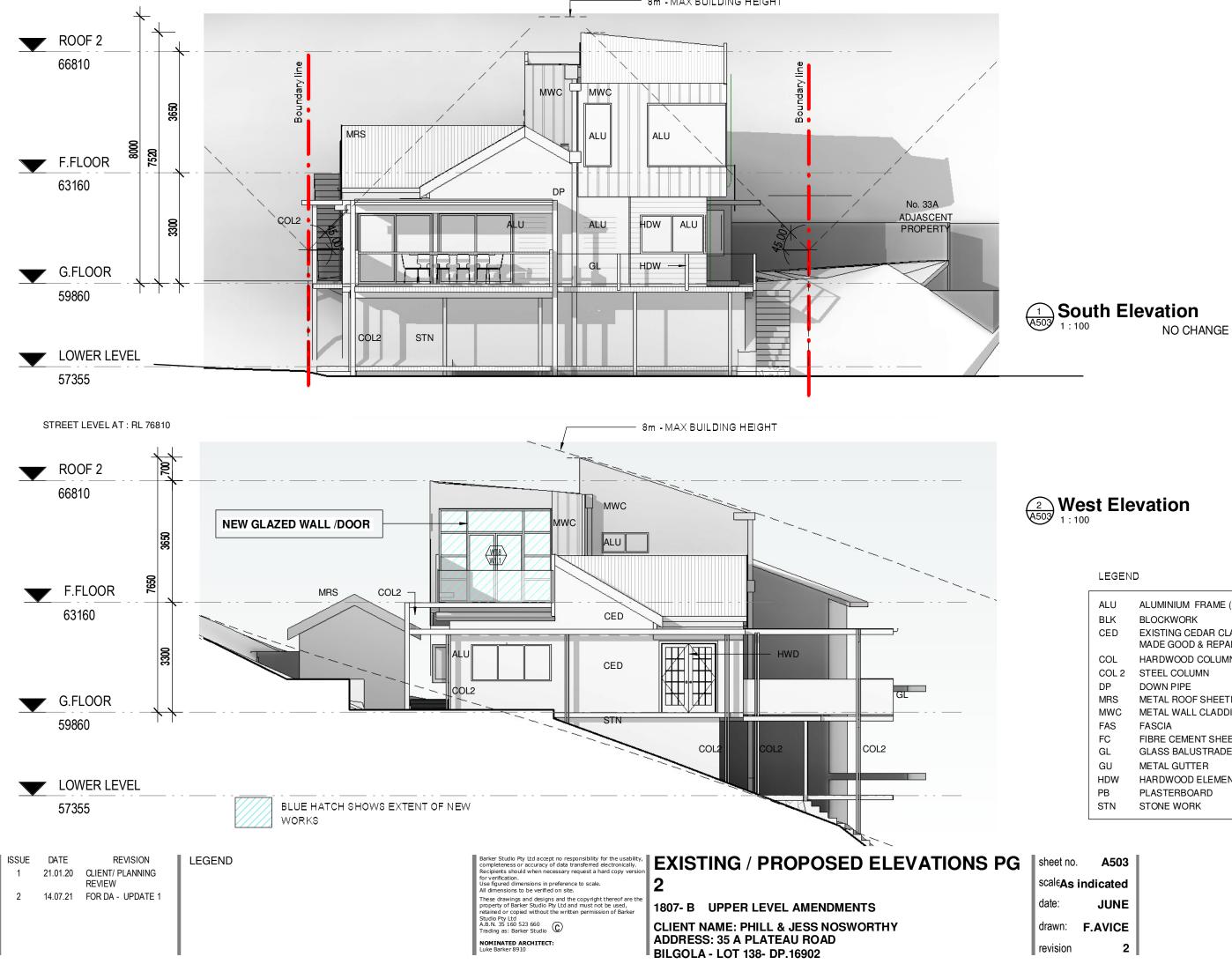








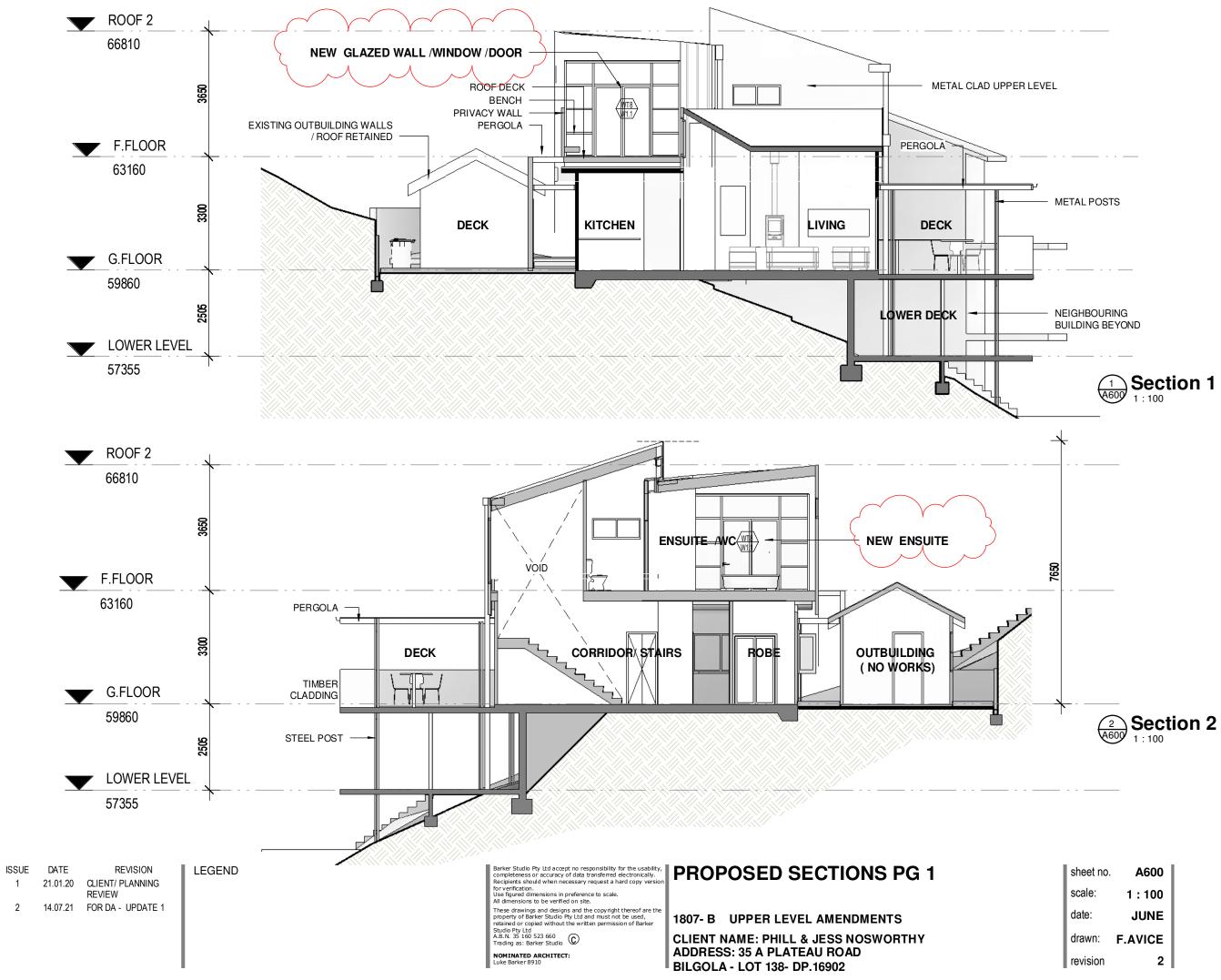
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revision	2



ALU	ALUMINIUM FRAME (WINDOW / DOOR)
BLK	BLOCKWORK
CED	EXISTING CEDAR CLADDING RETAINED MADE GOOD & REPAINTED
COL	HARDWOOD COLUMN
COL 2	STEEL COLUMN
DP	DOWN PIPE
MRS	METAL ROOF SHEETING
MWC	METAL WALL CLADDING
FAS	FASCIA
FC	FIBRE CEMENT SHEETING
GL	GLASS BALUSTRADE
GU	METAL GUTTER
HDW	HARDWOOD ELEMENT OR CLADDING
PB	PLASTERBOARD
STN	STONE WORK

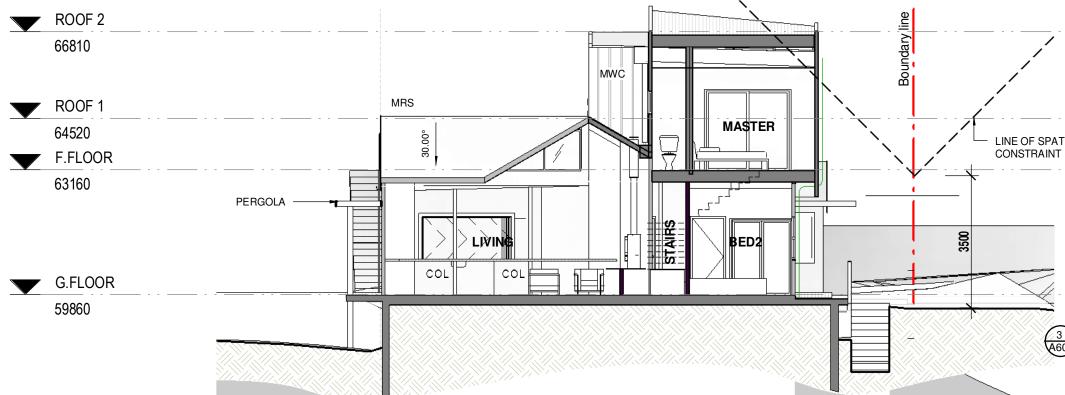
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scale <b>As</b>	indicated
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revision	2





sheet no.	A600
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LINE OF SPATIAL PLANNING

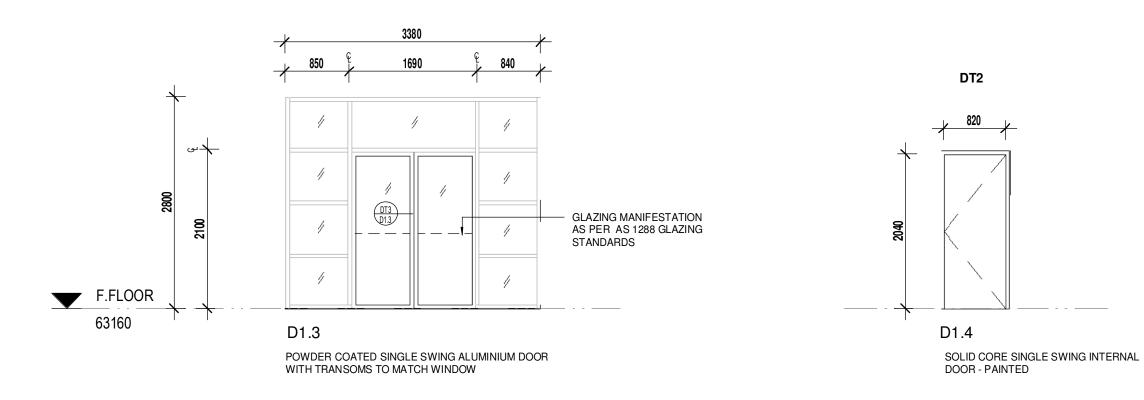
3 A601 Section 3

sheet no. A601 scale: 1:100 date: JUNE drawn: F.AVICE 2 revision



	DOOR SCHEDULE								
Door No.	Door Type	Location	Height	Width	Door Finish	Frame Finish		Cor	
D1.1	DT1	MASTERBED	2040	950	PAINTED	PAINTED	EXISTING - RETAINED- REPAINT		
D1.2	DT2	WC	2040	820	PAINTED	PAINTED	NEW TOILET DOOR + LIFT OFF HINGES		
D1.3	DT3	UPPER DECK	2075	1640	POWDERCOATED ALU	POWDERCOATED ALU	NEW DOUBLE EXTERNAL SLIDING DOOR		

DT3



#### NOTES:

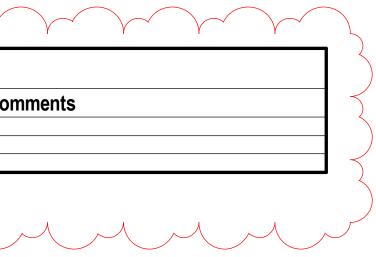
- ٠
- ALL DIMENSIONS MUST BE VERIFIED ON SITE OPERABLE/ FIXED PARTS OF WINDOWS / DOORS TO BE PROVIDED WITH METAL MESH AS PER RELEVANT BUSH FIRE REQUIREMENTS ALL ALUMINIUM WINDOWS /DOOR TO BE 100mm FRAME TYPE GJAMES •
- •
- PLEASE REFER TO BASIX CERTIFICATE / BUSH FIRE REPORT FOR WINDOW /GLAZING TYPE/ SCREENING REQUIREMENTS •
- ٠
- ALL FIXED GLAZING TO BE FRONT POCKET ALL GLASS TO COMPLY WITH AS 1288 & AS 3959 .

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#### **DOOR SCHEDULE** oility, ly.

1807- B UPPER LEVEL AMENDMENTS

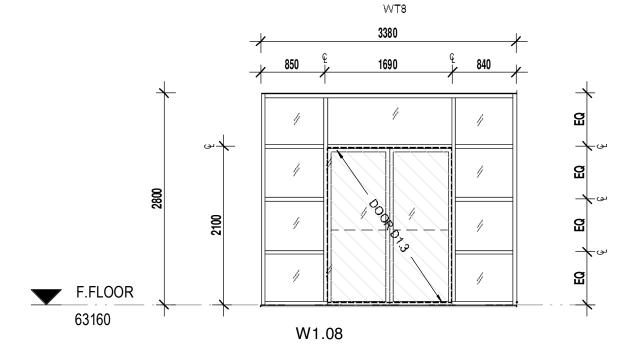
CLIENT NAME: PHILL & JESS NOSWORTHY ADDRESS: 35 A PLATEAU ROAD BILGOLA - LOT 138- DP.16902



sheet no. A900 scale: 1:50 date: JUNE drawn: F.AVICE revision 3



	WINDOW SCHEDULE							
	Window No.	Window Type	Location	Width	Height	Material		Comment
W	1.1	WT4	MASTER	3380	2800	POWDERCOATED ALUMINIUM	NEW GLAZED WALL - WITH DOOR D1.3 WITHIN WALL	



POWDER COATED ALUMINIUM GLAZED WALL WITH DOOR D1.3 INCLUDED WITHIN

NOTES: ٠ .

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sheet no.	A901
scale:	1 : 50
date:	JUNE
drawn:	F.AVICE
revision	2



ALL DIMENSIONS MUST BE VERIFIED ON SITE OPERABLE/ FIXED PARTS OF WINDOWS / DOORS TO BE PROVIDED WITH METAL MESH AS PER RELEVANT BUSH FIRE REQUIREMENTS ALL ALUMINIUM WINDOWS /DOOR TO BE 100mm FRAME - TYPE GJAMES PLEASE REFER TO BASIX CERTIFICATE / BUSH FIRE REPORT FOR WINDOW /GLAZING TYPE/ SCREENING REQUIREMENTS ALL FIXED GLAZING TO BE FRONT POCKET ALL GLASS TO COMPLY WITH AS 1288 & AS 3959

