

**STATEMENT OF ENVIRONMENTAL EFFECTS**

**FOR PROPOSED ADDITIONS & ALTERATIONS TO  
THE EXISTING DWELLING**

**LOCATED AT**

**4 WANDEEN ROAD, CLAREVILLE**

**FOR**

**MR AND MRS EVANS**



**Prepared  
December 2019**

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## **1.0 Introduction**

This Statement of Environmental Effects accompanies architectural plans prepared on behalf of Mr & Mrs Evans by Peter Princi Architects, Project No. 1531, Drawings No's. DA1-DA-06, dated December 2019, to detail minor additions and alterations to the existing dwelling at **4 Wandeen Road, Clareville**.

This Statement describes the subject site and the surrounding area, together with the relevant planning controls and policies relating to the site and the type of development proposed. As a result of this assessment it is concluded that the development of the site in the manner proposed is considered to be acceptable and is worthy of the support of the Council.

In preparation of this document, consideration has been given to the following:

- *The Environmental Planning and Assessment Act, 1979 as amended*
- *The Environmental Planning and Assessment Regulation 2000*
- *State Environmental Planning Policy No. 55 – Remediation of Land*
- *State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004*
- *Pittwater Local Environmental Plan 2014*
- *Pittwater 21 Development Control Plan 2014*

## **2.0 Property Description**

The subject allotment is described as 4 Wandeen Road, Clareville, being Lot 112 within Deposited Plan 13760. The property is zoned E4 Environmental Living under the Pittwater Local Environmental Plan 2014.

The site is identified as being within a terrestrial biodiversity area. This will be discussed in further detail within the report.

The site is noted as being within the Class 5 Acid Sulfate Soils areas. This will be discussed further within this submission.

The site has a stormwater pipeline & easement (SP17121) running parallel to the western boundary, however the proposed works do not require any site disturbance as they are located at the first floor deck level.

The site is not listed as a heritage item, nor is it within a conservation zone.

There are no other known hazards.

### 3.0 Site Description

The property is regular in shape and located on the northern side of Wandeen Road, with a southern frontage to Wandeen Road of 15.284m, eastern and western boundaries of 56.223 & 53.442m respectively. The site has an area of 834.66m<sup>2</sup>.

The land falls has a slight fall to the north towards the rear boundary. Stormwater from the site is currently dispersed within the rear of the site.

The site is currently developed with an existing two storey rendered brick residence with a metal roof and a detached double carport.

Driveway access to the existing carport is available from Wandeen Road.

The details of the site are included on the survey plan prepared by DC Surveys, Reference No. 5040, dated 11 September 2019, which accompanies the DA submission.



**Fig 1: Location of subject site  
(Source: Google Maps)**





**Fig 2: View of subject dwelling & carport, looking north from Wandeen Road**



**Fig 3: View from rear yard looking south of the rear elevation of the subject dwelling, indicating existing gable roof to be extended to the north to provide cover for the first floor balcony**





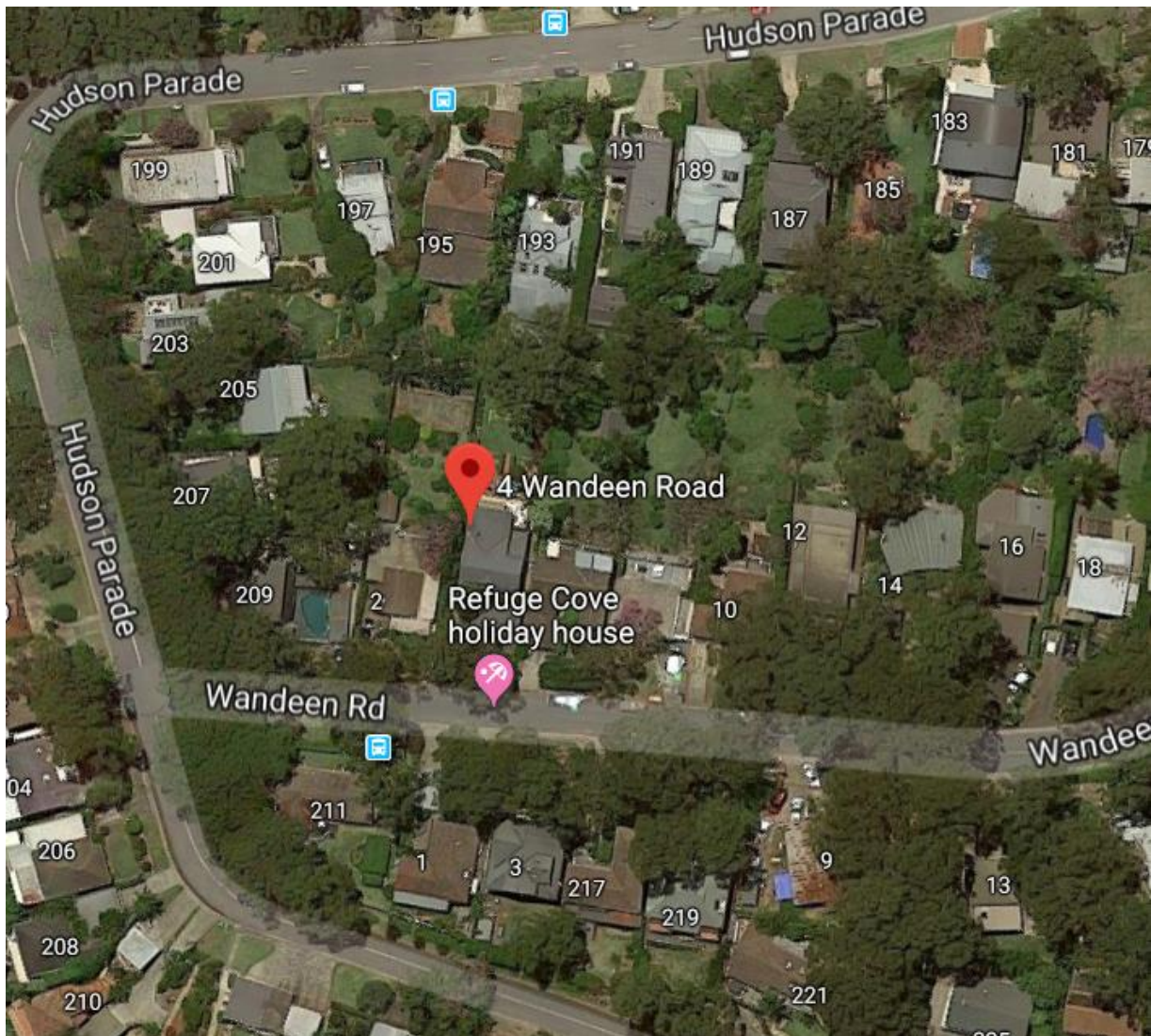
**Fig's 4 & 5: Views looking west and east respectively of the existing rear balcony, to be provided with weather protection through the extension of the existing gable roof**



#### 4.0 The Surrounding Environment

The general vicinity of the site is characterised by low density residential development of typically one and two storeys.

The site and surrounding properties have views towards Pittwater. The site and surrounding properties are characterised by a natural bushland setting.



**Fig 6: Aerial view of locality**  
(Source: Google Maps)

## 5.0 Proposed Development

The new works seek to provide for minor additions to the existing dwelling to provide for an extension to the existing rear gable roof to provide for weather protection to the existing open rear balcony.

The proposed works have been detailed in the architectural plans prepared by Peter Princi Architects, and involve extending the existing gable roof to the north by 2400m.

The new roof will be supported from the rear deck, with no disturbance to the existing ground levels. Similarly, the works do not see any change to the existing built upon areas, with no loss of soft landscaping.

The new works will provide for colours and finishes to match the existing development, with a matching colourbond roof sheet.

The new works are at the rear of the site and will not be visible from the Wandeen Road streetscape.

The proposal results in the following indices:

<b>Site Area:</b>	835.6m <sup>2</sup>
<b>Required soft landscaped area:</b>	501.36m <sup>2</sup> or 60%
<b>Proposed soft landscaped area:</b>	580.6m <sup>2</sup> or 69% (Unchanged)



## 6.0 Zoning and Development Controls

### 6.1 State Environmental Planning Policy No. 55 – Remediation of Land

SEPP 55 – Remediation of Land and in particular Clause 7(1)(a) suggests that a consent authority must not grant consent to the carrying out of any development on land unless it has considered whether the land is contaminated.

Given the history of residential use of the land, the site is not considered to be subject to contamination and further investigation is not required at this stage.

### 6.2 State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004

A BASIX certificate is not required for the proposed work.

### 6.3 Pittwater Local Environmental Plan 2014

The subject site is zoned E4 Environmental Living under the Pittwater LEP 2014.



Fig 7: Extract of Pittwater Local Environmental Plan 2014 Zoning Map

The development of and use of the land for residential purposes within the E4 Environmental Living Zone is consistent with the zone objectives, which are noted as:

- *To provide for low-impact residential development in areas with special ecological, scientific or aesthetic values.*
- *To ensure that residential development does not have an adverse effect on those values.*

- *To provide for residential development of a low density and scale integrated with the landform and landscape.*
- *To encourage development that retains and enhances riparian and foreshore vegetation and wildlife corridors*

It is considered that the proposed minor alterations and additions to the existing dwelling will be consistent with the desired future character of the surrounding locality for the following reasons:

- The proposal will be consistent with and complement the existing detached style housing within the locality.
- The proposed development respects the scale and form of other new development in the vicinity and therefore complements the locality.
- The proposal provides for alterations and additions to the dwelling, which will not have any substantial impact to the neighbouring properties.
- The setbacks are compatible with the existing surrounding development.
- The proposal does not have any impact on long distance views.
- 

#### **Clause 4.3 – Height of Buildings**

The maximum building height in this portion of Clareville is 8.5m.

The maximum height of the proposed new works to the dwelling is approximately 8m which will comply with the height requirement stipulated by the LEP.

**Clause 7.1** relates to acid sulfate soils. The site has been identified as Class 5. The proposal will not see any excavation of the site and as such, it is not anticipated that any acid sulfate soils will be disturbed.

**Clause 7.2** relates to earthworks. The proposal will not require any significant excavation of the site and the proposal therefore complies with this control.

#### **Clause 7.6 – Biodiversity protection**

The land is noted within Council's Biodiversity mapped area.

- (1) The objective of this clause is to maintain terrestrial, riparian and aquatic biodiversity by:*
- (a) protecting native fauna and flora, and*
  - (b) protecting the ecological processes necessary for their continued existence, and*
  - (c) encouraging the conservation and recovery of native fauna and flora and their habitats.*

The development will maintain a number of trees on the site, along with generous areas of soft landscaping.

As the works will not see any reduction in the landscaped area, and the proposal will not have an adverse impact on the terrain of the site nor introduce any new works to the seabed of Pittwater, the objectives of Clause 7.6 will be achieved.

## **6.4 Pittwater 21 Development Control Plan 2014**

Council's Pittwater 21 DCP Section B (General Controls), Section C (Development Type Control) and Section D Avalon Beach Locality Statement provides a range of outcomes and controls which form the primary criteria for the control for development within the subject locality.

### **6.4.1 Shaping Development – Desired Character**

The desired outcomes for the Avalon Beach Locality, in which this site falls, are as follows:

#### **A4.1 Avalon Beach Locality**

*The most important desired future character is that Avalon Beach will continue to provide an informal relaxed casual seaside environment. The locality will remain primarily a low-density residential area with dwelling houses a maximum of two storeys in any one place in a landscaped setting, integrated with the landform and landscape. Secondary dwellings can be established in conjunction with another dwelling to encourage additional opportunities for more compact and affordable housing with minimal environmental impact in appropriate locations. Any dual occupancies will be located on the valley floor and lower slopes that have less tree canopy coverage, species and habitat diversity, fewer hazards and other constraints to development. Any medium density housing will be located within and around commercial centres, public transport and community facilities. Retail, commercial, community and recreational facilities will serve the community.*

*Future development is to be located so as to be supported by adequate infrastructure, including roads, water and sewerage facilities, and public transport. Vehicular and pedestrian access into and through the locality is good. Pedestrian links, joining the major areas of open space (Angophora Reserve, Stapleton Park and Hitchcock Park) and along the foreshores, should be enhanced and upgraded. Similarly, cycle routes need to be provided through the locality. Carparking should be provided on site and where possible integrally designed into the building.*

*Future development will maintain a building height limit below the tree canopy, and minimise bulk and scale. Existing and new native vegetation, including canopy trees, will be integrated with development. The objective is that there will be houses amongst the trees and not trees amongst the houses.*

*Contemporary buildings will utilise facade modulation and/or incorporate shade elements, such as pergolas, verandahs and the like. Building colours and materials will harmonise with the natural environment. Development on slopes will be stepped down or along the slope to integrate with the landform and landscape, and minimise site disturbance. Development will be designed to be safe from hazards.*

*Most houses are set back from the street with low or no fencing and vegetation is used extensively to delineate boundary lines. Special front building line setbacks have been implemented along Avalon Parade to maintain the unique character of this street. This, coupled with the extensive street planting of canopy trees, gives the locality a leafy character that should be maintained and enhanced.*

*The design, scale and treatment of future development within the Avalon Beach Village will reflect the 'seaside-village' character of older buildings within the centre, and reflect principles of good urban*



*design. External materials and finishes shall be natural with smooth shiny surfaces avoided. Landscaping will be incorporated into building design. Outdoor cafe seating will be encouraged.*

*A balance will be achieved between maintaining the landforms, landscapes and other features of the natural environment, and the development of land. As far as possible, the locally native tree canopy and vegetation will be retained and enhanced to assist development blending into the natural environment, to provide feed trees and undergrowth for koalas and other animals, and to enhance wildlife corridors. The natural landscape of Careel Bay, including seagrasses and mangroves, will be conserved. Heritage items and conservation areas indicative of early settlement in the locality will be conserved, including the early subdivision pattern of Ruskin Rowe.*

*Vehicular, pedestrian and cycle access within and through the locality will be maintained and upgraded. The design and construction of roads will manage local traffic needs, minimise harm to people and fauna, and facilitate co-location of services and utilities.*

It is considered that the proposal is consistent with the desired character of the locality by providing for alterations and additions to the dwelling, which are consistent with the scale and style of the newer development in the vicinity.

The proposal will not have any impact on the existing tree canopy and will maintain an appropriate area of soft landscaping.

The proposal has been designed to reflect the existing setbacks provided to all boundaries existing in the immediate area.

The building materials and colours will harmonise with the natural environment and will not detract from the existing locality.

The proposed works are to the rear of the dwelling and will not be visible from the Wandeen Road Streetscape.

#### **6.4.2 Section B General Controls**

The General Controls applicable to the proposed additions and alterations are summarised as:

##### **B4.7 Pittwater Spotted Gum Forest – Endangered Ecological Community**

The controls seek to achieve the outcomes:

*Conservation of intact Pittwater Spotted Gum Forest EEC. (En)*

*Regeneration and/or restoration of fragmented and / or degraded Pittwater Spotted Gum Forest EEC. (En)*

*Reinstatement of Pittwater Spotted Gum Forest to link remnants. (En)*

*Long-term viability of locally native flora and fauna and their habitats through conservation, enhancement and/or creation of habitats and wildlife corridors. (En)*

The proposal will see an extension to the covered rear decking and will not require the removal of any trees or vegetation. The site will continue to accommodate a number of canopy trees, and

generous areas of soft landscaping will be maintained.

The proposal is not considered to impact on the Pittwater Spotted Gum Forest Ecological Community and meets the objectives of this clause.

#### **B4.20 Protection of Estuarine Water Quality**

The controls seek to achieve the outcomes:

*To ensure that water quality is not adversely affected by pollutants including increased nutrient levels, pathogens, and siltation. (En)*

*To protect the mangroves, seagrasses, intertidal sand/mud flats and other habitats that comprise the estuarine habitat of Pittwater. (En)*

*Development in the catchment of estuarine habitat is to result in estuarine habitat being retained or enhanced with respect to that development. (En)*

*The physical, chemical and biological processes of estuarine habitats in Pittwater are improved, maintained or restored. (En)*

*The social and cultural values of estuarine habitats are conserved and enhanced. (S)*

*Biodiversity, ecological processes and other estuarine habitat values are conserved. (En)*

Roofwater from the new roof areas will be connected to the existing system and as the low density residential nature of the site is maintained, the proposal is not considered to result in any substantial change to the runoff characteristics of the site.

#### **B5.8 Stormwater Management - Water Quality – Low Density Residential**

The controls seek to achieve the outcomes:

*No increase in pollutants discharged with stormwater into the environment. (En)*

*Development is compatible with Water Sensitive Urban Design principles. (En)*

Roofwater from the new roof areas will be connected to the existing system and as there is no substantial change to the runoff characteristics of the site, the retention of the existing arrangements is reasonable in this instance.

#### **B5.10 Stormwater Discharge into Public Drainage System**

The controls seek to achieve the outcomes:

*All new development to have no adverse environmental impact at the discharge location (En, S)*

The stormwater from the roof areas will be connected to the existing system which disperses stormwater within the rear yard.

As such, there will not be any substantial change to the existing stormwater discharge arrangements.

### **B6.1 Access driveways and works on the Public Road Reserve – Low Density Residential**

The controls seek to achieve the outcomes:

- Safe and convenient access. (S)*
- Adverse visual impact of driveways is reduced. (En)*
- Pedestrian safety. (S)*
- An effective road drainage system. (En, S)*
- Maximise the retention of trees and native vegetation in the road reserve. (En, S)*

The site will retain the approved double carport which is accessed via the existing driveway from Wandeen Road.

The current driveway crossing arrangements will continue to provide suitable access to the property in accordance with these controls.

### **B6.2 Internal Driveways – Low Density Residential**

The controls seek to achieve the outcomes:

- Safe and convenient access. (S)*
- Reduce visual impact of driveways. (S)*
- Pedestrian safety. (S)*
- An effective road drainage system. (En, S)*
- Maximise the retention of trees and native vegetation.*
- Reduce contaminate run-off from driveways.*

The existing driveway will be retained and provides suitable access to the existing carport.

### **B6.3 Off-street Vehicle Parking Requirements**

The controls seek to achieve the outcomes:

- Safe and convenient parking (En,S)*

The controls require a minimum of 2 parking spaces for a dwelling with 2 bedrooms or more. The site will retain two off street parking spaces within the existing carport, which will satisfy the control.

### **B8.1 Construction & Demolition – Excavation and Landfill**

The controls seek to achieve the outcomes:

- Site disturbance is minimised. (En)*
- Excavation and construction not to have an adverse impact. (En)*
- Excavation operations not to cause damage on the development or adjoining property. (S)*



There will not be any significant excavation of the site or disturbance to the exterior ground levels and meets the objectives of this provision.

#### **B8.2 Construction & Demolition – Erosion and Sediment Management**

The controls seek to achieve the outcomes:

*Waterways, coastal areas, watercourses, drainage systems and the public domain are protected from the transportation of sedimentation from development sites. (En)*

*Reduction of waste throughout all phases of development. (En)*

*Public safety is ensured. (S)*

*Protection of the public domain. (S, En)*

As required, appropriate sedimentation controls will be implemented throughout construction to prevent transportation of sediment to adjoining properties and Pittwater.

#### **B8.3 Construction & Demolition – Waste Minimisation**

The controls seek to achieve the outcomes:

*Reduction management of demolition, excavation and construction works is to be minimised by reuse on-site, recycling, or disposal at an appropriate waste facility. (En)*

As required, appropriate waste management controls will be implemented throughout construction.

### **6.4.3 Section C Development Type Controls**

The Development Type Controls applicable to the proposed development and are summarised as:

#### **C1.1 Landscaping**

The controls seek to achieve the outcome:

*A built form softened and complemented by landscaping. (En)*

*Landscaping reflects the scale and form of development. (En)*

*Retention of canopy trees by encouraging the use of pier and beam footings. (En)*

*Development results in retention of existing native vegetation. (En)*

*Landscaping results in the long-term retention of Pittwater's locally native tree canopy. (En)*

*Landscaping retains and enhances Pittwater's biodiversity by using locally native plant species (En)*

*Landscaping enhances habitat and amenity value. (En, S)*

*Landscaping results in reduced risk of landslip. (En, Ec)*

*Landscaping results in low watering requirement. (En)*

The proposal retains the generous areas of soft landscaping on site, with all works well above the ground level. The site will maintain its contribution to the landscaped character of the locality.

### **C1.2 Safety and Security**

The controls seek to achieve the outcomes:

*On-going safety and security of the Pittwater community. (S)*  
*Opportunities for vandalism are minimised. (S, Ec)*  
*Inform applicants of Council's requirements for crime and safety management for new development. (S)*  
*Improve community awareness in relation to Crime Prevention through Environmental Design (CPTED), its principle strategies and legislative requirements (S)*  
*Identify crime and safety priority areas in Pittwater LGA (S, Ec)*  
*Improve community safety and reduce the fear of crime in the Pittwater LGA (S)*  
*Develop and sustain partnerships with key stakeholders in the local area who are involved in community safety. (S)*

The site will retain the opportunity to view the driveway and street area with casual surveillance of the immediate area available.

### **C1.3 View Sharing**

The controls seek to achieve the outcomes:

*A reasonable sharing of views amongst dwellings. (S)*  
*Views and vistas from roads and public places to water, headland, beach and/or bush views are to be protected, maintained and where possible, enhanced. (S)*  
*Canopy trees take priority over views. (En, S)*

The subject and adjoining properties currently enjoy a substantial outlook to Pittwater to the north and north-west. The proposal alterations and additions maintain the compatible scale of the dwelling and neighbouring properties will retain their primary views towards the north and north-west.

### **C1.4 Solar Access**

The controls seek to achieve the outcomes:

*Residential development is sited and designed to maximise solar access during mid-winter. (En)*  
*A reasonable level of solar access is maintained to existing residential properties, unhindered by adjoining development. (En)*  
*Reduce usage and/dependence for artificial lighting. (En)*

The required controls to achieve the outcomes are to ensure that private open spaces of the subject and adjoining dwellings maintain a minimum of 3 hours of solar access in mid-winter.

Given the northern orientation of the subject and neighbouring properties, together with the modest scale of the proposed alterations and additions, the new works will not unreasonably

remove solar access to the primary living spaces or private open space areas of any neighbouring properties.

In accordance with Council's control, the adjoining properties will continue to receive in excess of three hours of direct solar access throughout the day.

#### **C1.5 Visual Privacy**

The controls seek to achieve the outcomes:

*Habitable rooms and outdoor living areas of dwellings optimise visual privacy through good design. (S)*

*A sense of territory and safety is provided for residents. (S)*

The required controls to achieve the outcomes are to ensure that the private open space, recreation areas and living rooms within 9m of a development are suitably protected to limit the effects of direct overlooking.

The new works to the dwelling will not alter the nature of the rear deck, with no increased overlooking as a result of the extended roof cover to the deck. The existing levels of amenity enjoyed by the neighbours to be maintained.

#### **C1.6 Acoustic Privacy**

The controls seek to achieve the outcomes:

*Noise is substantially contained within each dwelling and noise from any communal or recreation areas are limited. (S)*

*Noise is not to be offensive as defined by the Protection of the Environment Operations Act 1997, including noise from plant, equipment and communal or recreation areas (S)*

The required controls to achieve the outcomes are to ensure that noise sensitive living areas and bedrooms are located away from major noise sources.

Given the residential nature of the works, there will not be any significant Impact on the surrounding locality in terms of acoustic privacy. The works will maintain the current ample separation to living areas of adjoining properties, thereby maintaining existing levels of acoustic privacy.

#### **C1.7 Private Open Space**

The controls seek to achieve the outcomes:

*Dwellings are provided with a private, usable and well-located area of private open space for the use and enjoyment of the occupants. (S)*

*Private open space is integrated with, and directly accessible from, the living areas of dwellings. (S)*



*Private open space receives sufficient solar access and privacy (En, S).*

The required controls to achieve the outcomes are to ensure that dwellings are provided suitable private open space with an area and at a grade which will facilitate outdoor private recreation. The proposal retains the existing areas of private open space which enjoy good solar access.

#### **C 1.12 Waste and Recycling Facilities**

The controls seek to achieve the outcomes:

*Waste facilities are accessible and convenient, and integrate with the development. (En)*  
*Waste facilities are located such that they do not adversely impact upon amenity of the land adjoining development or natural environment. (En, S)*

The required controls to achieve the outcomes are to ensure that adequate area remains for the storage of waste and recyclable materials.

There is sufficient area surrounding the carport for on-site storage of waste and recyclables, with the waste removed by Council contractors via the household garbage service.

#### **6.5.4 Section D Design Criteria**

The **D1 Avalon Beach Locality Statement** contains a number of outcomes for development. The proposal has been assessed in regard to the Locality Statement and is summarised in the following table.

In support of the proposal, it is considered that this proposal is well designed, comprehensive and consistent with the community's vision for development in Pittwater in that it is:

- Proposing a form of development which is compatible with the existing residential character of the area by maintaining an appropriate development scale which is compatible with the vicinity.
- The proposal maintains existing views and amenity to adjoining properties.
- The proposal will not result in additional run-off to adjoining properties or public spaces.
- The development will not place additional demands on local infrastructure or on the sewage disposal system for the site.

A summary of the DCP controls for the **D1 Avalon Beach Locality** is provided below:

##### **D1.1 Character as Viewed from A Public Place**

The control seeks to achieve the outcomes:

*To achieve the desired future character of the Locality.*  
*To ensure new development responds to, reinforces and sensitively relates to the spatial characteristics of the existing built and natural environment. (En, S, Ec)*  
*To enhance the existing streetscapes and promote a scale and density that is in keeping with the height of the natural environment.*

*The visual impact of the built form is secondary to landscaping and vegetation, or in commercial areas and the like, is softened by landscaping and vegetation. (En, S, Ec)  
High quality buildings designed and built for the natural context and any natural hazards.  
(En, S)*

*Buildings do not dominate the streetscape and are at 'human scale'.*

*To preserve and enhance district and local views which reinforce and protect the Pittwater's natural context.*

The required controls to achieve the outcomes are to ensure that the building maintains a compatibility with the locality through appropriate design relief including roof forms textures, materials, the arrangement of windows, modulation of wall and roof planes, spatial separation, landscaping etc.

The proposal will provide for alterations and additions to the existing dwelling which will maintain a complementary two storey height and scale.

Views over and to the side of the dwelling will be retained for the neighbouring dwellings which are located uphill of the proposal.

The proposed alterations and addition to the dwelling are considered to be consistent in terms of bulk and scale to the existing surrounding development, which generally comprises one and two storey dwellings that are orientated towards Pittwater. The setbacks provided reflect the setbacks of the adjoining properties.

The proposed additions to the dwelling are well articulated to provide visual interest and reduce bulk when viewed from Pittwater. In addition, the existing landscaping will ensure that the proposed works will be interspersed with the natural landscape setting.

#### **D1.5 Building Colours, Materials and Construction**

The controls seek to achieve the outcomes:

*Achieve the desired future character of the Locality.*

*The development enhances the visual quality and identity of the streetscape. (S)*

*To provide attractive building facades which establish identity and contribute to the streetscape.*

*To ensure building colours and materials compliments and enhances the visual character and its location with the natural landscapes of Pittwater.*

*The colours and materials of the development harmonise with the natural environment. (En, S)*

*The visual prominence of the development is minimised. (S)*

*Damage to existing native vegetation and habitat is minimised. (En)*

*An informal beachside appearance of the Avalon Beach Village. (S, Ec)*

The required controls to achieve the outcomes are to ensure that the external colours and materials shall be dark and earthy tones as indicated within the DCP.

It is considered that the development is appropriate as the proposal will utilise finishes and colours which are compatible with the DCP, existing building finishes and the surrounding properties.

#### **D1.8 Front Building Line**

The controls seek to achieve the outcomes:

*Achieve the desired future character of the Locality. (S)*  
*The amenity of residential development adjoining a main road is maintained. (S)*  
*Vegetation is retained and enhanced to visually reduce the built form. (En)*  
*Vehicle maneuvering in a forward direction is facilitated. (S)*  
*To encourage attractive street frontages and improve pedestrian amenity.*  
*To ensure new development responds to, reinforces and sensitively relates to the spatial characteristics of the existing urban environment*

The control to achieve this outcome is to provide a setback of 6.5m, or the established building line to the street frontage.

No changes to existing front setback.

Accordingly, the proposal is considered to satisfy the objectives of this clause and is worthy of support.

#### **D1.9 Side and rear building line**

The controls seek to achieve the outcomes:

*To achieve the desired future character of the Locality. (S)*  
*The bulk and scale of the built form is minimised. (En, S)*  
*Equitable preservation of views and vistas to and/or from public/private places. (S)*  
*To encourage view sharing through complimentary siting of buildings, responsive design and well-positioned landscaping.*  
*To ensure a reasonable level of privacy, amenity and solar access is provided within the development site and maintained to residential properties. (En, S)*  
*Substantial landscaping, a mature tree canopy and an attractive streetscape. (En, S)*  
*Flexibility in the siting of buildings and access. (En, S)*  
*Vegetation is retained and enhanced to visually reduce the built form. (En)*  
*To ensure a landscaped buffer between commercial and residential zones is established. (En, S)*

The relevant controls to achieve this outcome are to maintain a minimum side boundary setback of 2.5m for at least one side and a minimum of 1.0m setback for the other side.

The new roof over the rear deck maintains the existing side setbacks which are 3.18m to the western boundary and will stand from 4.5m to the eastern side boundary.

### **D1.11 Building Envelope**

The controls seek to achieve the outcomes:

- To achieve the desired future character of the Locality.*
- To enhance the existing streetscapes and promote a building scale and density that is below the height of the trees of the natural environment.*
- To ensure new development responds to, reinforces and sensitively relates to spatial characteristics of the existing natural environment.*
- The bulk and scale of the built form is minimised. (En, S)*
- Equitable preservation of views and vistas to and/or from public/private places. (S)*
- To ensure a reasonable level of privacy, amenity and solar access is provided within the development site and maintained to residential properties. (En, S)*
- Vegetation is retained and enhanced to visually reduce the built form. (En)*

The required controls to achieve the outcomes are to maintain the development within a height envelope which provides for a height of 3.5m with an angle projected at 45°.

The new works will comply with Council's control and the building will continue to maintain appropriate access to the available views and levels of solar access in accordance with Council's policy for the primary living and outdoor recreation spaces for both the neighbouring and subject dwellings.

### **D1.14 Landscaped Area – Environmentally Sensitive Land**

The controls seek to achieve the outcomes:

- Achieve the desired future character of the Locality. (S)*
- The bulk and scale of the built form is minimised. (En, S)*
- A reasonable level of amenity and solar access is provided and maintained. (En, S)*
- Vegetation is retained and enhanced to visually reduce the built form. (En)*
- Conservation of natural vegetation and biodiversity. (En)*
- Stormwater runoff is reduced, preventing soil erosion and siltation of natural drainage channels. (En)*
- To preserve and enhance the rural and bushland character of the area. (En, S)*
- Soft surface is maximised to provide for infiltration of water to the water table, minimise run-off and assist with stormwater management. (En, S)*

The required controls to achieve the outcomes are to limit residential development in order to maintain a minimum landscaped area of 60% of the site area.

The proposal currently provides for a soft landscaped area of 69%, which readily complies with this control, with no further loss of landscaped area.

### **D1.20 Scenic Protection Category One Areas**

The controls seek to achieve the outcomes:

*To achieve the desired future character of the Locality.*

*Achieve the desired future character of the Locality. (En, S)*

*To preserve and enhance the visual significance of district and local views of Pittwater's natural topographical features such as, ridges, upper slopes and the waterfront. (En, S).*

*Maintenance and enhancement of the tree canopy. (En, S)*

*Colours and materials recede into a well vegetated natural environment. (En, S)*

*To maintain and enhance the natural environment of Pittwater as the predominant feature of the landscape with built form being a secondary component (En, S)*

*To preserve and enhance district and local views which reinforce and protect the Pittwater's bushland landscape and urban form to enhance legibility.*

*To encourage view sharing through complimentary siting of buildings, responsive design and well-positioned landscaping.*

*To ensure sites are designed in scale with Pittwater's bushland setting and encourages visual integration and connectivity to natural environment.*

*Development shall minimise visual impacts on the natural environment when viewed from any waterway, road or public reserve.*

The proposal does not seek to remove any vegetation within the foreshore area of the site. The works within the rear portion are minor and will not be highly visible from the Pittwater waterway or the Wandeen Road streetscape.



**7.0 Matters for Consideration under Section 4.15 of The Environmental Planning and Assessment Act, 1979**

**7.1 The provisions of any environmental planning instrument**

The proposal is subject to the provisions of the Pittwater Local Environmental Plan 2014 and the relevant supporting Council policies. It is considered that the provisions of this environmental planning instrument have been satisfactorily addressed within this report and that the proposal achieves compliance with its provisions.

There are no other environmental planning instruments applying to the site.

**7.2 Any proposed instrument that is or has been the subject of public consultation under this Act and that has been notified to the consent authority (unless the Secretary has notified the consent authority that the making of the proposed instrument has been deferred indefinitely or has not been approved), and**

There are no draft instruments applying to the land.

**7.3 Any development control plan**

The development has been designed to comply with the requirements of Council's Pittwater 21 Development Control Plan 2014.

The application has been prepared having regard to the requirements of Section B, Section C and Section D of the Pittwater 21 DCP.

It is considered that the proposed design respects the desired character objectives of the DCP in that it reinforces the existing residential character of the area and is compatible with the existing uses in the vicinity.

**7.4 Any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4, and**

No matters of relevance are raised in regard to the proposed development.

**7.5 The regulations (to the extent that they prescribe matters for the purposes of this paragraph),**

No matters of relevance are raised in regard to the proposed development.

**7.6 The likely impacts of that development, including environmental impacts on both the natural and built environments, and the social and economic impacts in the locality.**

It is considered that the proposal, which seeks consent for additions and alterations to the existing dwelling, will not unreasonably impact upon the amenity of adjoining properties or upon the character of the surrounding area. It is considered that the resultant development is compatible with and will complement the residential character of the area.

The proposal is considered to be well designed having regard to the relevant provisions of the Council's PLEP 2014 and Council's Codes and Policies, in particular the Pittwater 21 DCP 2014 and the Avalon Beach Locality Statement.

#### **7.7 The suitability of the site for the development**

The subject land is currently zoned E4 Environmental Living under the Pittwater Local Environmental Plan 2014 and is considered suitable for the proposed development.

#### **7.8 Any submissions made in accordance with this Act or the regulations**

This is a matter for Council in the consideration of this proposal.

#### **7.9 The public interest**

The proposal will not impact upon the environment, the character of the locality or upon the amenity of adjoining properties and is therefore considered to be within the public interest.

#### **8.0 Conclusion**

The principal objective of this development is to provide for the construction of additions and alterations to the existing dwelling, which respects and complements the site's location.

It is considered that the proposed works satisfy the stated objectives of Council's Development Controls. By maintaining our neighbours amenity and by complementing the existing style and character of the surrounding locality, the stated objectives have been satisfied.

As the proposed development will not have any significant impact on the environment, scenic quality of the area or the amenity of the adjoining allotments, the issue of Development Consent under the delegation of Council is requested.

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