

DEVELOPMENT APPLICATION

PROPOSED MINOR ALTERATIONS AND ADDITIONS TO THE RESIDENCE,
SWIMMING POOL AND ASSOCIATED LANDSCAPE WORKS

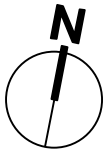
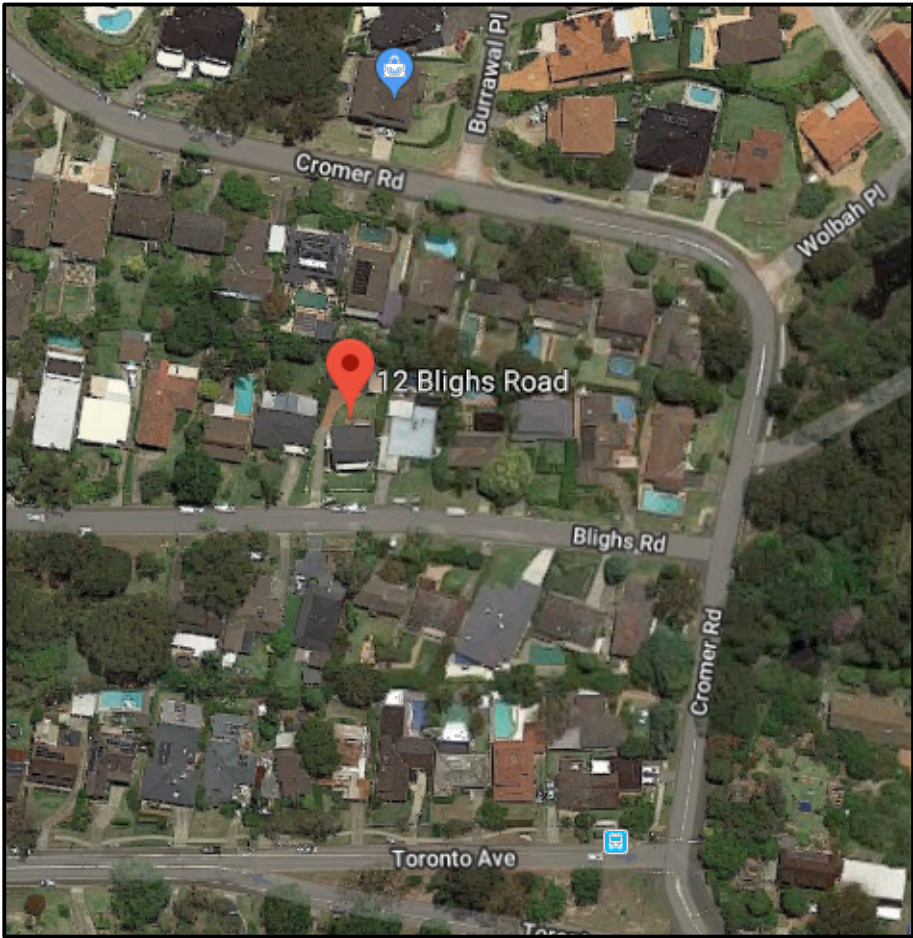
RESIDENTIAL DEVELOPMENT

12 Blighs Road,
Cromer, NSW 2099

DRAWING LIST

SHEET NO.	SHEET TITLE	DATE
C0	COVER SHEET	25.09.2019
C1	SITE PLAN	25.09.2019
C2	SECTIONS SHEET A	25.09.2019
C3	SECTIONS SHEET B	25.09.2019
C4	SECTIONS SHEET C	25.09.2019
C5	ELEVATION SHEET A	25.09.2019
C6	SECTIONS SHEET D	25.09.2019
C7	SITE ANALYSIS PLAN	25.09.2019
C8	LANDSCAPE AREA PLAN	25.09.2019
C9	SEDIMENT CONTROL PLAN	25.09.2019
C10	NOTIFICATION PLAN	25.09.2019

SITE LOCATION





PROPOSED POOL - FIBREGLASS
(MADERIA 6 BY NARELLAN POOLS)



CONTOUR
LANDSCAPE ARCHITECTURE

PO Box 698 MONA VALE NSW 1660
Tel: 0434 500 705 - AIDLM

PROJECT
Adrian & Amanda Cirillo
12 Blighs Road,
Cromer, NSW 2099

NOTES

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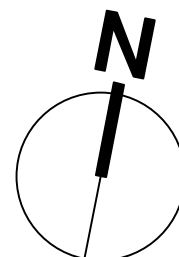
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01/08/19	A	
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25/09/19	C	

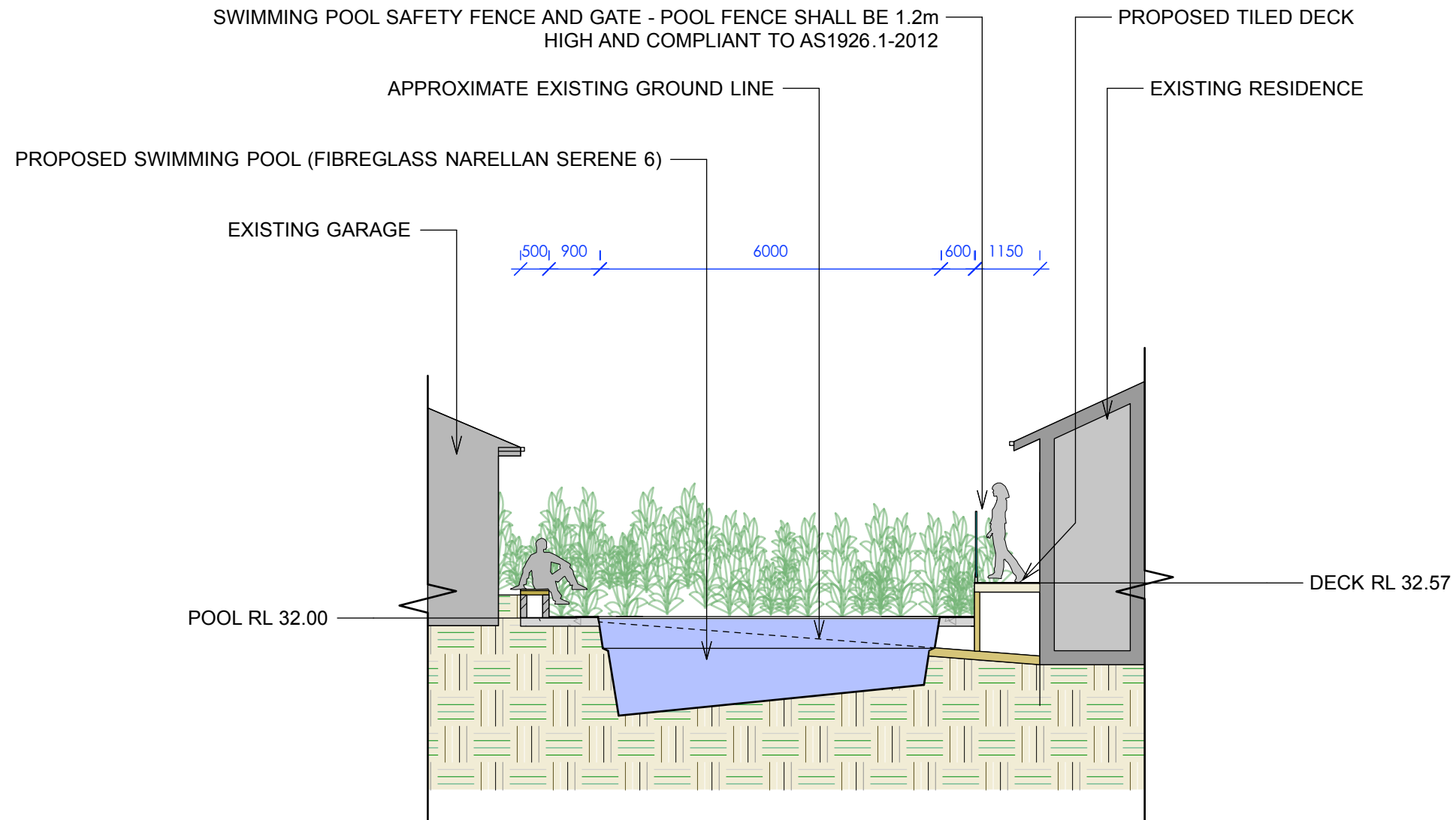
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DRAWING
SITE PLAN

DRAWING NO:
C1_N1

REV:
C





SECTION AA

SCALE 1:100
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DATE: 01/08/19

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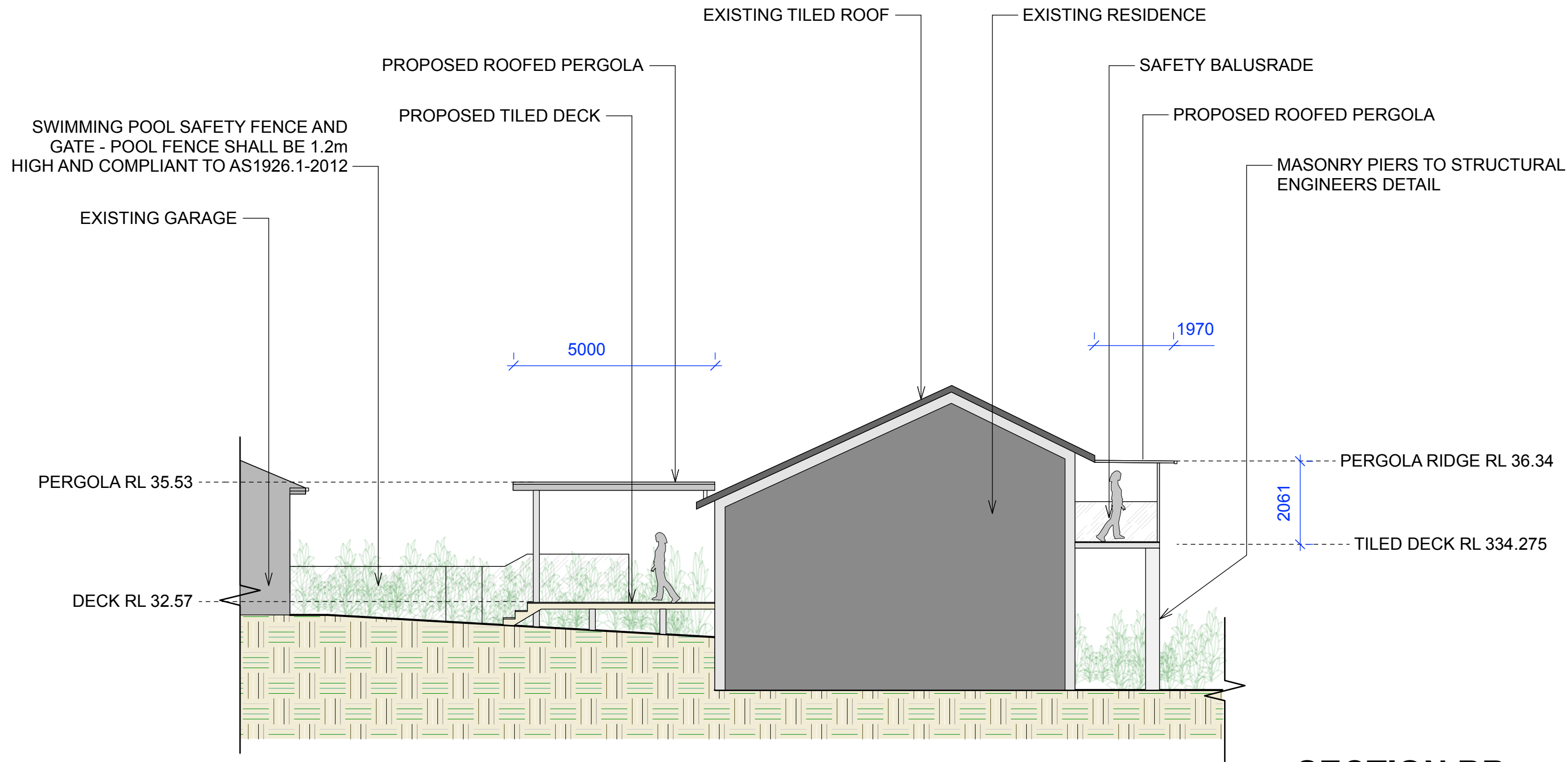
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DRAWING
SECTION SHEET A

DRAWING NO:
C2_N1

REV:
C





SECTION BB

SCALE 1:100
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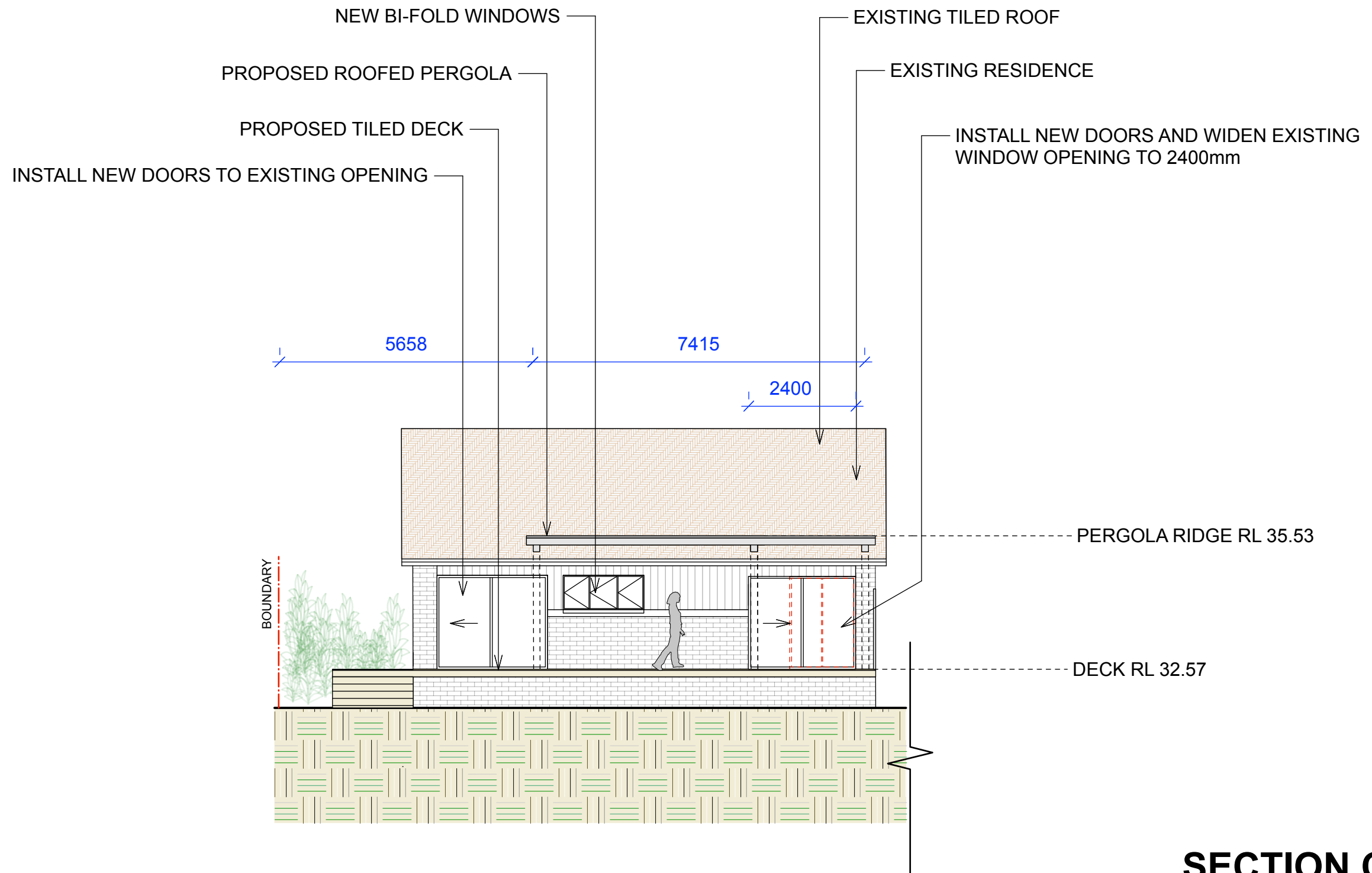
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DRAWING
SECTION SHEET B

DRAWING NO:
C3_N1

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SECTION CC

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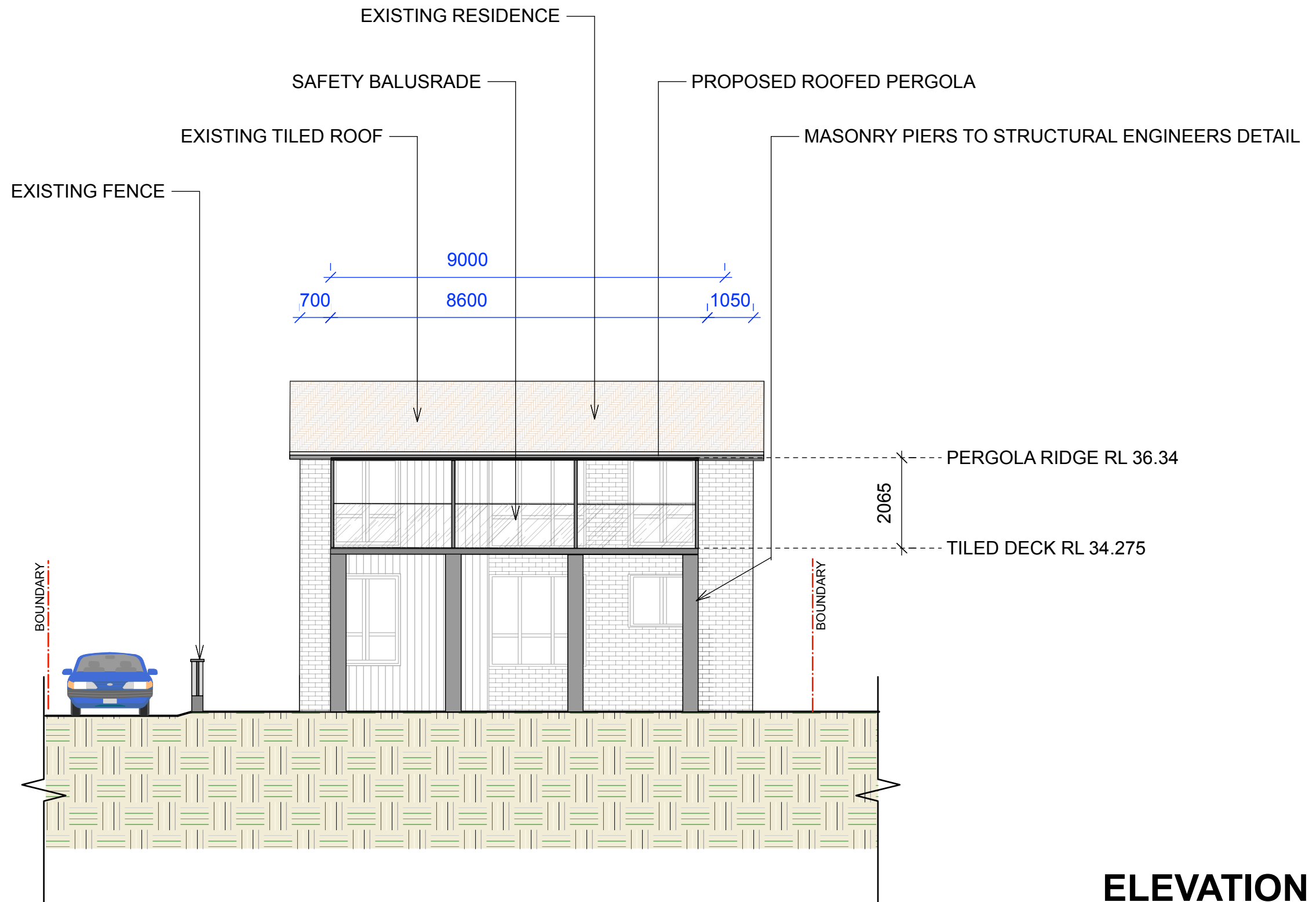
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DATE:	01/08/19	DRAWING
SCALE:	1:100 @ A3	SECTION SHEET C
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ELEVATION A

SCALE 1:100
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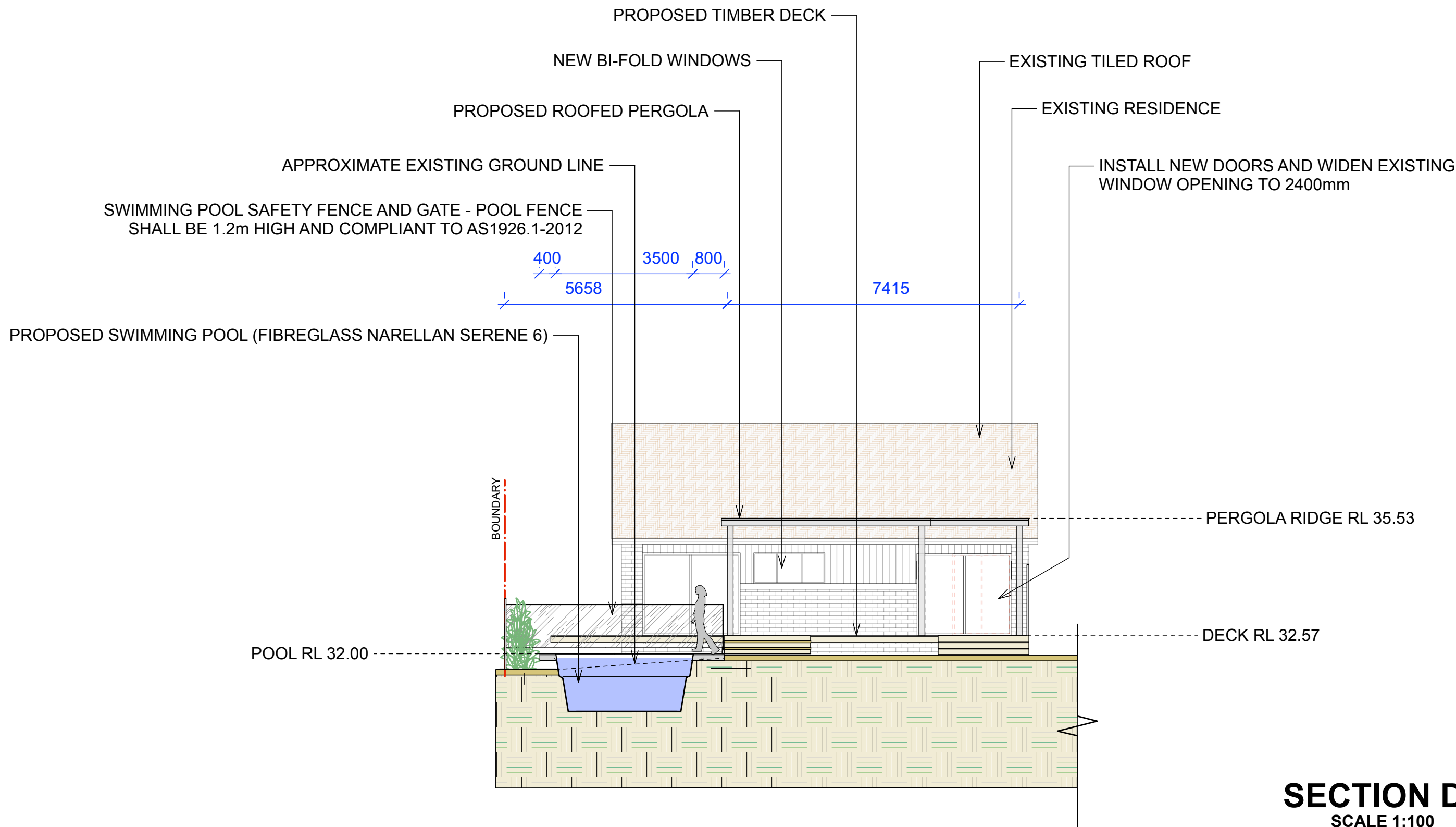
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DRAWING
ELEVATION A

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C5_N1

REV:
C





SECTION DD
SCALE 1:100
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LANDSCAPE ARCHITECTURE

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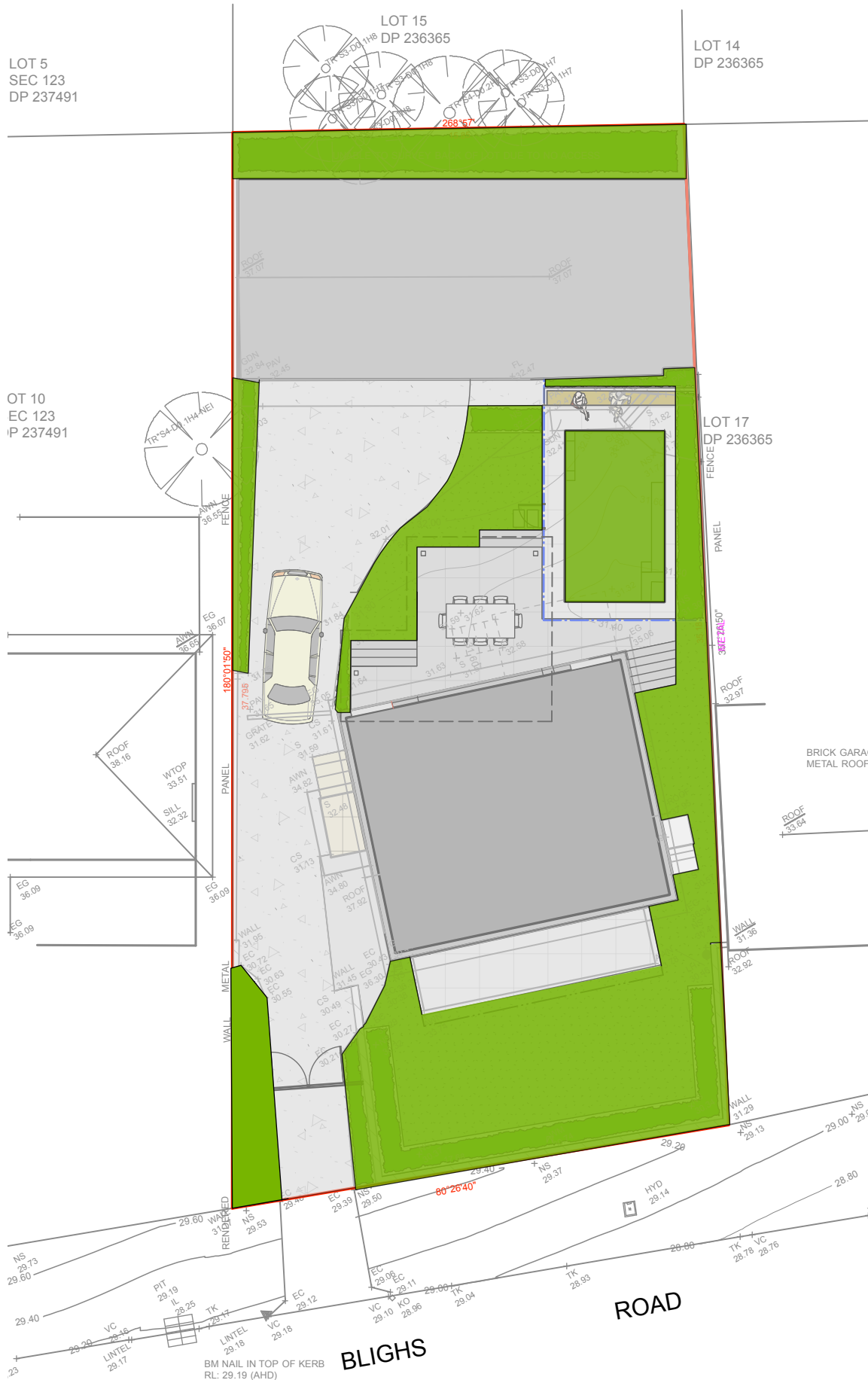
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SECTION D

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C6_N1

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PROPOSED LANDSCAPED AREA

COMPLIANCE TABLE

LANDSCAPED AREA		
		COMPLY
SITE AREA	608.00m2	N/A
MINIMUM LANDSCAPED AREA - 40%	243.2m2	N/A
PROPOSED LANDSCAPED AREA	203.00m2	NO

- PROPOSED SWIMMING POOL AND SURROUNDS SHALL BE NO GREATER THAN 600mm ABOVE EXISTING LEVELS
- SWIMMING POOL WATER CAPACITY IS LESS THAN 40 000 LITRES - 38,000LT
- SWIMMING POOL LOCATED IN REAR YARD
- SWIMMING POOL SAFETY FENCING & SWIMMING POOL SHALL COMPLY WITH;
- COUNCIL CODES
- BUILDING CODE OF AUSTRALIA
- SWIMMING POOLS ACT 1992-NO. 49
- SWIMMING POOL SAFETY AS 1926.1-2007
- SWIMMING POOL SAFETY AS 1926.2-2007
- SWIMMING POOL SAFETY AS AS1926.1-2012 AS APPLICABLE.

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LANDSCAPE ARCHITECTURE

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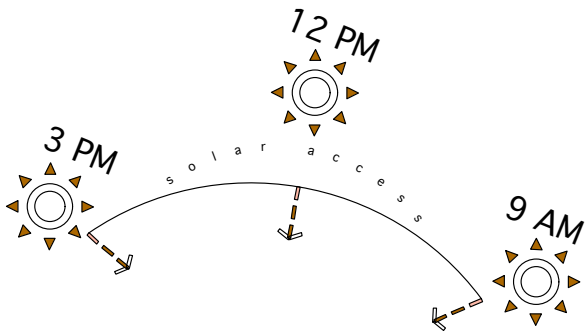
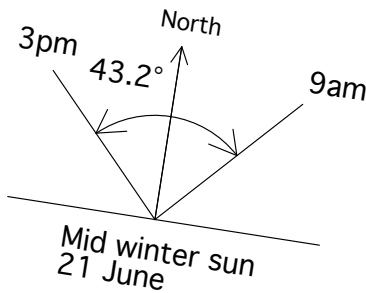
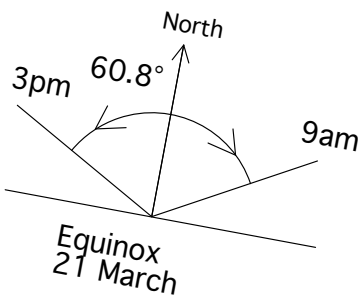
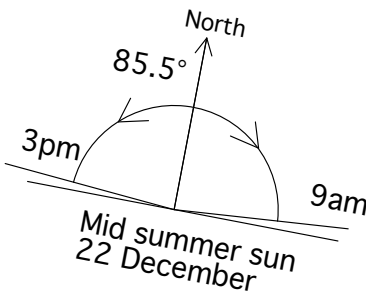
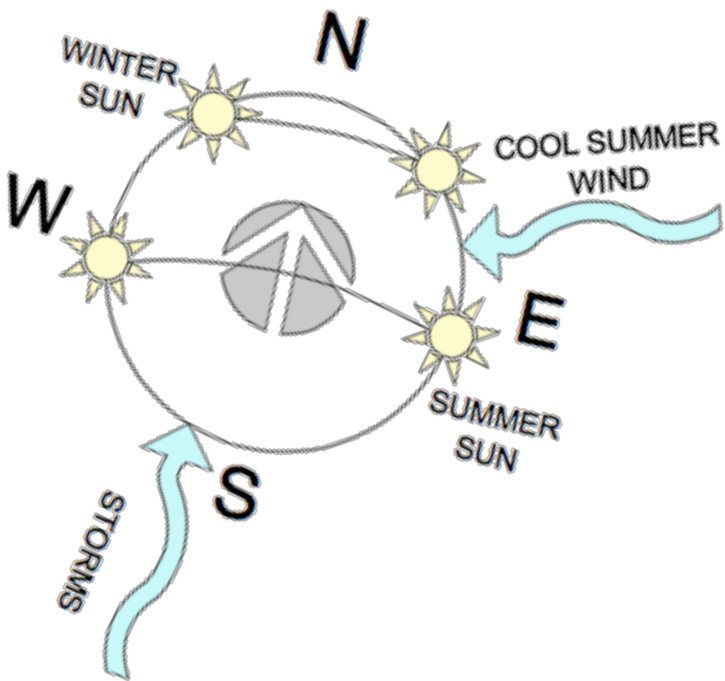
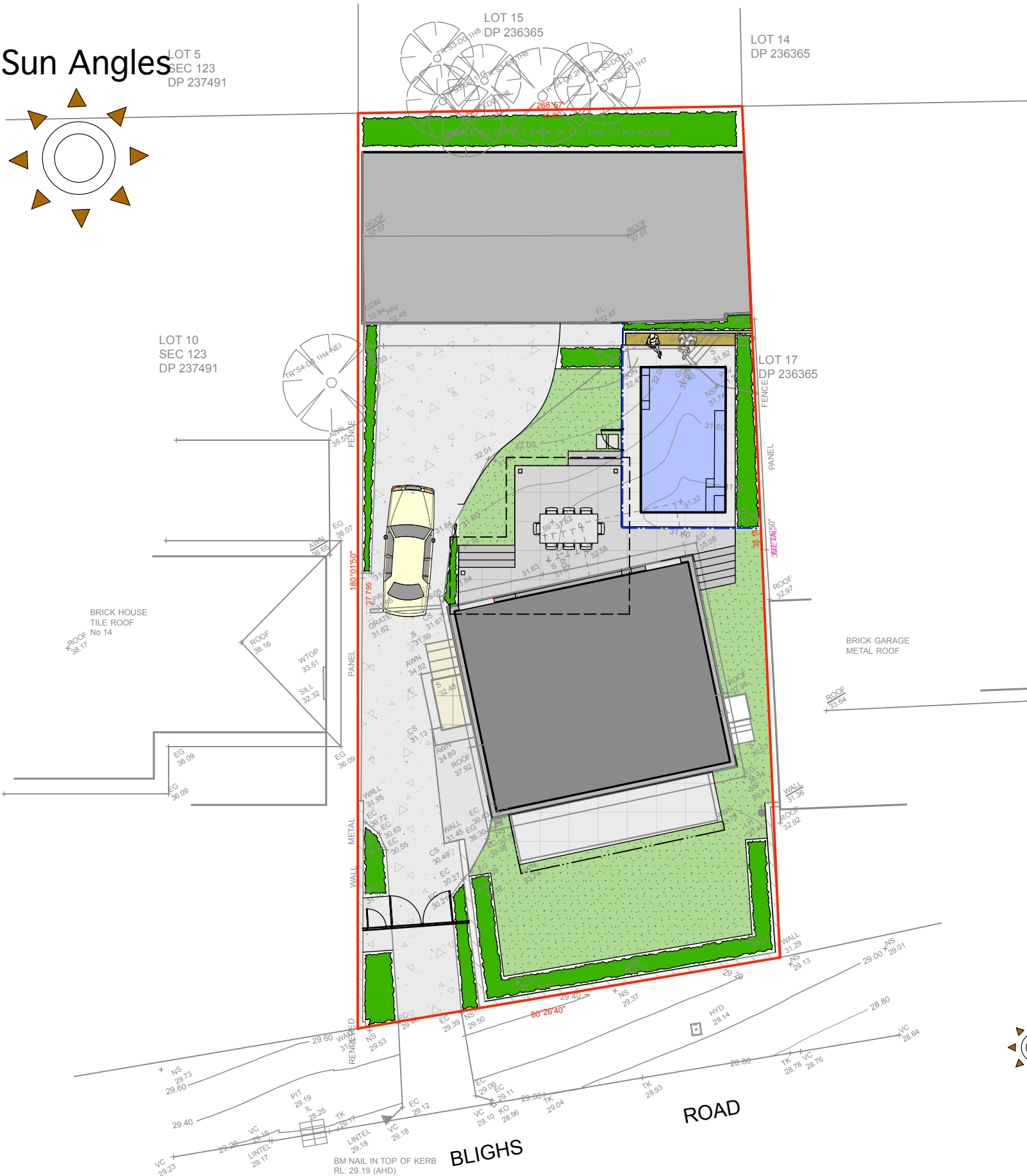
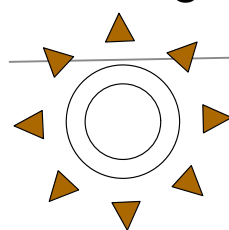
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**LANDSCAPED
AREA PLAN**
DRAWING NO:
C7_N1
REV:
A



Sun Angles



summer winds predominant

CONTOUR
LANDSCAPE ARCHITECTURE

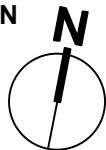
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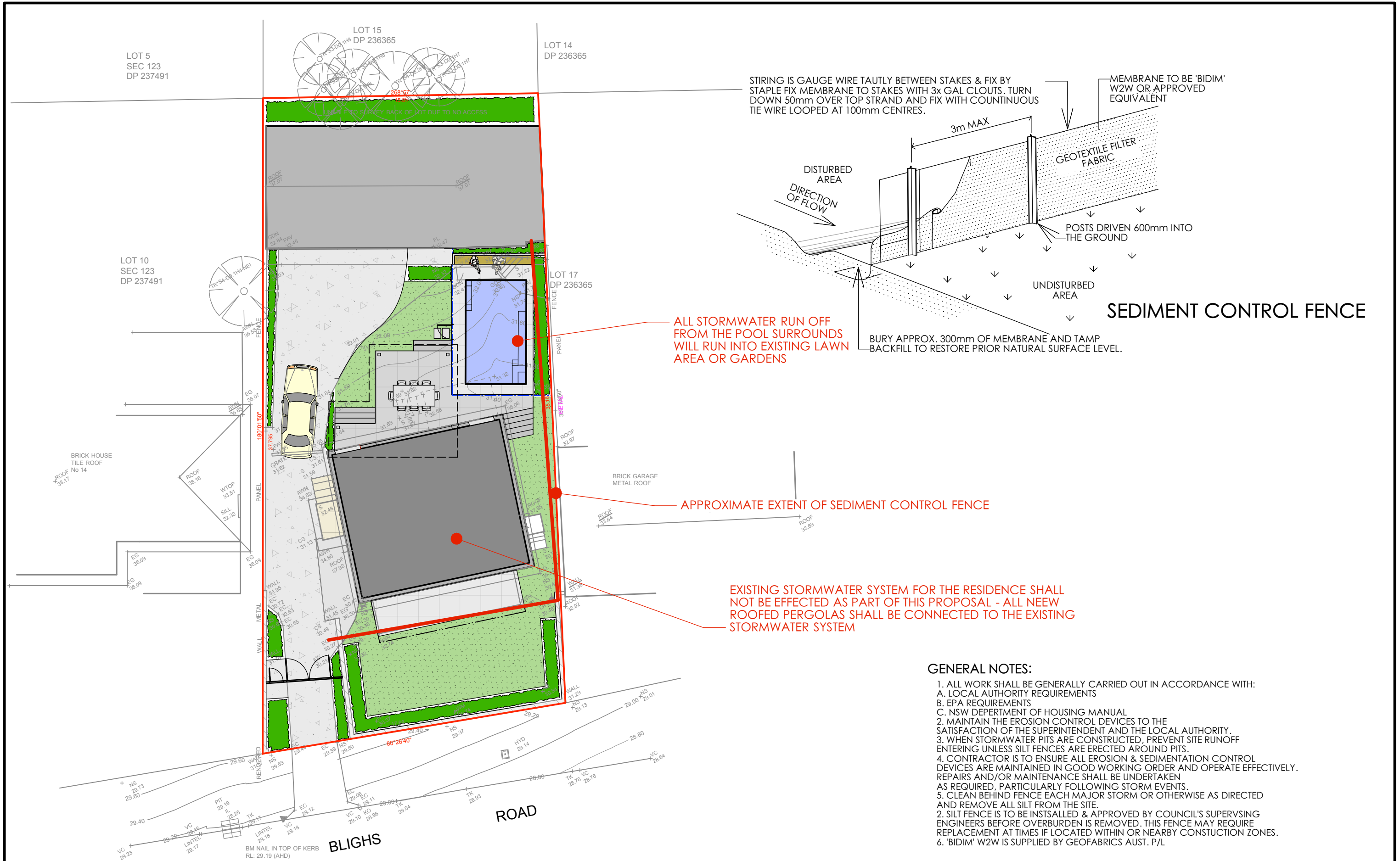
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DRAWN:	SW	DRAWING NO: C7_N1
		REV: A





ALL STORMWATER RUN OFF FROM THE POOL SURROUNDS WILL RUN INTO EXISTING LAWN AREA OR GARDENS

APPROXIMATE EXTENT OF SEDIMENT CONTROL FENCE

EXISTING STORMWATER SYSTEM FOR THE RESIDENCE SHALL NOT BE EFFECTED AS PART OF THIS PROPOSAL - ALL NEEW ROOFED PERGOLAS SHALL BE CONNECTED TO THE EXISTING STORMWATER SYSTEM

SEDIMENT CONTROL FENCE

- GENERAL NOTES:**
- 1. ALL WORK SHALL BE GENERALLY CARRIED OUT IN ACCORDANCE WITH:
 - A. LOCAL AUTHORITY REQUIREMENTS
 - B. EPA REQUIREMENTS
 - C. NSW DEPARTMENT OF HOUSING MANUAL
 - 2. MAINTAIN THE EROSION CONTROL DEVICES TO THE SATISFACTION OF THE SUPERINTENDENT AND THE LOCAL AUTHORITY.
 - 3. WHEN STORMWATER PITS ARE CONSTRUCTED, PREVENT SITE RUNOFF ENTERING UNLESS SILT FENCES ARE ERECTED AROUND PITS.
 - 4. CONTRACTOR IS TO ENSURE ALL EROSION & SEDIMENTATION CONTROL DEVICES ARE MAINTAINED IN GOOD WORKING ORDER AND OPERATE EFFECTIVELY. REPAIRS AND/OR MAINTENANCE SHALL BE UNDERTAKEN AS REQUIRED, PARTICULARLY FOLLOWING STORM EVENTS.
 - 5. CLEAN BEHIND FENCE EACH MAJOR STORM OR OTHERWISE AS DIRECTED AND REMOVE ALL SILT FROM THE SITE.
 - 6. 'BIDIM' W2W IS SUPPLIED BY GEOFABRICS AUST. P/L

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