



RAWSON HOMES

— EST 1978 —

DETAILS SHOWN ON THESE PLANS ARE INTENDED TO BE
ACCURATE - HOWEVER INFORMATION WRITTEN INTO
INDIVIDUAL CONTRACTS WILL TAKE PRECEDENCE OVER PLANS

* DO NOT SCALE - USE WRITTEN DIMENSIONS

RAWSON HOMES PTY LTD WILL TAKE NO RESPONSIBILITY FOR
ANY VERBAL DISCUSSIONS OR INSTRUCTIONS. ALL CHANGES
AND SPECIAL INCLUSIONS MUST BE DOCUMENTED IN WRITING

SHEET	DRAWING TITLE
01	COVER SHEET
02	SITE PLAN
03	GROUND FLOOR PLAN
04	FIRST FLOOR PLAN
05	ELEVATIONS 1
06	ELEVATIONS 2
07	SECTION & BASIX
08	WET AREA DETAILS
09	SLAB PLAN (NOT INCL. IN SET)
10	SEDIMENT & SITE ANALYSIS
11	STORMWATER PLAN
12	SHADOW DIAGRAM
KP	KITCHEN PLANS

AMENDED SUBMISSION
PLANS - DA
SIGNATURE.....

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1 HOMEBUSH BAY DRIVE
BUILDING F, LEVEL 2, SUITE 1
RHODES NSW 2138
TELEPHONE: 02 8765 5500
FAX : 02 8765 8099
BUILDER'S LICENCE No. 33493C



HOUSETYPE:	
MODEL:	BENHAM 24 MKII
FACADE:	TREND
TYPE:	GARAGE
SPECIFICATION:	LUX

DRAWN BY: DTT	DATE DRAWN: 10.07.19	CHECKED BY: DTT	APPROVED FOR CONSTRUCTION:
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JOB No: A008108	DRWG No.: 01	ISSUE: D
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SITE NOTE:
BEFORE STARTING WORK ON SITE
CHECKING FOLLOWING:
1. SERVICE LOCATIONS.
2. SEWER CONNECTION POSITION.
3. DRIVEWAY ALIGNMENT & LEVELS
DP INDICATES DOWNPIPE LOCATION

BAS

- WARNING -
UNREGISTERED PLAN

LEGEND

DT - DENOTES DEAD TREE PP - POWER POLE
EB - ELECTRICAL BOX SMH - SEWER MAN HOLE
EM - ELECTRICAL METER SIO - SEWER INSPECTION OPENING
G - GAS METER SV - SEWER VENT PIPE STOP VALVE
H - HYDRANT S - DENOTES TREE STUMP
R - HYDRANT RECYCLED SWP - DENOTES STORM WATER PIT
KO - DENOTES KERB OUTLET T - DENOTES TREE
LP - LIGHT POLE TP - TELESTRA PIT
LH - LAMP POLE WT - WATER TAG
MH - MAN HOLE WM - WATER METER

- BENCH MARK - GULLY PIT
1 - PHOTO POINT - VEHICULAR CROSSING

DRIVEWAY AND FRONT PATH TO COMPLY WITH AS2890

0.65M FALL ACROSS BUILDING ENVELOPE

N2 WIND CATEGORY

GENERAL SITING NOTES

- ALL PROPOSED FINISH FLOOR LEVELS AND CUT/FILL REQUIREMENTS SUBJECT TO CONFIRMATION UPON COMPLETION OF ARCHITECTURAL PLANS.
- ALL PROPOSED FINISH FLOOR LEVELS ARE SUBJECT TO CONFIRMATION WITH STEP-DOWNS NOMINATED PRIOR TO EXCAVATION BY BUILDER, EXCAVATOR AND/OR CONCRETOR.
- ALL FLOOR AREA CALCULATIONS ARE TO BE CONFIRMED UPON THE COMPLETION OF FINAL ARCHITECTURAL PLANS.
- ALL ALLOWANCES FOR STEPS/STAIRS THAT MAY BE REQUIRED ARE SUBJECT TO FINAL ARCHITECTURAL PLANS.
- ALL ALLOWANCES FOR RETAINING WALLS ARE SUBJECT TO FINAL ARCHITECTURAL PLANS.

EXISTING TREES GREATER THAN 8m IN HEIGHT
WITHIN 3m OF THE PROPOSED BUILDING OR ANY
TREES WITHIN PROPOSED DRIVEWAY TO BE REMOVED
BY OWNER PRIOR TO CONSTRUCTION



APPROX. LOCATION OF
ELECTRICAL BOARD
RELOCATED BY
DEVELOPER

PROPOSED ROAD

BENCH MARK
BM 15 NAIL IN KERB
RL 20.00 (ASSUMED)

PROPOSED VEHICULAR
CROSSOVER BY DEVELOPER AS
PER SUBDIVISION PLANS

APPROX. LOCATION
OF SEWER

THROW-ON COLOUR TO
CONCRETE DRIVEWAY AND
PATH BY RAWSON

LOT 17

VACANT

PARALLEL

PARALLEL

PARALLEL

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PARALLEL

(A): EASEMENT FOR SEWER PURPOSES 5 WIDE (VIDE 6390813)

(H): EASEMENT FOR ACCESS & MAINTENANCE 0.9 WIDE

LOCATION PLAN

WARRIEWOOD ROAD

BUBALO STREET

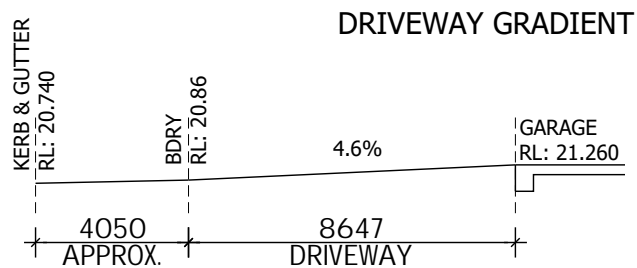
LOT 16

LOT 22
DP 270907

24m2 (4x6) PRINCIPAL
PRIVATE OPEN SPACE

APPROX. LOCATION
OF SEWER

SITE CALCULATIONS DA	
GROUND FLOOR	104.98 m ²
FIRST FLOOR	104.51 m ²
TOTAL LIVING AREA	209.49 m ²
SITE AREA	375.00 m ²
BUILDING FOOTPRINT	143.05 m ²
DRIVEWAY & PATH	31.88 m ²
TOTAL LANDSCAPE AREA	200.07 m ²
LANDSCAPE AREA (%)	53.35 %
FLOOR SPACE RATIO	0.56 :1
SITE COVERAGE	38.15 %



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TELEPHONE: 02 8765 5500
FAX : 02 8765 8099
BUILDER'S LICENCE No. 33493C



CLIENT:

Mr ROBERT ALEXANDER MCDONALD BAXTER

SITE ADDRESS:

PROPOSED LOT 16, UNREGISTERED,
PROPOSED ROAD
WARRIEWOOD NSW 2102

HOUSETYPE:

MODEL: BENHAM 24 MKII
FACADE: TREND
TYPE: GARAGE
SPECIFICATION: LUX

DRAWING TITLE:

SITE PLAN

DRAWN BY:

DTT

DATE DRAWN:

10.07.19

CHECKED BY:

DTT

APPROVED FOR
CONSTRUCTION:

COUNCIL AREA:

PITTWATER

SCALE:

1:200

JOB No:

A008108

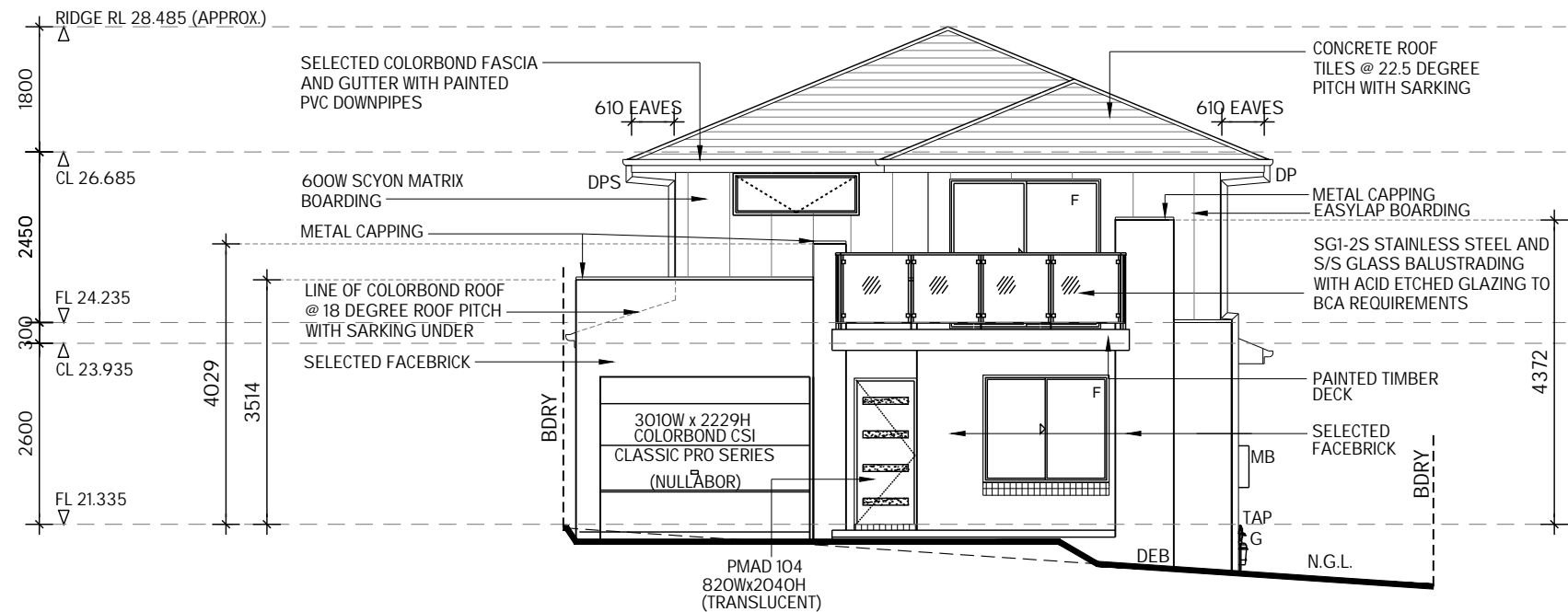
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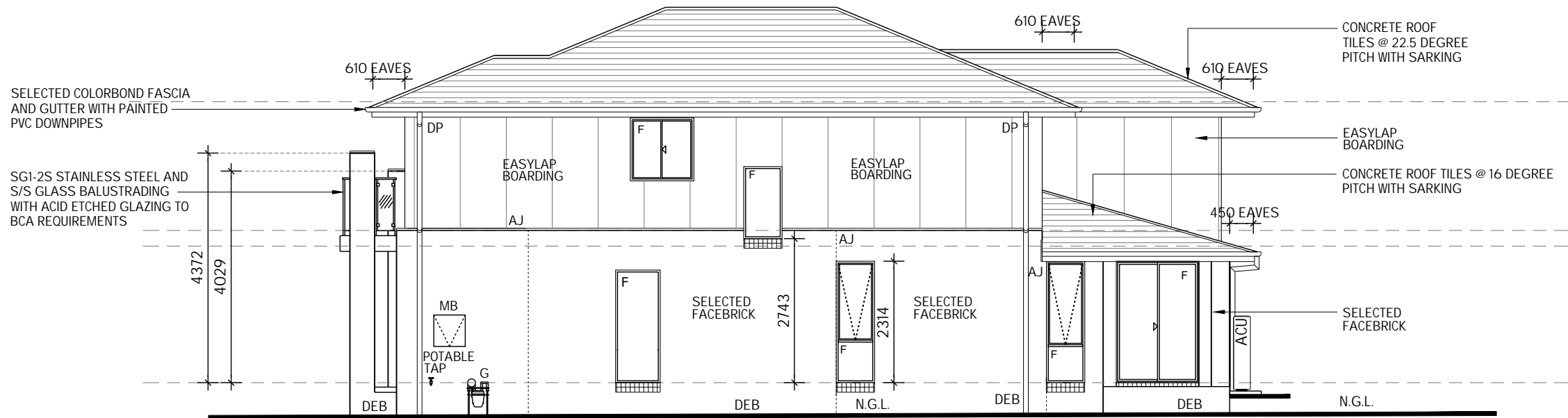
ISSUE:

D

NOTE:
NYLON MESH FLYSCREENS TO ALL OPENING
WINDOWS, SLIDING & STACKER DOORS
(EXCLUDING HINGED DOORS)



FRONT ELEVATION - 1



SIDE ELEVATION - 2

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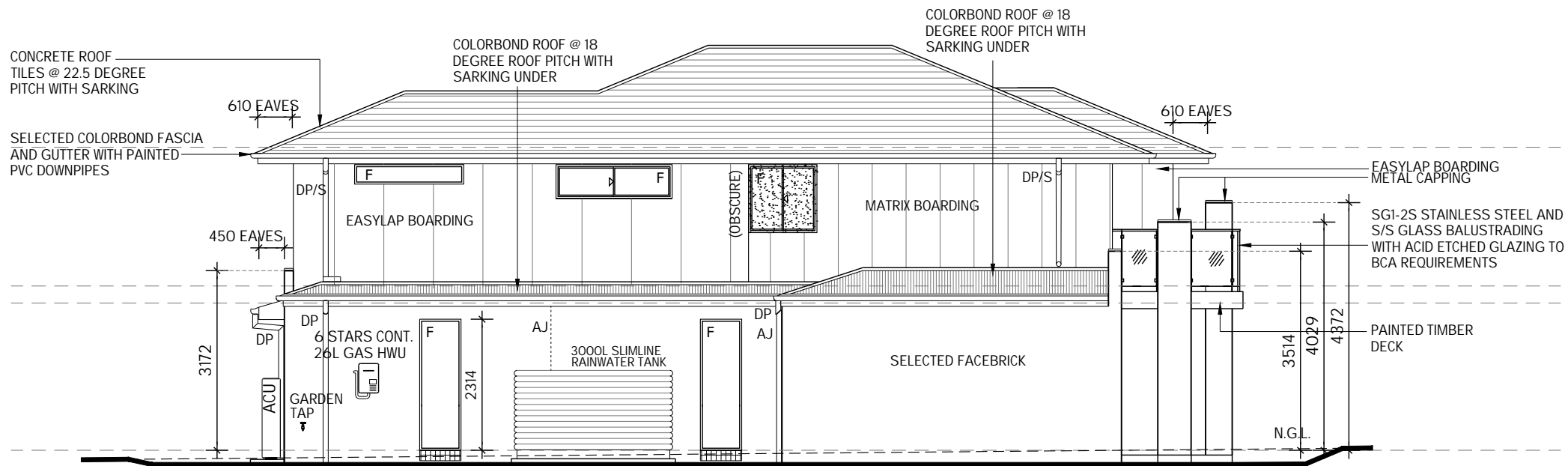
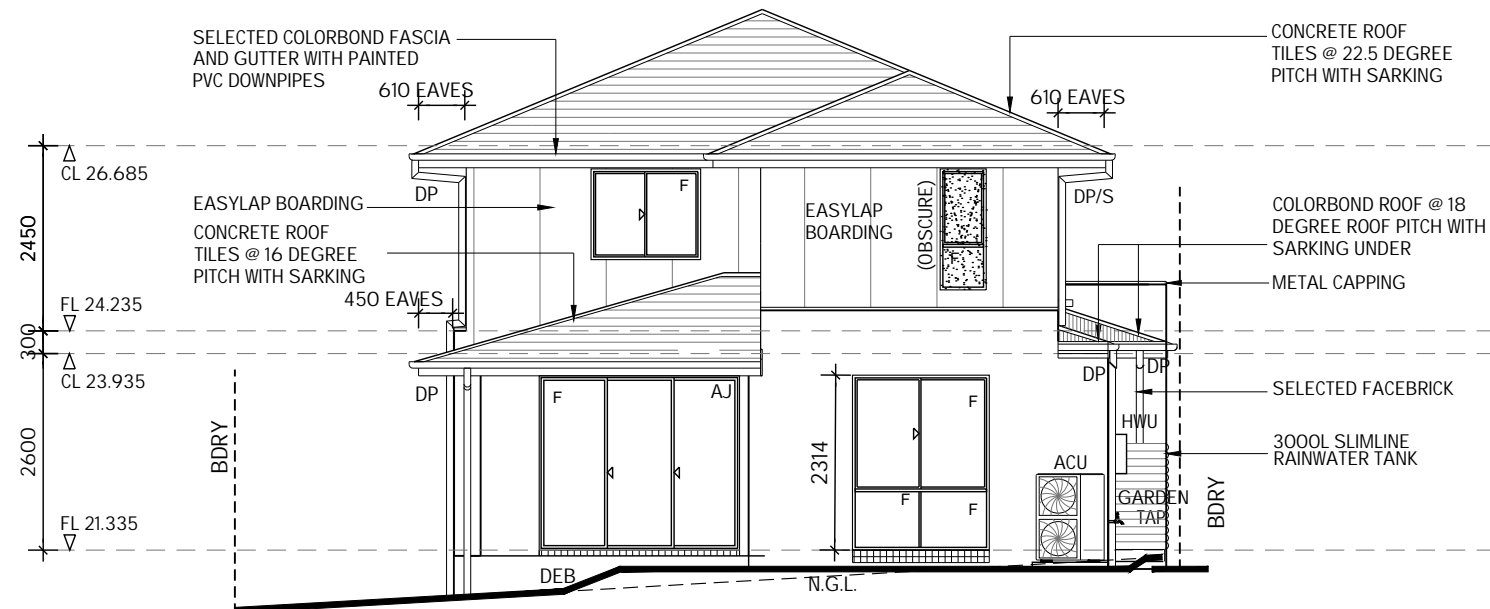
SITE ADDRESS:
PROPOSED LOT 16, UNREGISTERED,
PROPOSED ROAD
WARRIEWOOD NSW 2102

HOUSETYPE:
MODEL: BENHAM 24 MKII
FACADE: TREND
TYPE: GARAGE
SPECIFICATION: LUX

DRAWING TITLE:
ELEVATIONS 1 & 2

DRAWN BY: DTT	DATE DRAWN: 10.07.19	CHECKED BY: DTT	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PITTWATER		SCALE: 1:100	
JOB No: A008108	DRWG No.: 05	ISSUE: D	

NOTE:
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PROPOSED LOT 16, UNREGISTERED,
PROPOSED ROAD
WARRIEWOOD NSW 2102

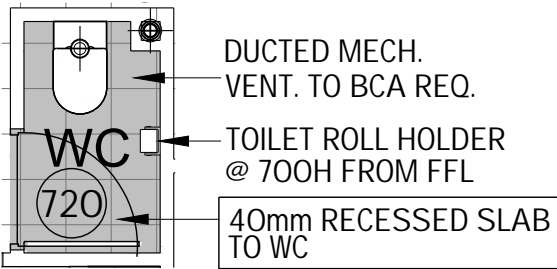
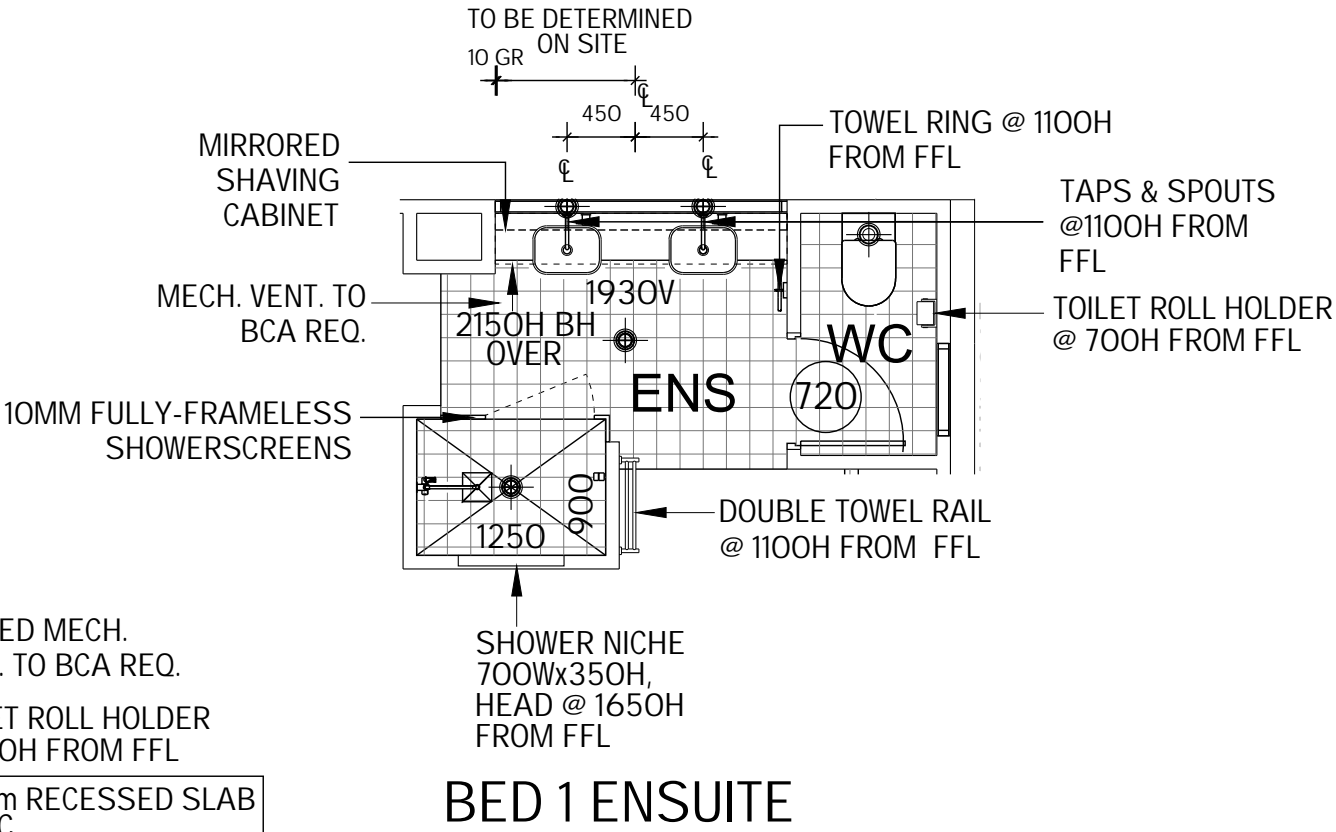
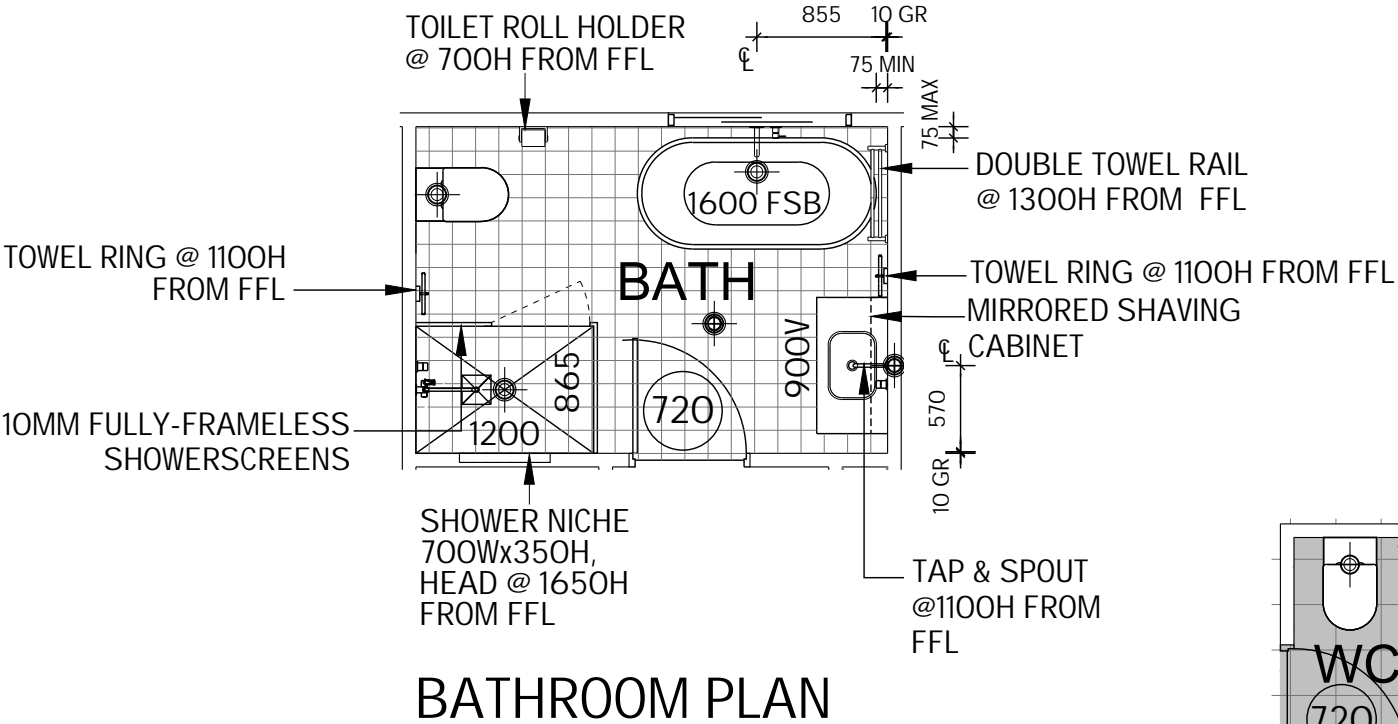
HOUSETYPE:
MODEL: BENHAM 24 MKII
FACADE: TREND
TYPE: GARAGE
SPECIFICATION: LUX

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ELEVATIONS 3 & 4

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COUNCIL AREA: PITTWATER		SCALE: 1:100	
JOB No: A008108	DRWG No.: 06	ISSUE: D	

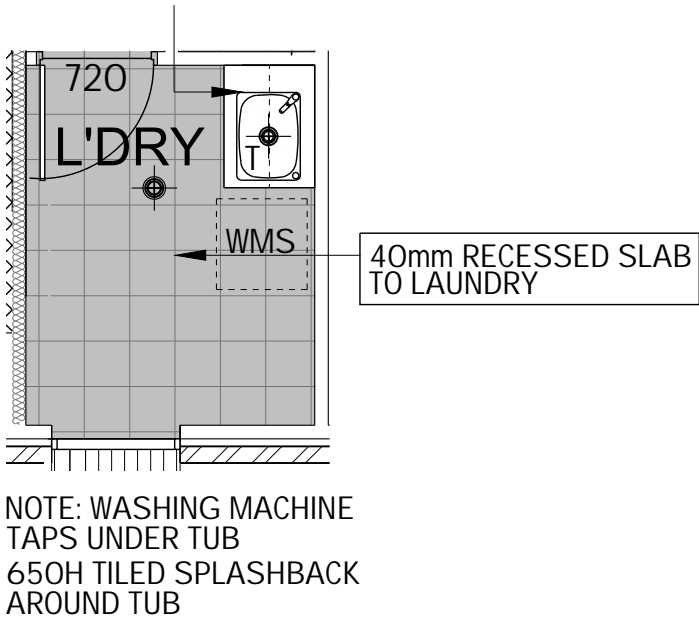
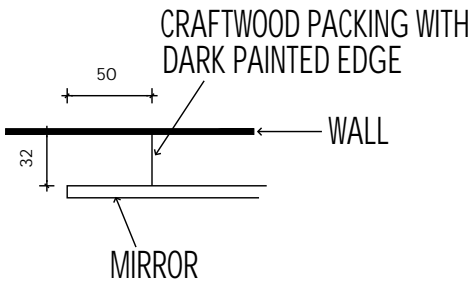
REFER TO ELBA DESIGN FOR DETAILS

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REFER TO TILE DIRECT QUOTE
SIGNED & DATED 10.04.18 FOR
DETAILS.

- NOTES:**
- PROVIDE 900mm HEAD HEIGHT TO BATHROOM & ENSUITE VANITY BENCHTOPS
 - PROVIDE FULL HEIGHT CERAMIC WALL TILING TO MAIN BATHROOM & BEDROOM 1 ENSUITE (EX. SEPARATE WC)
 - HEIGHT OF SHOWER SCREENS 2100mm
 - 1/2 SKIRTING TILE TO REMAINDER OF POWDER, LAUNDRY & WC
 - WALL MOUNTED SPOUT TO BATH & VANITY
 - SQ. EDGE POLISHED FLOATING MIRRORS MOUNTED ON 32mm BOARD, 130mm OFFSET FROM EDGE OF VANITY & HEAD HEIGHT @ 2020mm FROM FFL. SPLASHBACK BETWEEN VANITY & MIRROR
 - SMART FLOOR WASTES TO ALL WET AREAS
 - 1900 SHOWER HEAD FROM FFL TO UNDER SIDE OF SHOWER HEAD



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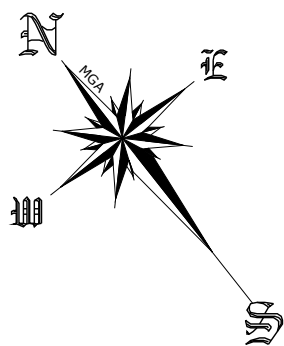
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PROPOSED ROAD
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HOUSETYPE:
MODEL: BENHAM 24 MKII
FACADE: TREND
TYPE: GARAGE
SPECIFICATION: LUX

DRAWING TITLE:
WET AREA DETAILS

DRAWN BY: DTT	DATE DRAWN: 10.07.19	CHECKED BY: DTT	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PITTWATER		SCALE: 1:50	
JOB No: A008108		DRWG No.: 08	ISSUE: D



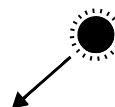
MORNING WINTER SUN



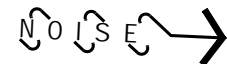
(A): EASEMENT FOR SEWER PURPOSES 5 WIDE (VIDE 6390813)

(H): EASEMENT FOR ACCESS & MAINTENANCE 0.9 WIDE

MORNING SUMMER SUN



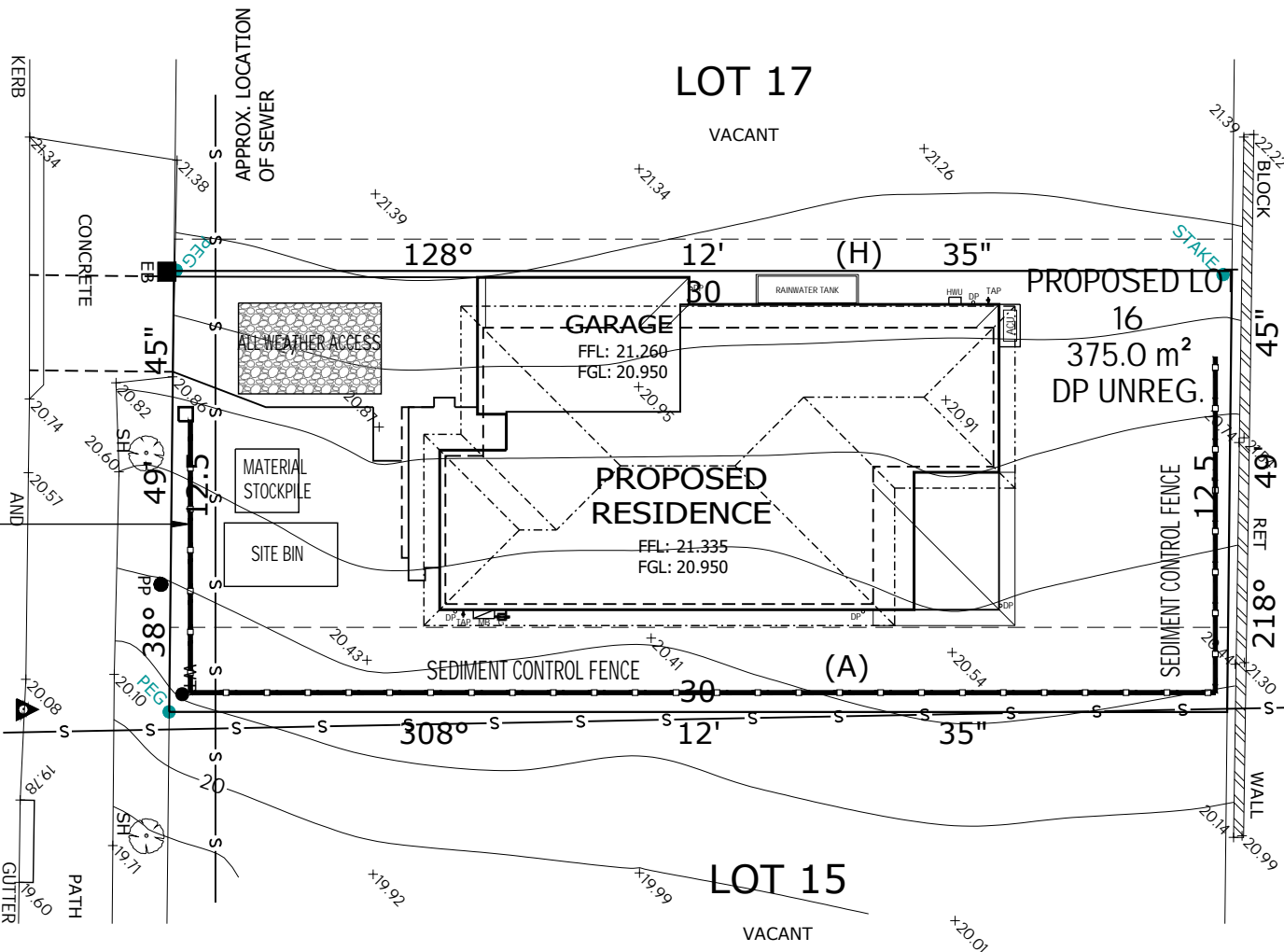
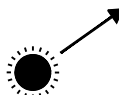
AFTERNOON WINTER SUN



PROPOSED ROAD

BENCH MARK
BM 15 NAIL IN KERB
RL 20.00 (ASSUMED)

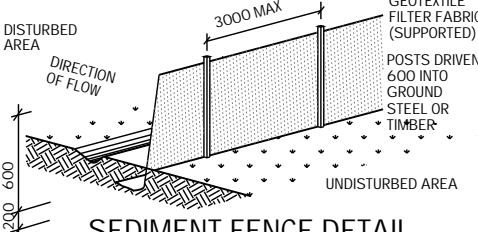
AFTERNOON SUMMER SUN



SEDIMENT CONTROL

INSTALL SEDIMENT CONTROL STRUCTURES IN LOCATIONS INDICATED ON THIS DRAWING AND AS OTHERWISE REQUIRED TO CONTROL SEDIMENT DURING ALL EXCAVATIONS AND WHILST AREAS OF THE SITE ARE EXPOSED TO EROSION. REVIEW CONTROL MEASURES AND MAINTAIN STRUCTURES DURING CONSTRUCTION.

IF ADDITIONAL MEASURES ARE REQUIRED FOR EROSION AND CONTROL OR BY COUNCIL REQUIREMENTS, REFER TO "URBAN EROSION AND SEDIMENT CONTROL" GUIDELINES PREPARED BY THE DEPARTMENT OF CONSERVATION AND LAND MANAGEMENT.



SEDIMENT FENCE DETAIL

SUITABLE FOR DRAINAGE AREA OF 0.6HA MAX AND
SLOPE GRADIENT OF 1:2 MAX WITH LENGTH OF 60M MAX



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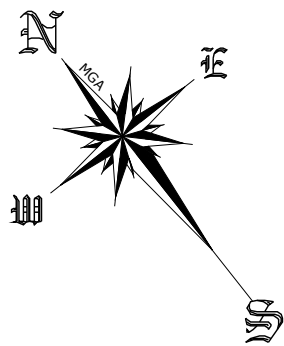
CLIENT:
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PROPOSED ROAD
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HOUSETYPE:
MODEL: BENHAM 24 MKII
FACADE: TREND
TYPE: GARAGE
SPECIFICATION: LUX

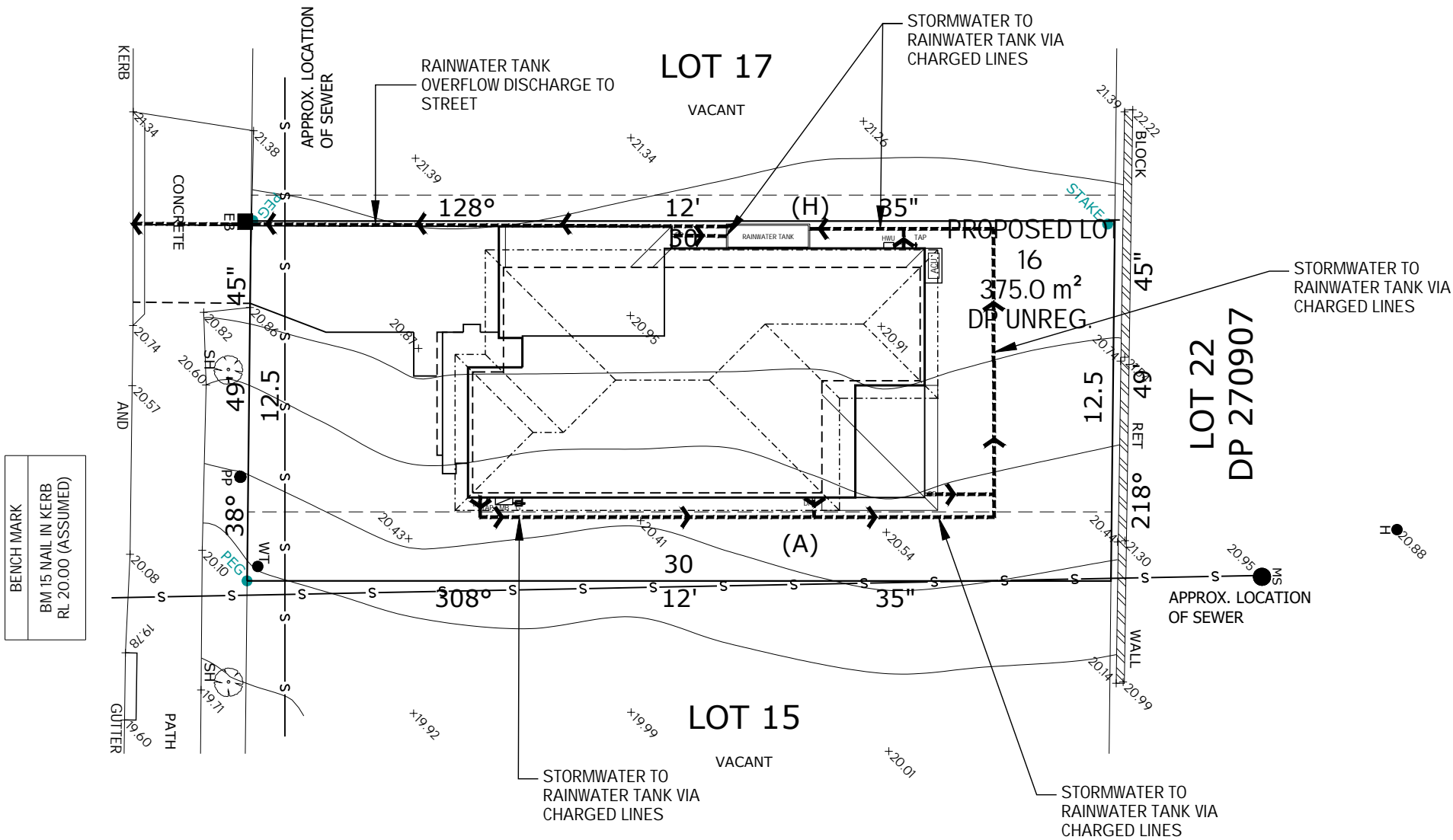
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SEDIMENT & SITE ANALYSIS

DRAWN BY:	DATE DRAWN:	CHECKED BY:	APPROVED FOR CONSTRUCTION:
DTT	10.07.19	DTT	
COUNCIL AREA:		SCALE:	
PITTWATER		1:200	
JOB No:	DRWG No.:	ISSUE:	
A008108	10	D	



(A): EASEMENT FOR SEWER PURPOSES 5 WIDE (VIDE 6390813)
(H): EASEMENT FOR ACCESS & MAINTENANCE 0.9 WIDE

PROPOSED ROAD



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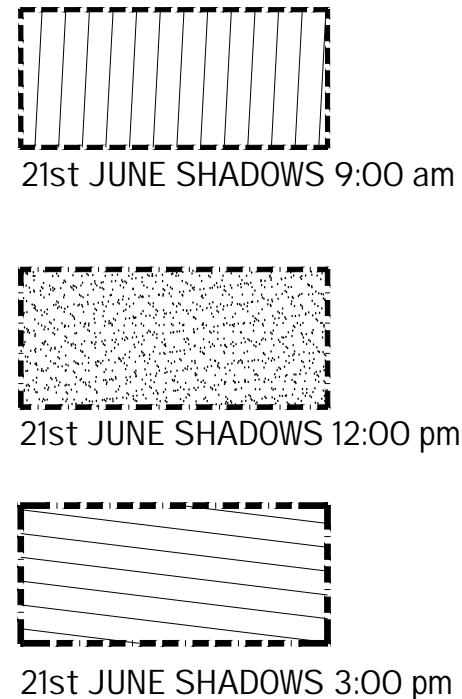
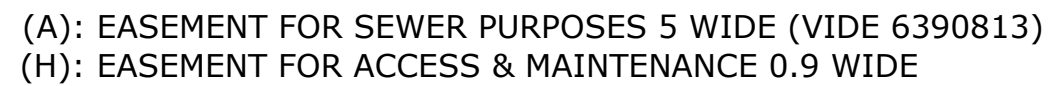
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FACADE: TREND
TYPE: GARAGE
SPECIFICATION: LUX

DRAWING TITLE:
STORMWATER PLAN

DRAWN BY: DTT	DATE DRAWN: 10.07.19	CHECKED BY: DTT	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PITTWATER		SCALE: 1:200	
JOB No: A008108	DRWG No.: 11	ISSUE: D	



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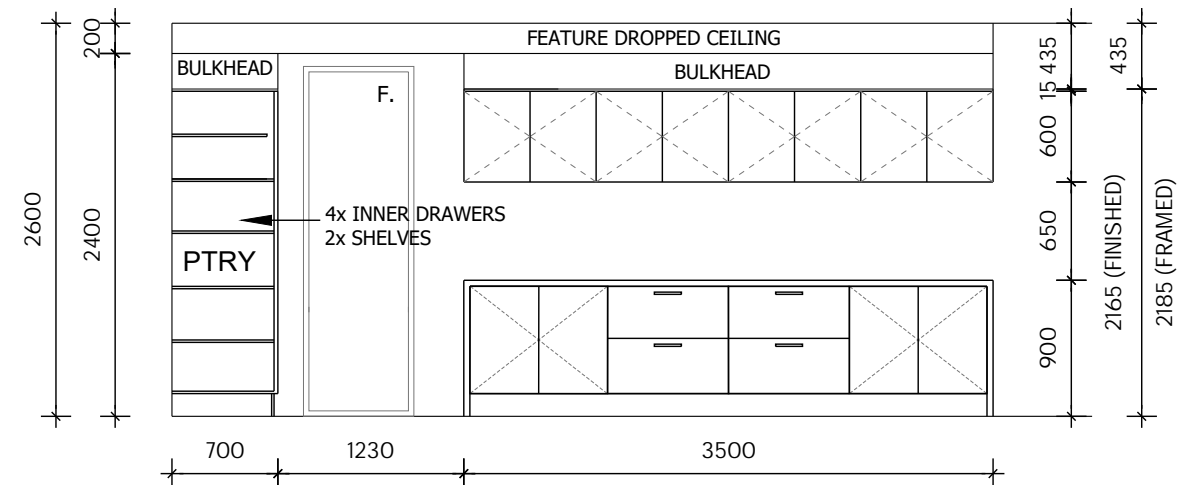
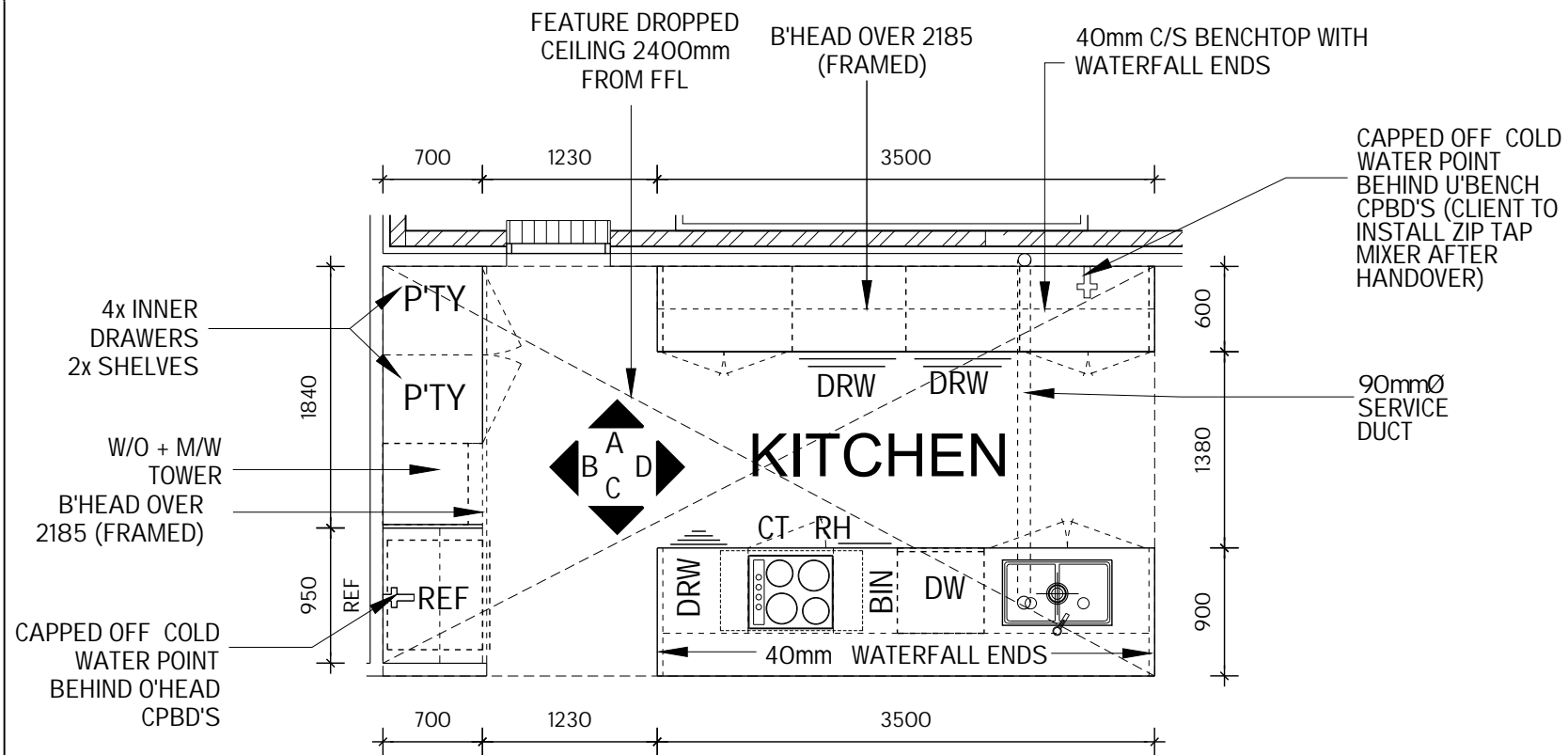
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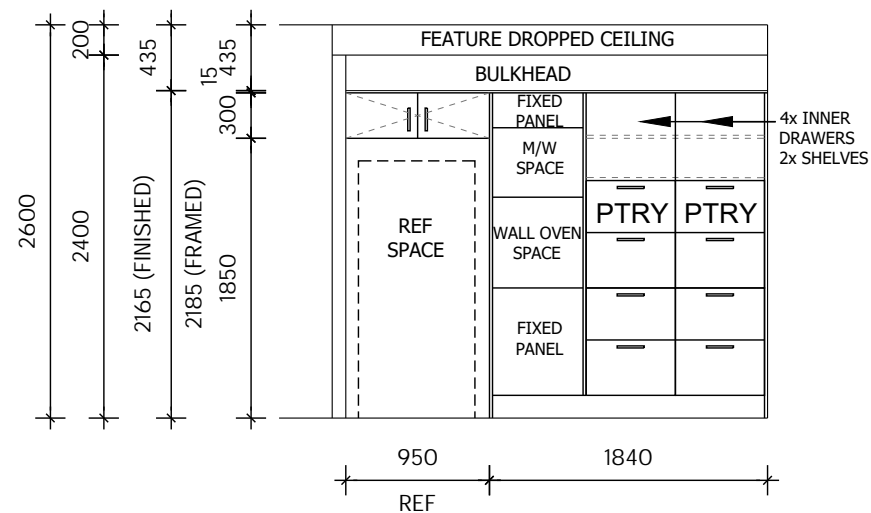
SITE ADDRESS:
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DRAWING TITLE:
SHADOW DIAGRAM

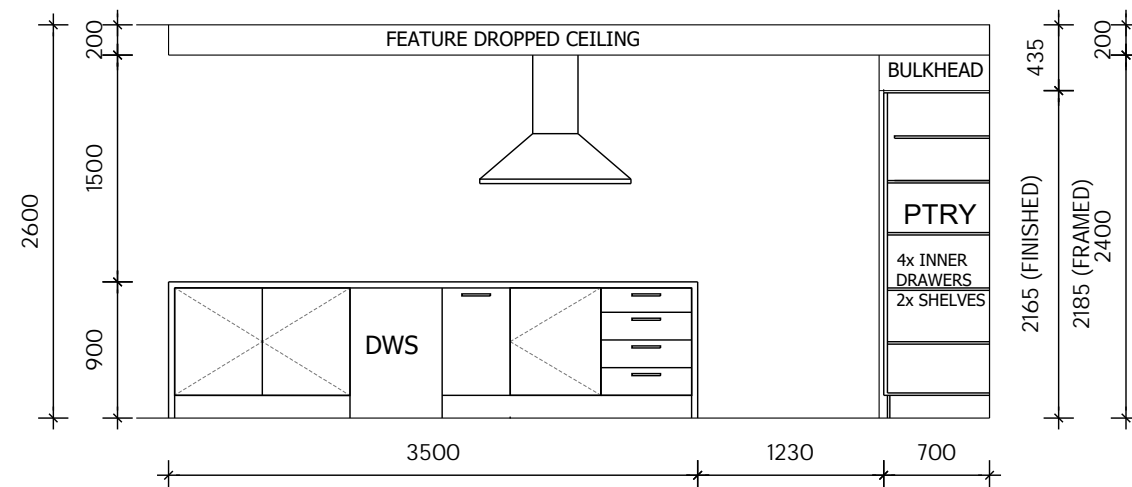
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JOB No: A008108		DRWG No.: 12	ISSUE: D



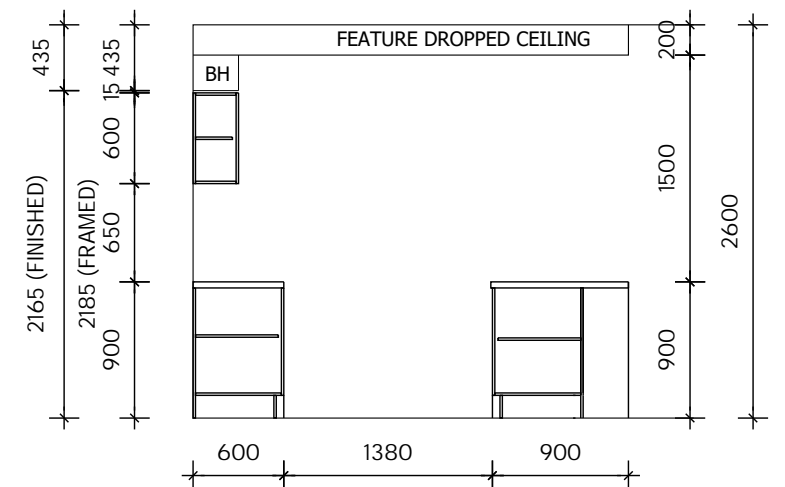
ELEVATION A



ELEVATION B



ELEVATION C



ELEVATION D

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FACADE: TREND
TYPE: GARAGE
SPECIFICATION: LUX

DRAWING TITLE:

KITCHEN PLANS

DRAWN BY:

DTT

DATE DRAWN:

10.07.19

CHECKED BY:

DTT

APPROVED FOR CONSTRUCTION:

COUNCIL AREA:

PITTWATER

SCALE:

1:50

JOB No:

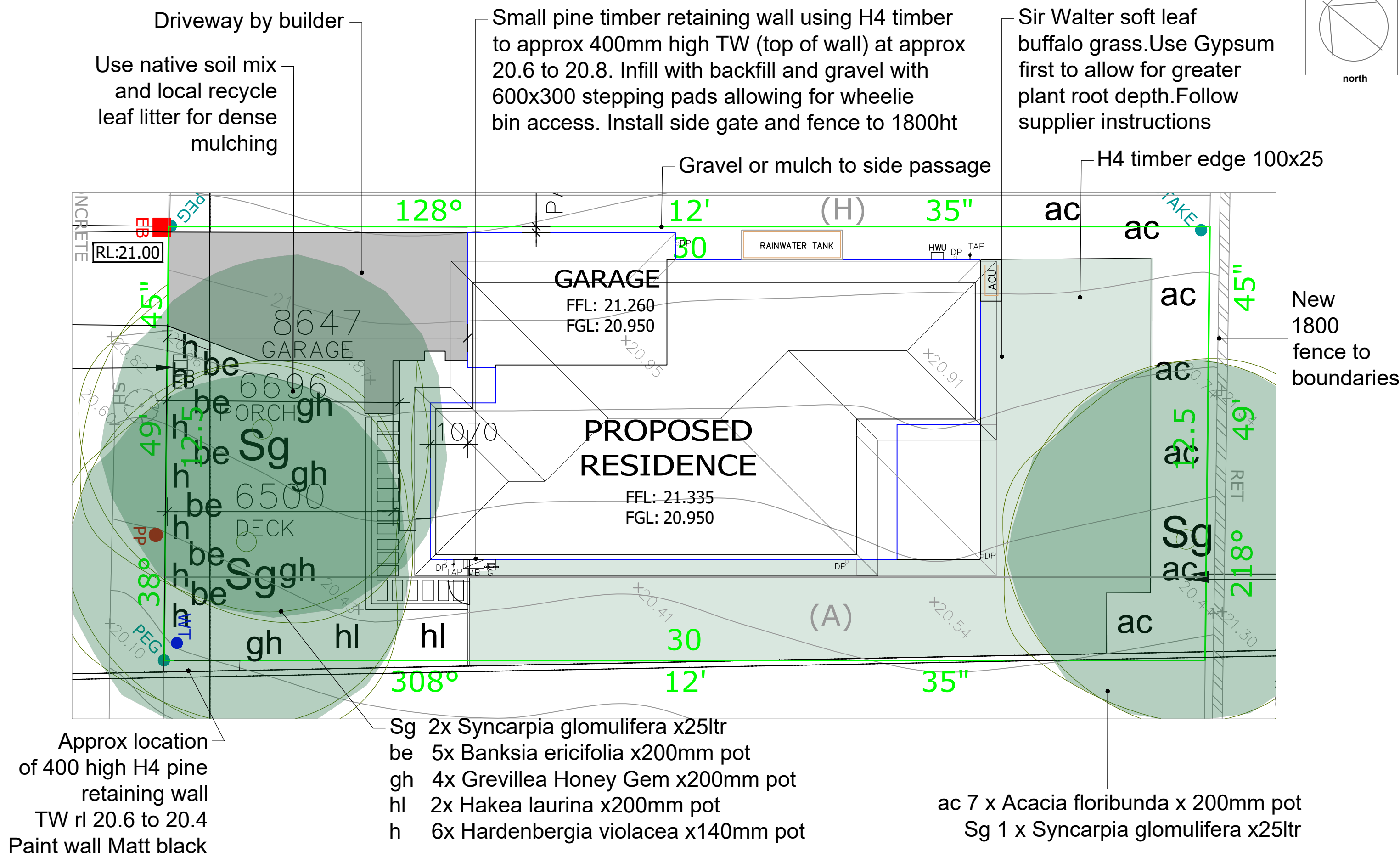
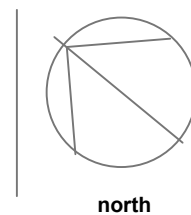
A008108

DRWG No.:

KD

ISSUE:

D



Landscape plan
lot 16 Bubalo Street
Warriewood

Issue: A Client DRAFT
Issue: B DA issue
Issue: C Rev house DA issue

Landscape DA Plan	
Drawing: AD/TT	Checked by: AD
Andrew Davies	Job: R12 16.1.19
Date: 8.10.19	Issue: C
Scale: 1to100 A3	
Approx	

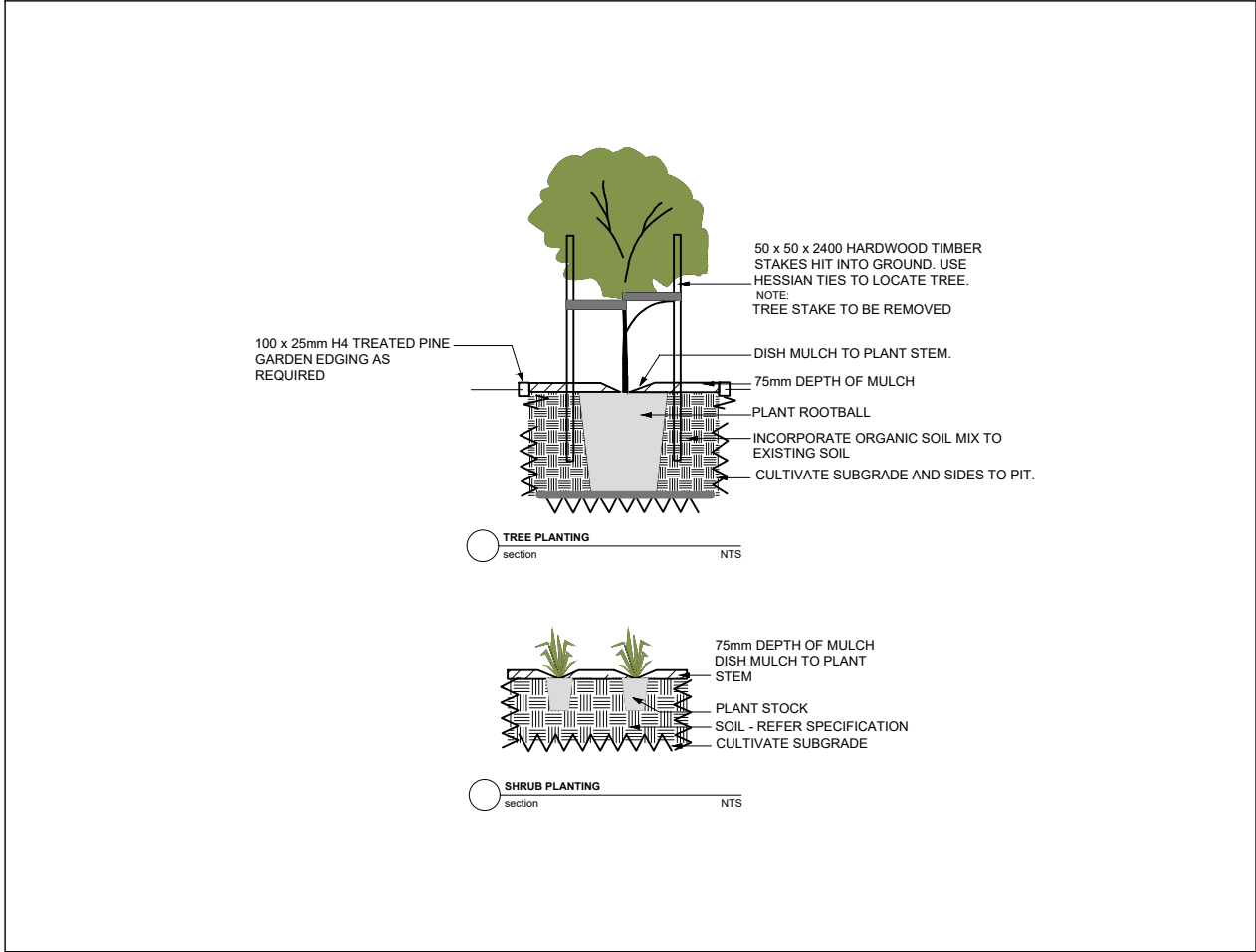


27 Turimetta Street, Mona Vale NSW 2103
andrewd@banksiadesigngroup.com.au
abn : 17 986 316 620
www.banksiadesigngroup.com.au 0414 2900 57

andrew davies.
LANDSCAPE DESIGN

Plant schedule

Acacia longifolia	Acacia	200	3.5x3.5	7
Banksia ericifolia	Banksia shrub	200	3.5 x 3.0	5
Grevillea Honey Gem	Grevillea	200	3.0 x 3.5plus	4
# Hardenbergia violacea	Hardenbergia	140	.8x.5	20
Hakea laurina	Hakea shrub	200	3.0 x4.0	2
Syncarpia glomifera	Turpentine tree	25ltr	5 plus x20 plus	3



Planting detail

— Landscape plans prepared as per Pittwater DCP 21 section C1.1 Landscaping

LANDSCAPE GENERAL SPECIFICATION AND NOTES

All landscape works and material supply, to be in accordance with AS 4000, LCA guidelines and Occupational Health & Safety standards.

All landscape works to comply with relevant Australian Standards and relevant Building Codes of Australia

All dimensions and locations to be checked on site and confirmed by landscape site supervisor before commencement of works

Do not scale from drawings. Dimensions take preference

Plant schedule and quantities to be used as guide only and to be confirmed by contractor before final purchase of plants

Final plant positions to be determined on site (by Landscape Supervisor).

DESIGN LIABILITY NOTE: No liability is accepted by these plans. Contractors are required to check ALL construction facts, figures and relevant information pertaining to the soft and hard scape works to be performed. Should anomalies occur, the designer or a representative of Liberty Landscapes Pty Ltd must be contacted and given due notice and sufficient documentation and, if required, due compensation to allow for adjustment/s to plans, documentation etc

REMOVAL OF NOXIOUS WEEDS: As a duty of care exists for all contractors: if a noxious weed exists onsite it should be removed after discussion with the owner or site supervisor.

ENVIRONMENTAL MANAGEMENT AND SEDIMENT CONTROL: All Landscape works to adhere with Environmental Legislation outlined in the *Protection of the environment operations act 1997*, by the EPA NSW.

It is highly recommended to use Dial Before You Dig services – contact for information at www.dialbeforeyoudig.com.au or call 1100.

TREES: All trees to be staked: use 2 x hardwood 50x50mm stakes and hessian webbing. See detail

TURF: 1. Install turf rolls diagonal to the fall of the land. Roll turf following installation, and water as required. Use soft leaf Buffalo sp

2. 50 - 70mm topsoil underlay to be used in ground preparation .Note check ph after construction and before laying turf, adjust as required for optimum plant growth

SOIL:

1. Contractor is to check soil pH levels, two weeks prior to planting, and allow for reasonable adjustments, using lime or similar to ensure plant viability

2. Break up existing ground surface using mattock, rotary hoe or tractor tine as required

3. Topsoil sandy loam 50mm depth to turf areas.

4. Where necessary mound soil to assist in soil drainage to avoid root rot and poor plant growth

5. Incorporate ¼ tonne organic soil mix into holes where trees are planted, using recycled leaf litter as mulch

6. Soil Quality to be Australian Native Landscape Standard

7. Supply and Install 'Garden Mix' to all garden beds incorporated into the top 300mm of existing site profile. Note use rotary hoe as required do not just place on top of ground

MULCH: Mulch to be installed to all planter beds to a depth of 75mm. Mulch type to be Recycled Leaf Litter ideally from local tree company based on more native plants than general exotics.

EDGING: See plan for locations. Top edge higher than lawn to allow garden beds to be aerated & mounded

DRAINAGE: fall paving to lawn area

Install Everhard drainage pit to front of house.Liaise with Rawson Homes re connection to stormwater pipes

LIGHTING: to future plans TBA

MAINTENANCE: New plants to receive regular deep irrigation for a minimum 12 weeks establishment period. Seasonal pruning, fertilising and pest and disease checks to be carried out. Advice by qualified horticulturalist recommended

IRRIGATION: Drip irrigation TBA

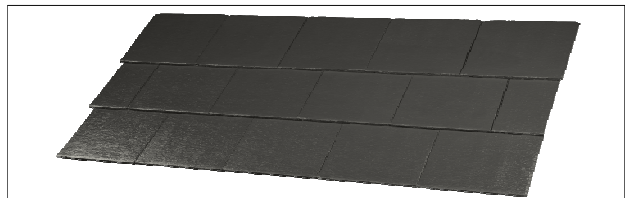


External Colour Selections

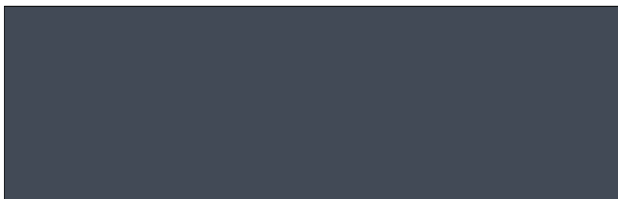
A/008108
Lot 16, Proposed Road, Warriewood NSW 2102
Robert Baxter



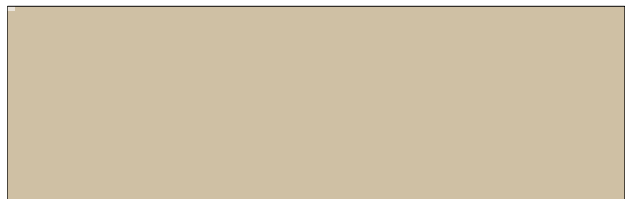
Main Brick: PGH smooth - Volcanic



Roof: Horizon profile - Camelot



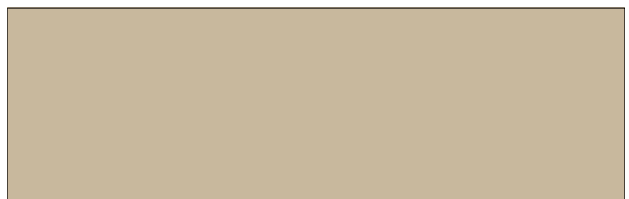
Secondary Roof: Colorbond Ironstone



Garage Door: Nullabor Woodgrain Paperbark



Window Frames: Stone Beige



Fascia, rainwater tank: Colorbond Paperbark



Driveway: Avista Gunmetal



Barge, Gutter, downpipes: Colourbond Ironstone



Matrix/Easylap Cladding: Taubmans Surfmist



Eaves: Taubmans Crisp White