

BASIX COMMITMENTS

READ DRAWINGS IN CONJUNCTION WITH THE ATTACHED BASIX CERTIFICATE #A329994 SUBMITTED WITH THE DEVELOPMENT APPLICATION.

- THE OUTDOOR SWIMMING POOL MUST NOT HAVE A CAPACITY GREATER THAN 36 KILOLITRES. INSTALL A POOL PUMP & HEATING SYSTEM FOR THE SWIMMING POOL TO BE SOLAR ONLY.

- THE APPLICANT MUST INSTALL A RAINWATER TANK OF AT LEAST 1575 LITRES ON THE SITE. THE RAINWATER TANK TO COLLECT RAINWATER RUNOFF FROM AT LEAST 90 SQUARE METRES OF ROOF AREA. CONNECT THE RAINWATER TANK TO A TAP LOCATED WITHIN 10 METRES OF THE EDGE OF THE POOL.

- PROVIDE A HEATING/COOLING SYSTEM TO ACHIEVE THE REQUIRED STAR ENERGY RATING.

- A NEW 'GAS INSTANTANEOUS' HOT WATER SYSTEM TO BE INSTALLED [POSITION T.B.C]

- A MINIMUM OF 40% OF NEW OR ALTERED LIGHT FIXTURES ARE TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS.

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- ADDITIONAL NEW FLOOR, WALL & ROOF CEILING INSULATION TO HAVE THE MINIMUM R-VALUES AS SPECIFIED IN THE CERTIFICATE

- ALL NEW WINDOWS & SKYLIGHTS TO HAVE U-VALUE AND A SOLAR HEAT GAIN COEFFICIENT NO GREATER THAN THAT LISTED IN THE BASIX TABLE REQUIREMENTS.

- THE NEW ROOF COLOUR TO BE OF MEDIUM SOLAR ABSORPTANCE.

LEGEND

- EXISTING HOUSE WALLS: HOUE WALLS AS IS AND PER SURVEY
- PROPOSED NEW BLD WALLS EXTERNAL WALLS BRICK AND/OR WEATHERBOARD WALLS INTERNAL FRAMED LIGHT WEIGHT PLASTERBOARD WALLS
- PROPOSED ADDITION: HOUSE EXTENSION EXTRA GFA
- DEMOLITION, EXISITING SEMI WALLS & FIXTURES TO BE DEMOLISHED
- ADJOINING NEIGHBOURING PROPERTIES AS PER SITE SURVEY PLAN
- CONCRETE REINFORCED CONCRETE TO ENGINEER DETAILS
- TIMBER FLOOR: SELECTED HARDWOOD FLOOR
- WET AREA TILING SELECTED FLOOR TILES TO FALLS & SET-OUT TO DETAIL
- ROOFING COLOURBOND METAL ROOFING TO FALLS

SYMBOLS

- WINDOW LABEL
- EXISTING WINDOW
- DOOR LABEL
- PLAN/ SECTION REFERENCE
- PLAN/ ELEVATION REFERENCE
- RL (LEVELS)
- FLOOR LEVELS
- DC/PLEP WALL HEIGHT LINE

DRAWING LIST

ARCHITECTURAL DRAWING SET - DA

DRAWING NO.	ISSUE NO.	ISSUE	DRAWING NAME	SCALE (PAGE SIZE)	DATE ISSUED
DA.01	DA	D	Cover Sheet + Site Plan	1/200	30/08/2019
DA.02	DA	D	Roof Plan	1/100	30/08/2019
DA.03	DA	D	Existing Lower Ground Floor Plan	1/100	30/08/2019
DA.04	DA	D	Existing Ground Floor Plan	1/100	30/08/2019
DA.05	DA	D	Demolition Lower Ground Floor Plan	1/100	30/08/2019
DA.06	DA	D	Demolition Ground Floor Plan	1/100	30/08/2019
DA.07	DA	D	Lower Ground Floor Plan	1/100	30/08/2019
DA.08	DA	D	Ground Floor Plan	1/100	30/08/2019
DA.09	DA	D	First Floor Plan	1/100	30/08/2019
DA.10	DA	D	Elevations North/South	1/100	30/08/2019
DA.11	DA	D	Elevations East/West	1/100	30/08/2019
DA.12	DA	D	Sections	1/100	30/08/2019
DA.13	DA	D	Perspectives	-	30/08/2019
DA.14	DA	D	Glazing Schedule	-	30/08/2019

PROJECT TEAM

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NORTHERN BEACHES COUNCIL
MANLY CIVIC CENTRE
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MANLY NSW 2095

GENERAL

+ DA NOTICE OF DETERMINATION & DEVELOPMENT CONSENT: THE DEVELOPMENT TO BE SUBSTANTIALLY IN ACCORDANCE WITH THE APPROVED CONSENT PLANS AND SUPPORTING INFORMATION SUBMITTED WITH THE DA or CDC.
THIS SET OF DRAWINGS HAVE TO BE READ IN CONJUNCTION WITH THE ISSUED CONSENT AND 'STAMPED APPROVED' PLANS. PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION WORK ON SITE THE NECESSARY CDC or CC APPROVALS & NOTICE OF COMMENCEMENT PAPERS MUST BE SUBMITTED/OBTAINED FROM THE CERTIFYING AUTHORITY IN ACCORDANCE WITH THE ACT.

+ DRAWING INFORMATION: THE BUILDING IS PRINCIPALLY THAT WHICH IS DEPICTED IN THE ARCHITECTURAL PLANS, DETAILS & SPECIFICATIONS PREPARED BY DU PLESSIS + DU PLESSIS ARCHITECTS TOGETHER WITH SUPPORTING CONSULTANT DOCUMENTATION.

+ SITE SURVEY INFORMATION: THE SITE INFORMATION HEREIN HAS BEEN TRANSPOSED FROM THE TRUE NORTH SURVEY PLAN #8732DU. REFER TO THIS SURVEY DRAWING TO CONFIRM BOUNDARIES, EXISTING FEATURES, LEVELS & DATUM.
ALL LEVELS AND BOUNDARY SETBACKS TO BE CONFIRMED ON SITE. NOTE SEMI COMMON BDY WALL TO BE DETERMINED ACCURATELY.

+ COORDINATION: REFER TO AND COORDINATE INFORMATION CONTAINED IN THE ARCHITECTURAL DRAWINGS AND THE DOCUMENTATION OF OTHER CONSULTANTS. REPORT DISCREPANCIES BETWEEN THE DOCUMENTS AND/OR WITH CONDITIONS ON SITE TO THE ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS

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+ EXECUTION OF THE WORKS: EXECUTE THE WORKS IN COMPLIANCE WITH THE CURRENT EDITION OF THE NCC NATIONAL CONSTRUCTION CODE, CURRENT EDITIONS OF RELEVANT AUSTRALIAN AND OTHER PUBLISHED STANDARDS (AS AMENDED) AND THE REQUIREMENTS OF OTHER AUTHORITIES RELEVANT TO THE EXECUTION OF THE WORKS.

1 Site Plan
1 : 200

ABBREVIATIONS

- AC AIR CONDITIONED
- AHD AUSTRALIAN HEIGHT DATUM
- ADH ADHESIVE
- AG AGGREGATE
- AL ALUMINIUM
- AW AWNING
- B BALUSTRADE
- BK BRICK WALL
- BIT BITUMEN
- BHD BULKHEAD
- BOW BOTTOM OF WALL
- BM BENCHMARK
- BW BLOCKWORK WALL
- C CONCRETE
- CANT CANTILEVER
- CJ CONSTRUCTION JOINT
- CL CENTRE LINE
- CW CONCRETE WALL
- CLIN COLUMN
- CPT CARPET
- DIM DIMENSION
- DP DOWNPIPE
- DR DRAIN
- EJ EXPANSION JOINT
- ENG ENGINEER
- EWS EXTERNAL WALL SYSTEM
- EX EXISTING
- EXH EXHAUST
- F FALL TO SCREED
- FG FIXED GLAZING
- FIG FIGURE
- FFL FINISHED FLOOR LEVEL
- FE FIRE EXTINGUISHER
- FR FIRE RESISTANT
- FW FLOOR WASTE
- G GLASS
- GALV GALVANIZED
- GP GAS POINT
- H HYDRANT
- HWS HOT WATER SYSTEM
- HYD HYDRAULIC
- LS LANDSCAPING
- LV LOUVRE
- MECH MECHANICAL
- MDF MEDIUM DENSITY FIBRO BOARD
- MOD MODIFICATION
- MR METAL ROOFING
- MS MILD STEEL
- MV MECHANICAL VENTILATION
- NGL NATURAL GROUND LEVEL
- NTS NOT TO SCALE
- OFC OFF FORM CONCRETE
- OC OBSCURE GLAZING
- OH OVER HEAD
- P SELECTED PAVING
- PB PLASTERBOARD
- PFC PARALLEL FLANGE CHANNEL
- PL PLANTER
- PP POWER POLE
- PS PRIVACY SCREEN
- PW PLASTERBOARD WALL
- QTY QUANTITY
- REF REFERENCE
- RW RENDERED & PAINTED WALL
- RWH RAIN WATER HEAD
- RWP RAIN WATER PIPE
- RL REDUCED LEVEL
- RC REINFORCED CONCRETE
- SB MAIN ELECTRICAL SWITCH BOARD
- SC STEEL COLUMN
- SHR SHOWER
- SLD SLIDING DOOR
- SPEC SPECIFICATION
- SS STAINLESS STEEL
- SSL STRUCTURAL SLAB LEVEL
- SW STONE WALL
- STD STANDARD
- SWP STORM WATER PIT
- T TILE
- TD TIMBER DECKING
- TOW TOP OF WALL
- TYP TYPICAL
- UB UNIVERSAL BEAM
- US UNDERSIDE
- V VENTILATION
- W WINDOW
- WC WATER CLOSET
- WM WATER MAIN
- WT WASH TROUGH
- WPM WATER PROOFING MEMBRANE

Residential Alterations & Additions CLASS 1a Building
7 CLIFFORD AVENUE, FAIRLIGHT
LOT B; SEC 1 - D.P. 315261
EXISTING SITE AREA 522.5m²

NOTES

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EXISTING HOUSE WALL MEASUREMENTS INTERNAL BY V. MARK SURVEYS AND ACCURACY T.B.C ON SITE.

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DU PLESSIS ARCHITECTS

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NSW REGISTERED ARCHITECT #7435
NOMINATED ARCHITECT: EUGENE DU PLESSIS

PROJECT TITLE:
OPADCHY
House Alterations & Additions

CLIENT NAME:
GEORGE + TATIANA OPADCHY

ADDRESS:
7 Clifford Avenue
Fairlight NSW 2094

DRAWING TITLE:
Cover Sheet + Site Plan

DRAWN:
AH

CHECKED:
EDUP

SCALE:
1:200@A1

DRAWING NO:

DA.01

ISSUE:
D

DATE:
30/08/2019

DEVELOPMENT APPLICATION

BASIX COMMITMENTS

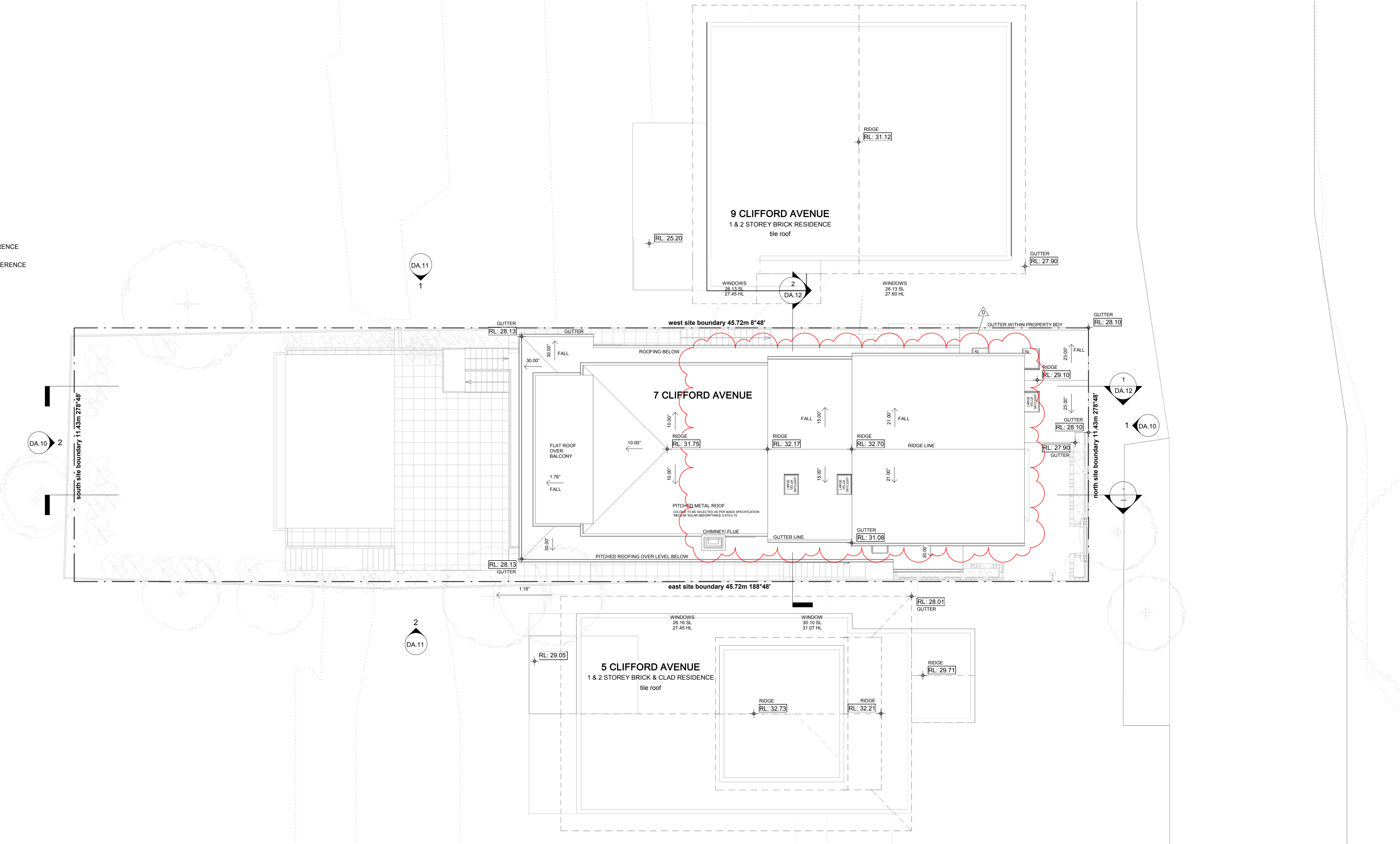
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COLOURBOND METAL ROOFING TO FALLS

SYMBOLS

- WINDOW LABEL**
N° Type
- EXISTING WINDOW**
EX Type
- DOOR LABEL**
N° Type
- PLAN/ SECTION REFERENCE**
N° Sheet
- PLAN/ ELEVATION REFERENCE**
Sheet N°
- RL (LEVELS)**
+
- FLOOR LEVELS**
▽
- DC/PILE WALL HEIGHT LINE**



1 Roof Plan
1 : 100

NOTES

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DEVELOPMENT APPLICATION

BASIX COMMITMENTS

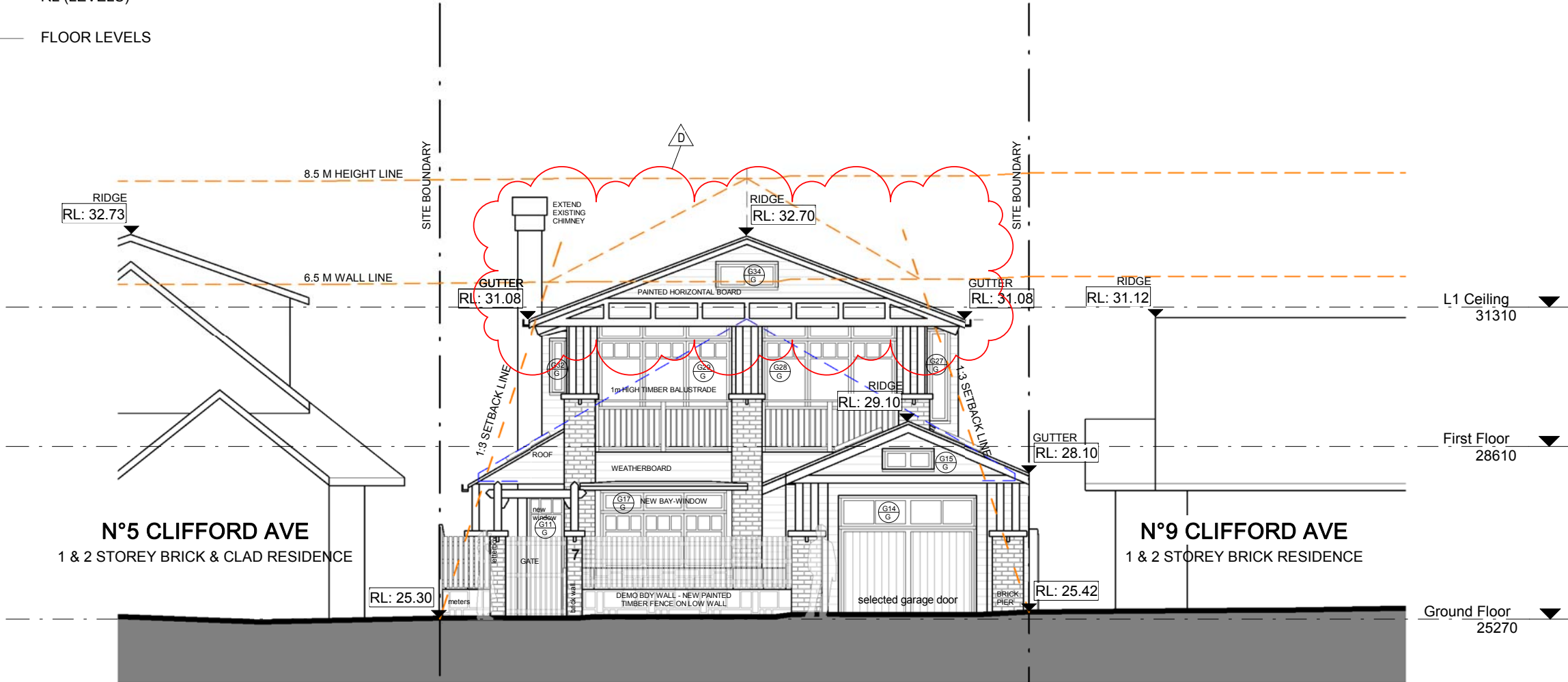
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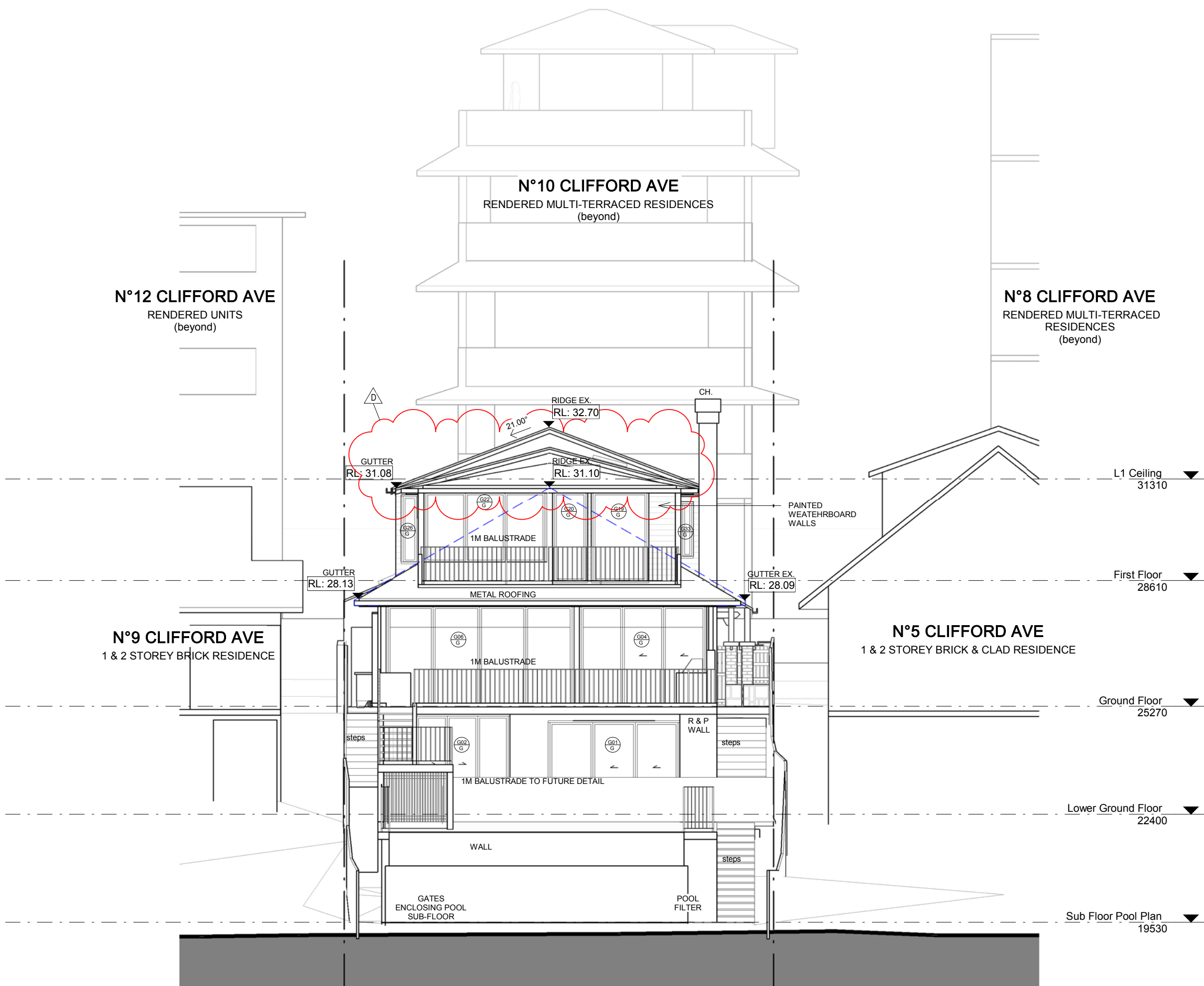
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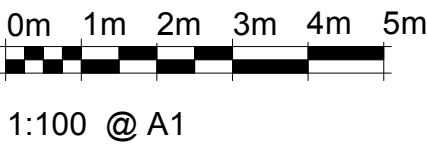
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1 North Elevation
1 : 100



2 South Elevation
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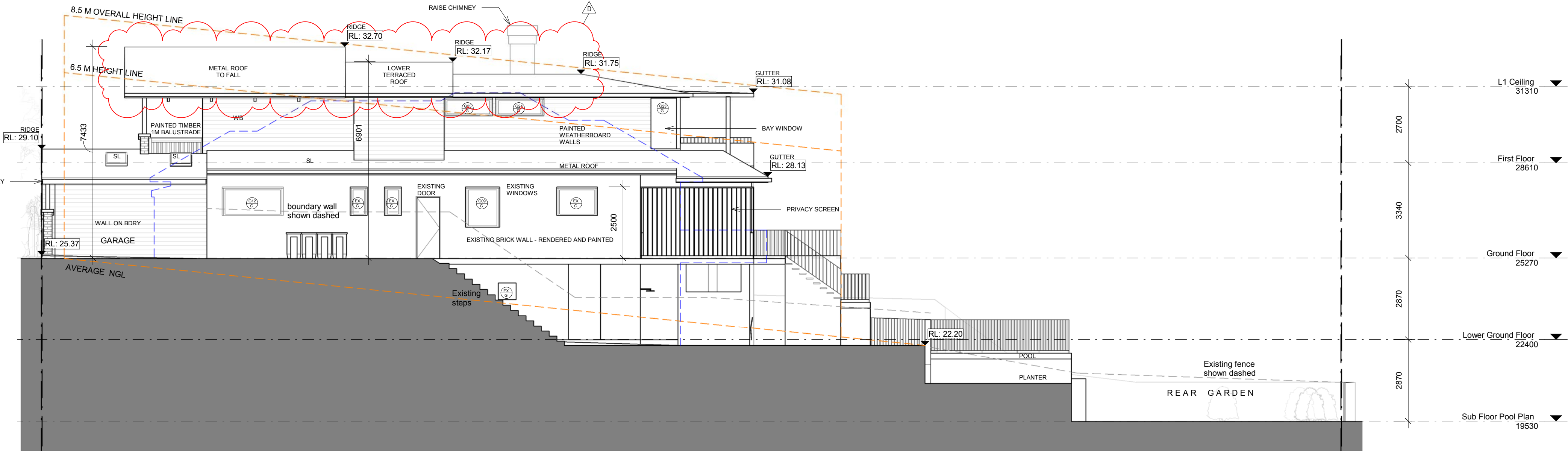
- READ DRAWINGS IN CONJUNCTION WITH THE ATTACHED BASIX CERTIFICATE #A329994 SUBMITTED WITH THE DEVELOPMENT APPLICATION:
- THE OUTDOOR SWIMMING POOL MUST NOT HAVE A CAPACITY GREATER THAN 36 KILOLITRES. INSTALL A POOL PUMP & HEATING SYSTEM FOR THE SWIMMING POOL TO BE SOLAR ONLY.
 - THE APPLICANT MUST INSTALL A RAINWATER TANK OF AT LEAST 1575 LITRES ON THE SITE. THE RAINWATER TANK TO COLLECT RAINWATER RUNOFF FROM AT LEAST 90 SQUARE METRES OF ROOF AREA. CONNECT THE RAINWATER TANK TO A TAP LOCATED WITHIN 10 METRES OF THE EDGE OF THE POOL.
 - PROVIDE A HEATING/COOLING SYSTEM TO ACHIEVE THE REQUIRED STAR ENERGY RATING.
 - A NEW 'GAS INSTANTANEOUS 'HOT WATER SYSTEM TO BE INSTALLED (POSITION T.B.C)
 - A MINIMUM OF 40% OF NEW OR ALTERED LIGHT FIXTURES ARE TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS.
 - ALL NEW or ALTERED SHOWERHEAD, TOILET & TAP FIXTURES TO ACHIEVE THE REQUIRED STAR WATER RATING.
 - ADDITIONAL NEW FLOOR, WALL & ROOF CEILING INSULATION TO HAVE THE MINIMUM R-VALUES AS SPECIFIED IN THE CERTIFICATE
 - ALL NEW WINDOWS & SKYLIGHTS TO HAVE U-VALUE AND A SOLAR HEAT GAIN COEFFICIENT NO GREATER THAN THAT LISTED IN THE BASIX TABLE REQUIREMENTS.
 - THE NEW ROOF COLOUR TO BE OF MEDIUM SOLAR ABSORPTANCE.

LEGEND

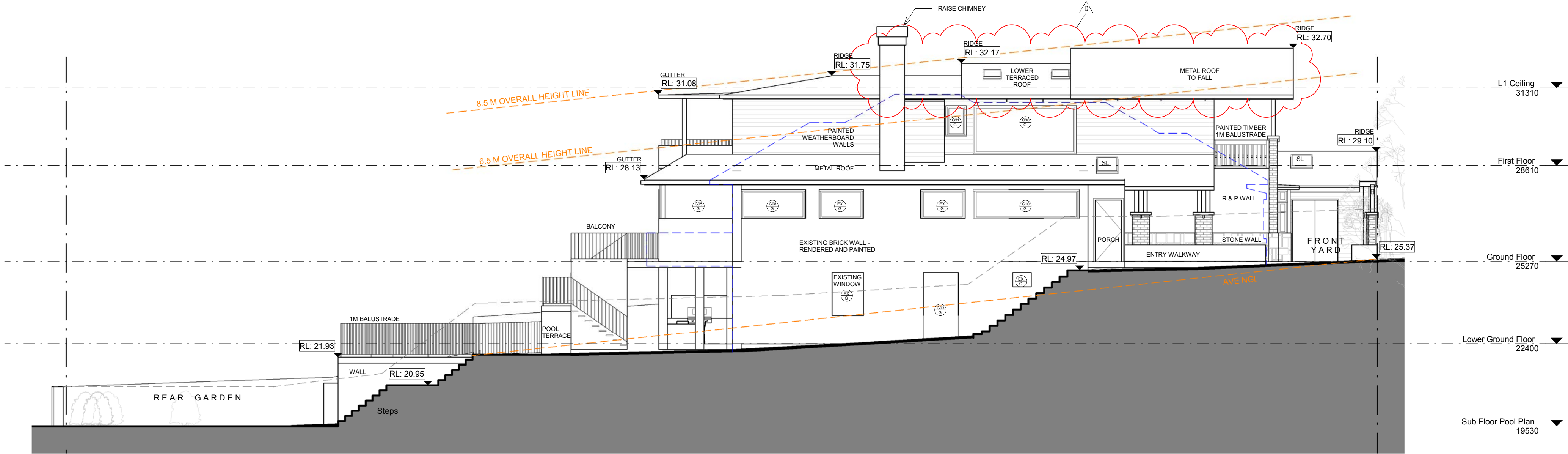
- EXISTING HOUSE WALLS:**
HOUSE WALLS AS IS AND PER SURVEY
- PROPOSED NEW BLD WALLS**
EXTERNAL WALLS BRICK AND/OR WEATHERBOARD WALLS
INTERNAL FRAMED LIGHT WEIGHT PLASTERBOARD WALLS
- PROPOSED ADDITION:**
HOUSE EXTENSION EXTRA GFA
- DEMOLITION:**
EXISTING SEMI WALLS & FIXTURES TO BE DEMOLISHED
- ADJOINING NEIGHBOURING PROPERTIES**
AS PER SITE SURVEY PLAN
- CONCRETE**
REINFORCED CONCRETE TO ENGINEER DETAILS
- TIMBER FLOOR:**
SELECTED HARDWOOD FLOOR
- WET AREA TILING**
SELECTED FLOOR TILES TO FALLS & SET-OUT TO DETAIL
- ROOFING**
COLOURBOND METAL ROOFING TO FALLS

SYMBOLS

- WINDOW LABEL**
N° Type
- EXISTING WINDOW**
EX Type
- DOOR LABEL**
N° Type
- PLAN/ SECTION REFERENCE**
N° Sheet
- PLAN/ ELEVATION REFERENCE**
Sheet N°
- RL (LEVELS)**
+
- FLOOR LEVELS**
▽
- DCP/LEP WALL HEIGHT LINE**



1 West Elevation
1 : 100



2 East Elevation
1 : 100

0m 1m 2m 3m 4m 5m

1:100 @ A1

NOTES

- SITE SURVEY INFORMATION:**
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- EXECUTION OF THE WORKS:**
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issue	date	description
A	02/07/2018	Preliminary DA Issue for Review
B	19/10/2018	DA Issue for Review
C	05/11/2018	DEVELOPMENT APPLICATION
D	30/08/2019	Amended DA

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- ALL DIMENSIONS IN MILLIMETRES.
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NSW REGISTERED ARCHITECT #7435
NOMINATED ARCHITECT: EUGENE DU PLESSIS

PROJECT TITLE:
OPADCHY
House Alterations & Additions

CLIENT NAME:
GEORGE + TATIANA OPADCHY

ADDRESS:
7 Clifford Avenue
Fairlight NSW 2094

DRAWING TITLE:
Elevations East/West

DRAWN:
AH

CHECKED:
EDUP

SCALE:
1:100@A1

DRAWING NO:

DA.11

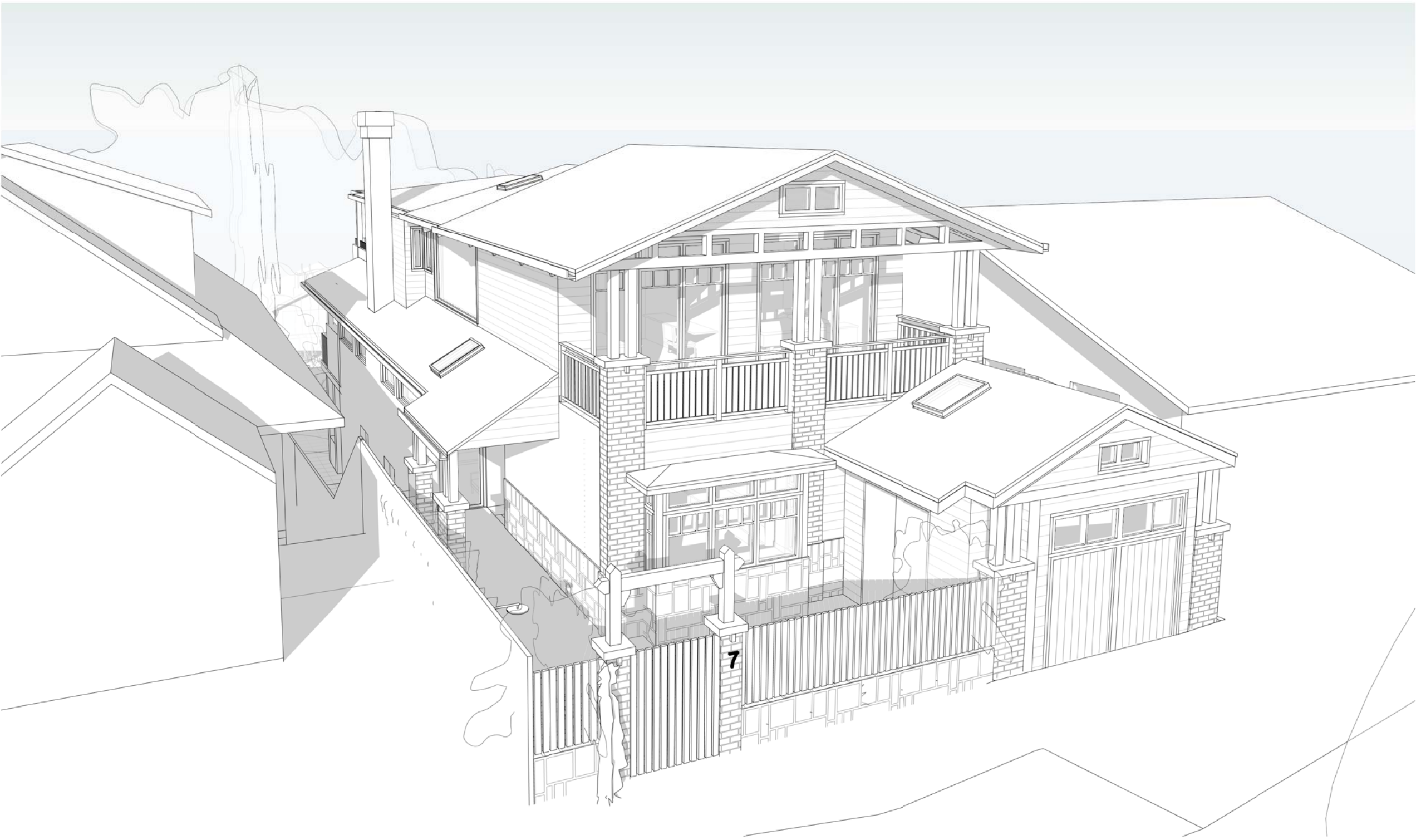
ISSUE:
D

DATE:
30/08/2019

DEVELOPMENT APPLICATION



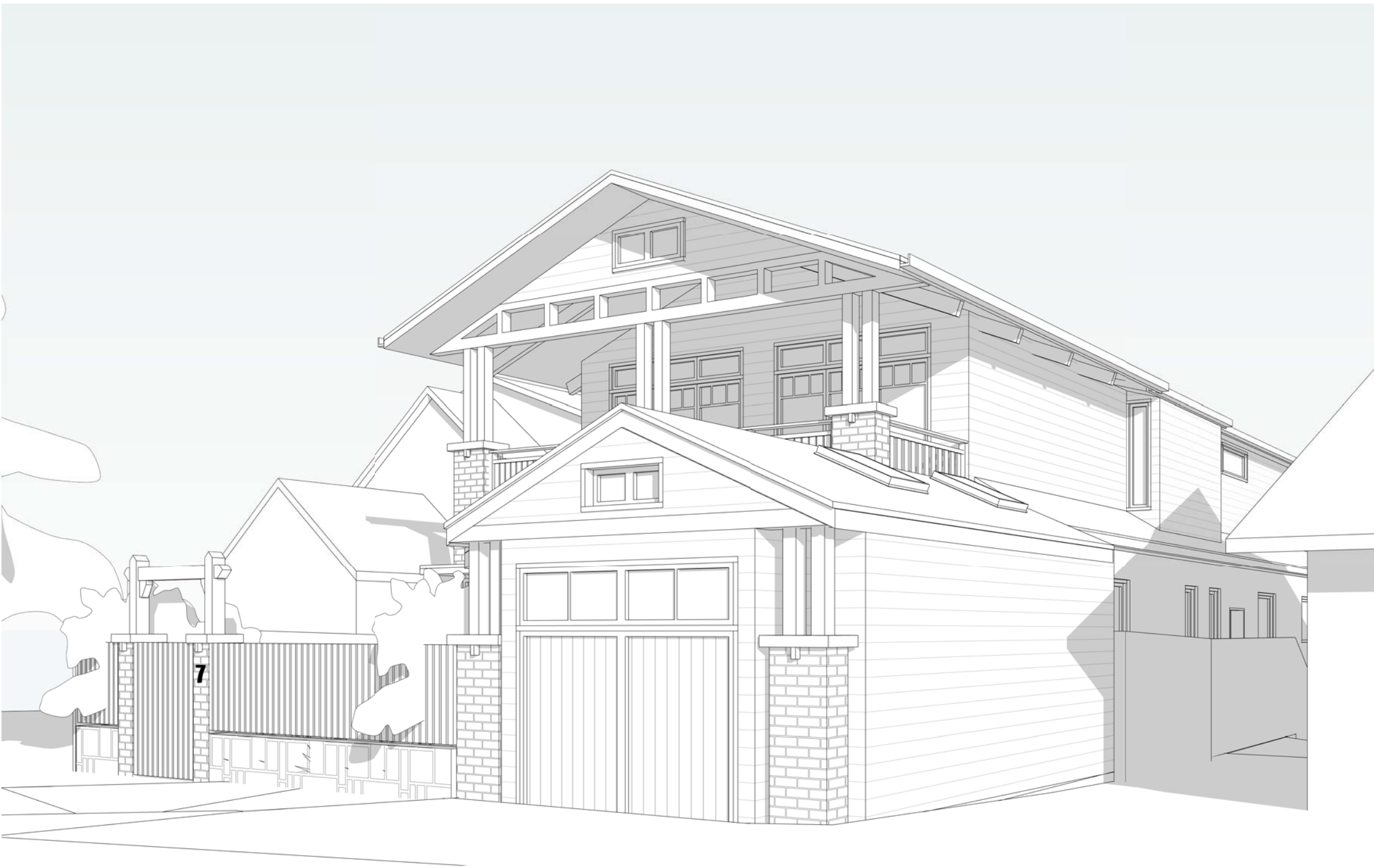
1 Perspective North



3 Perspective Northeast



2 Perspective - Southwest



4 Perspective Northwest

NOTES

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PROJECT TITLE:
OPADCHY
House Alterations & Additions

CLIENT NAME:
GEORGE + TATIANA OPADCHY

ADDRESS:
7 Clifford Avenue
Fairlight NSW 2094

DRAWING TITLE:
Perspectives

DRAWN: AH	CHECKED: EDUP
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SCALE:

DRAWING NO:

DA.13

ISSUE: D	DATE: 30/08/2019
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DEVELOPMENT APPLICATION

NOTES

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Glazing Schedule												
GLAZING	WINDOW TYPE	FLOOR	AREA	LENGTH	HEIGHT	SILL HEIGHT	ORIENTATION	FUNCTION	QUANTITY	FRAME TYPE	SHADING	HARDWARE
G01		LG	9 m²	3486	2500	0		Exterior	1	TIMBER		
G02		LG	7 m²	2523	2670	0		Exterior	1	TIMBER		
G03		LG	3 m²	1220	2500	0		Exterior	1	TIMBER		
G04		GF	9 m²	3365	2700	0		Exterior	1	TIMBER		
G05		GF	6 m²	2401	2700	0		Exterior	1	TIMBER		
G06		GF	13 m²	4990	2700	0		Exterior	1	TIMBER		
G07		GF	9 m²	3775	2500	0		Exterior	1	TIMBER		
G08		GF	2 m²	2250	1000	1500		Exterior	1	TIMBER		
G09		GF	2 m²	1200	1400	1100		Exterior	1	TIMBER		
G10		GF	4 m²	3681	1000	1500		Exterior	1	TIMBER		
G11		GF	2 m²	797	2425	0		Exterior	1	TIMBER		
G12		GF	2 m²	2147	1000	1500		Exterior	1	TIMBER		
G13		GF	1 m²	700	2100	0		Exterior	1	TIMBER		
G14		GF	6 m²	2700	2400	0		Exterior	1	TIMBER		
G15		GF	0 m²	1000	400	2908		Exterior	1	TIMBER		
G16		GF	1 m²	350	1500	1000		Exterior	1	TIMBER		
G17		GF	4 m²	2635	1500	1000		Exterior	1	TIMBER		
G18		GF	1 m²	350	1500	1000		Exterior	1	TIMBER		
G19		FF	4 m²	1520	2400	0		Exterior	1	TIMBER		
G20		FF	2 m²	930	2400	0		Exterior	1	TIMBER		
G21		FF	2 m²	900	1800	500		Exterior	1	TIMBER		
G22		FF	6 m²	3250	1900	500		Exterior	1	TIMBER		
G23		FF	2 m²	900	1800	500		Exterior	1	TIMBER		
G24		FF	1 m²	1700	600	1700		Exterior	1	TIMBER		
G25		FF	1 m²	1700	600	1700		Exterior	1	TIMBER		
G26		FF	1 m²	450	1800	500		Exterior	1	TIMBER		
G27		FF	1 m²	450	1800	500		Exterior	1	TIMBER		
G28		FF	7 m²	2605	2500	0		Exterior	1	TIMBER		
G29		FF	7 m²	2605	2500	0		Exterior	1	TIMBER		
G30		FF	6 m²	3580	1670	430		Exterior	1	TIMBER		
G31		FF	1 m²	700	1050	1050		Exterior	1	TIMBER		
G32		FF	0 m²	330	1050	1050		Exterior	1	TIMBER		
G33		FF	0 m²	330	1450	650		Exterior	1	TIMBER		
G34		FF	1 m²	1200	500	3100		Exterior	1	TIMBER		

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OPADCHY
House Alterations & Additions

CLIENT NAME:
GEORGE + TATIANA OPADCHY

ADDRESS:
7 Clifford Avenue
Fairlight NSW 2094

DRAWING TITLE:
Glazing Schedule

DRAWN: AH	CHECKED: EDUP
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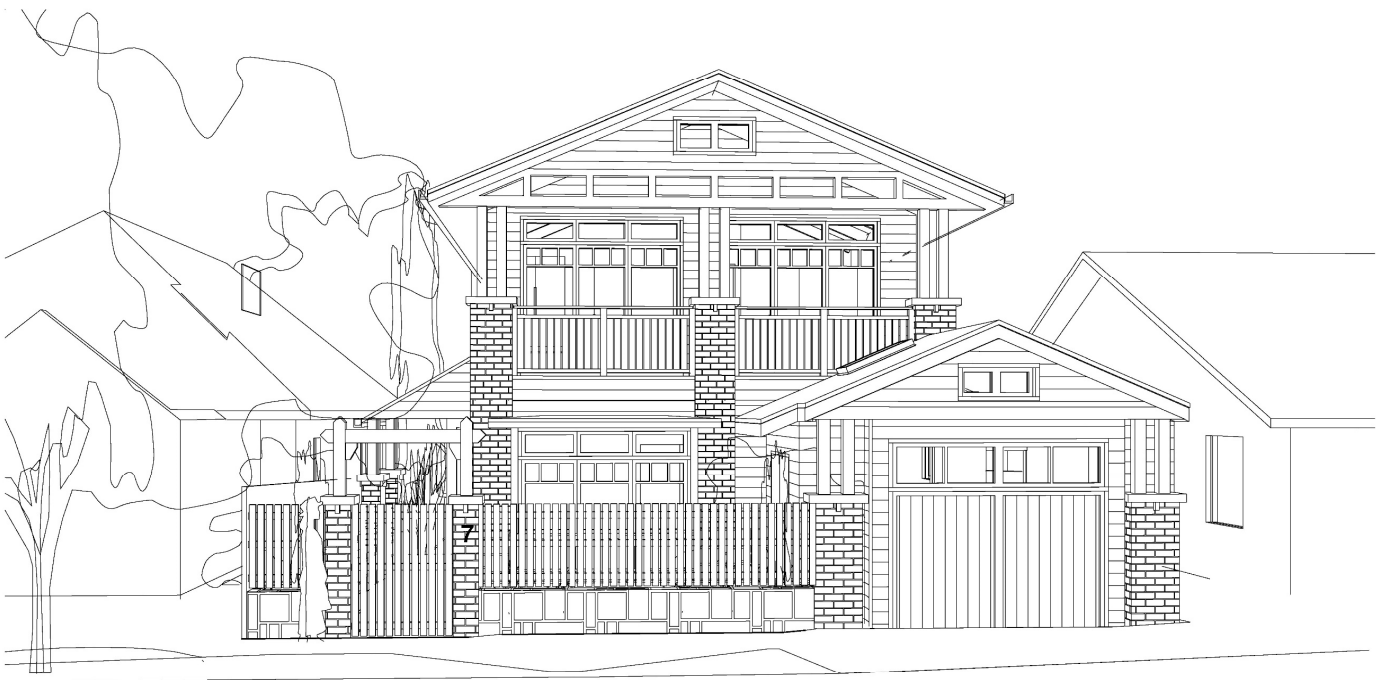
SCALE:

DRAWING NO:

DA.14

ISSUE: D	DATE: 30/08/2019
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DEVELOPMENT APPLICATION



SCHEDULE OF EXTERNAL COLOURS & FINISHES

Address: No. 7 Clifford Avenue, Fairlight NSW 2093

Project: Alterations to an existing residential dwelling

Applicants & Owners: George & Tatiana Opadchy

Prepared by: Du Plessis + DuPlessis Architects

Date: March 2019

Issue: NBC Council Development Application

WALLS

1. Existing house masonry walls

Make good and re-paint existing house lower level brick and/or rendered walls.

Refer Dulux paint colours below.

2. Proposed addition framed light-weight walls

Painted weatherboard cladding (typically Scyon Linea).

Refer Dulux paint colours below.

3. Garden & other feature walls

Selected sandstone wall cladding (typically Eco Outdoor).

ROOFS

4. All roofing

Pitched Colorbond metal roofs to falls [0.58 Solar Absorptance & BCA Class 'M']

Refer Colorbond roof colour below 'Windspray'

5. All roof gutters, downpipes, etc

Selected profiles (typically Stratco)

Refer Colorbond roof colour below 'Windspray'

FLOORING

6. House Terraces & Balconies

Selected large format slip free tiles to falls

Selected external grade travertine large format tiles

WINDOW & DOORS

7. All doors & Windows

White painted hardwood timber frame window & doors

Refer Dulux paint colours below.

OTHER

8. Gables, fascia, eaves, timber fretwork, privacy screens, balustrades, street picket fence, etc

White painted hardwood timber, board & other

Refer Dulux paint colours below.

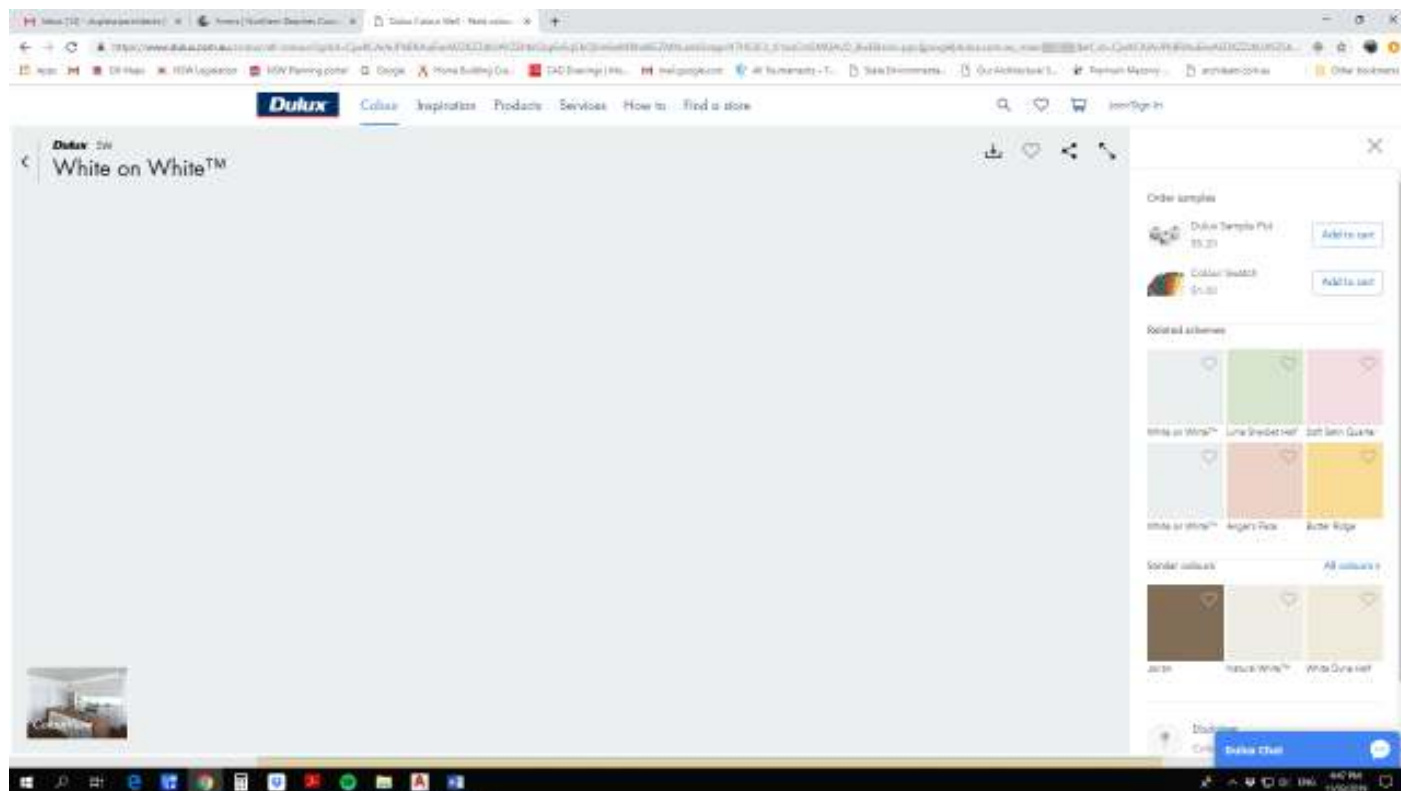
9. Pool safety fencing

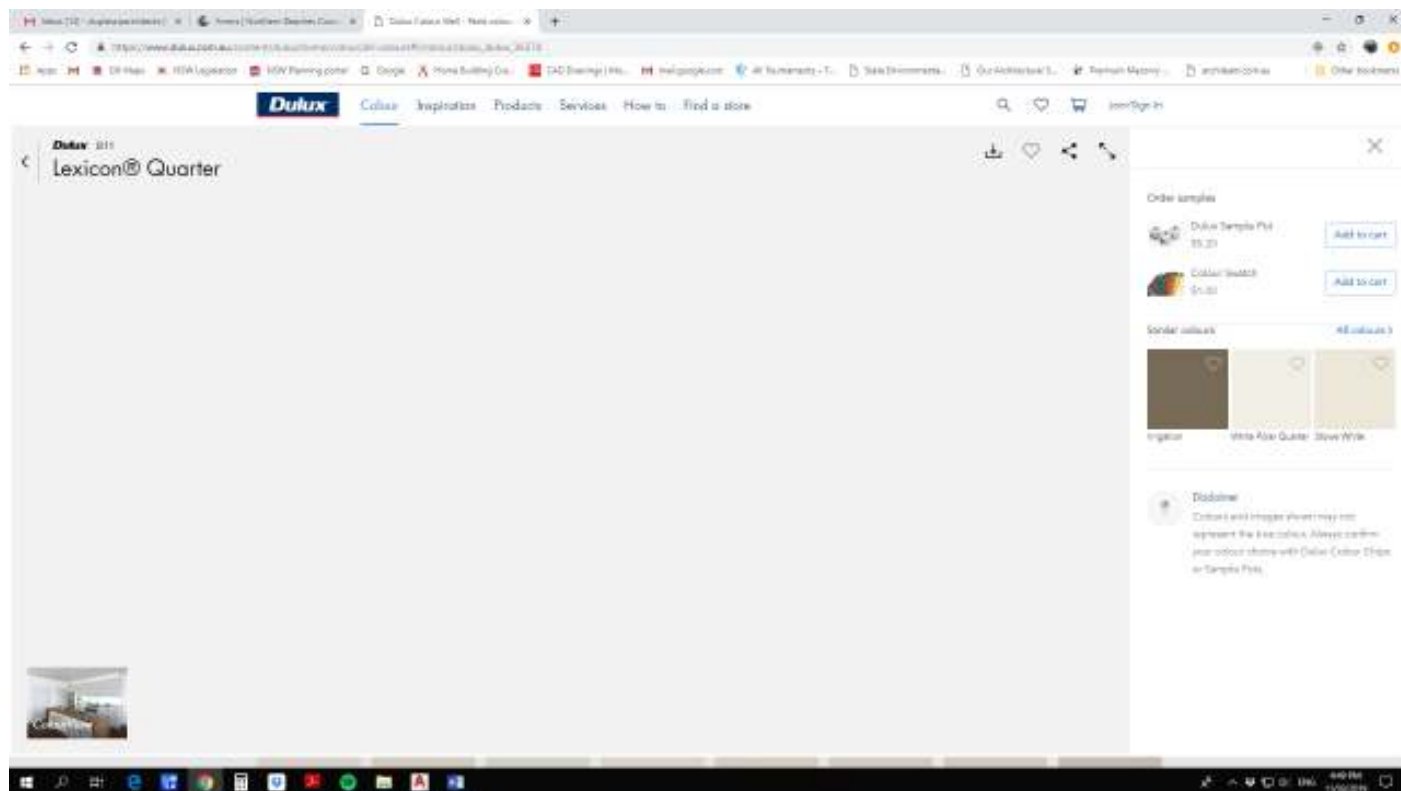
Frameless glass to detail [to comply with regulations]

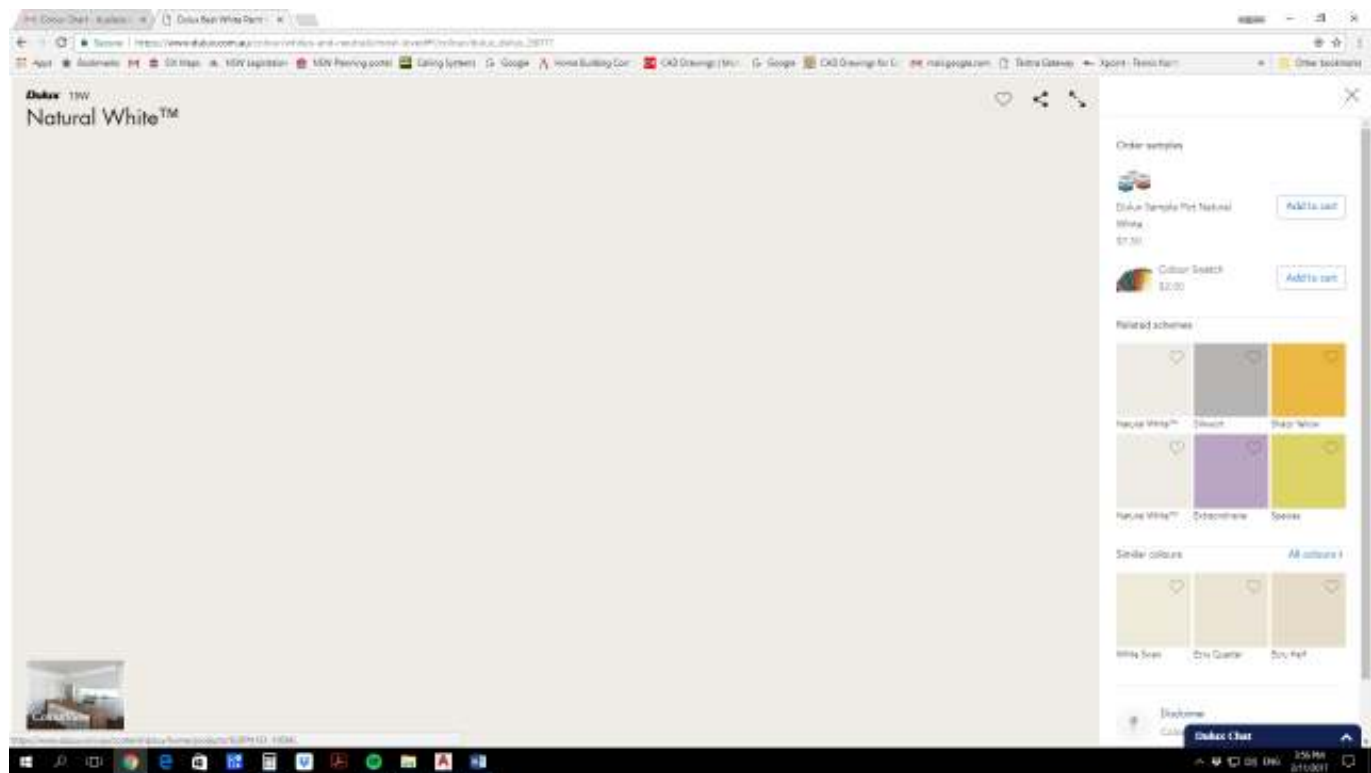
10. Skylights

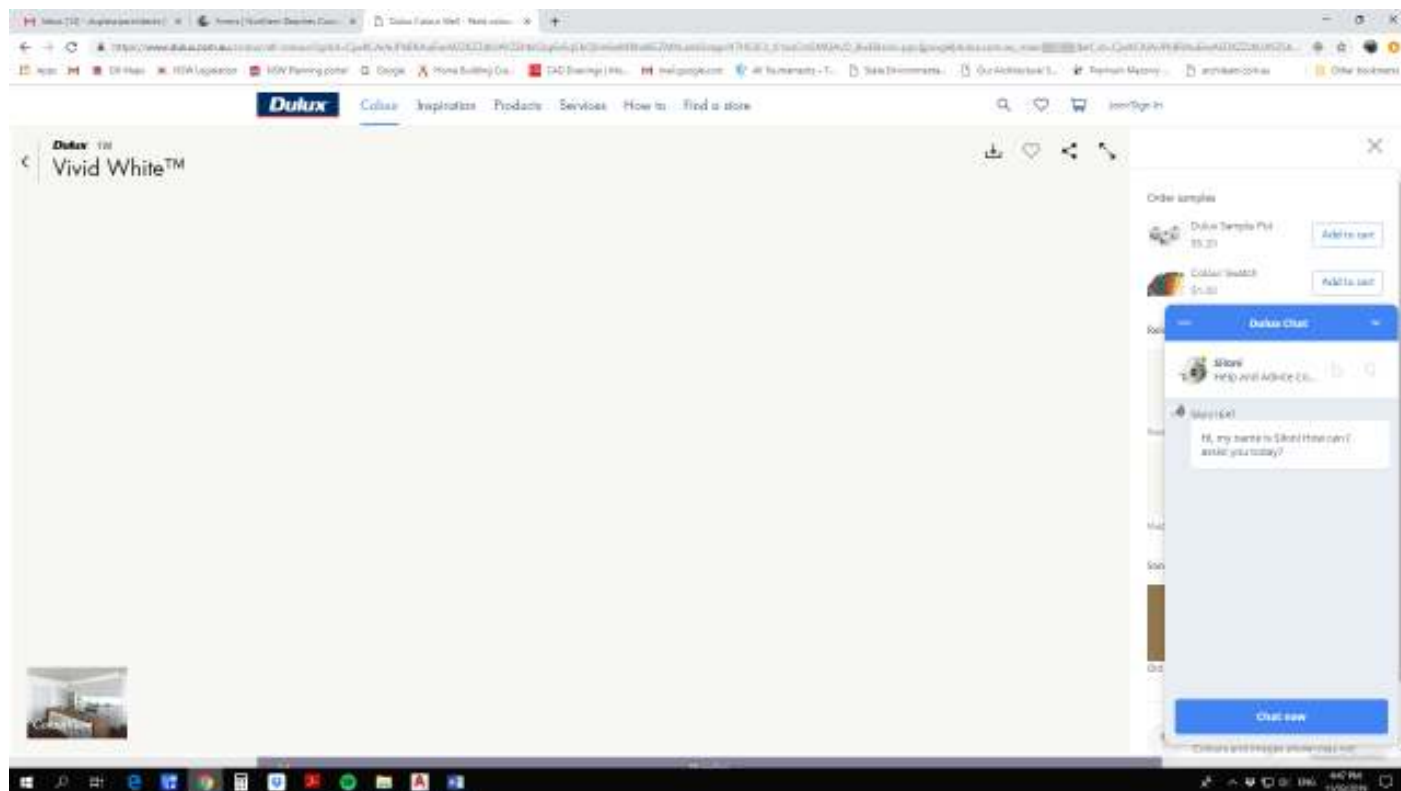
Proprietary as per manufacturer's details [Velux or similar glazing to comply with BASIX].

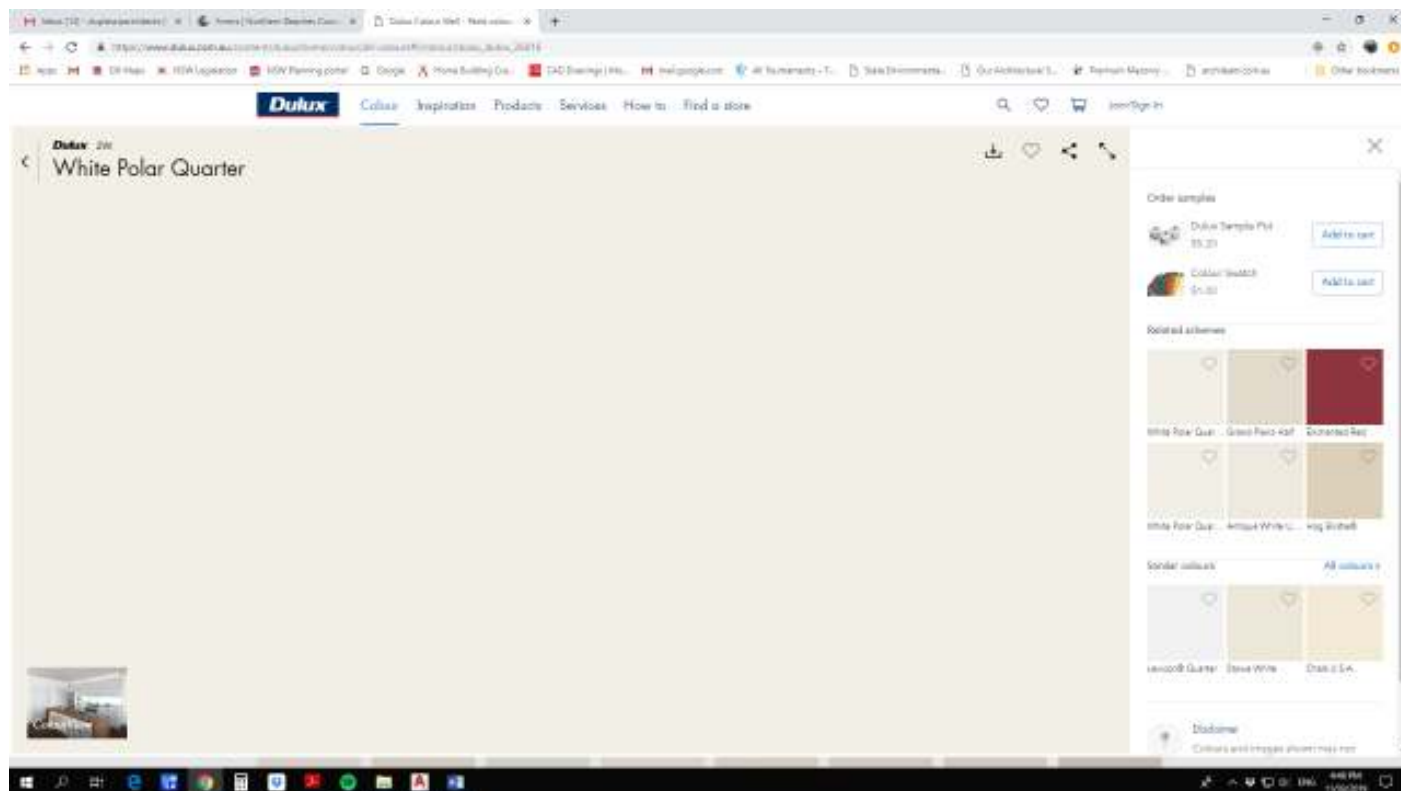
** Refer enclosed External & Internal Mood Boards*

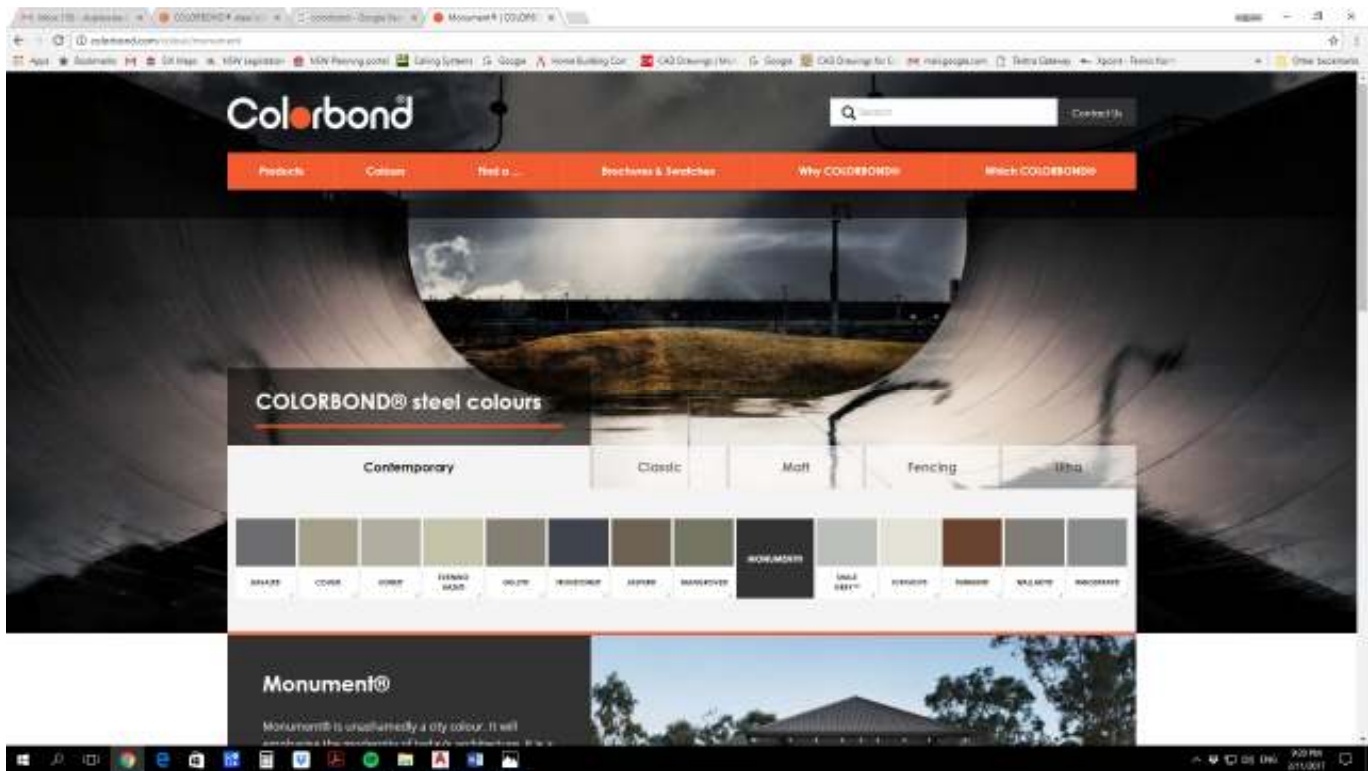






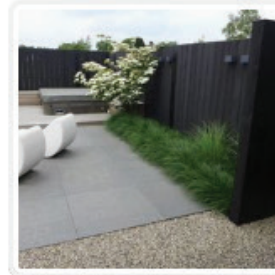
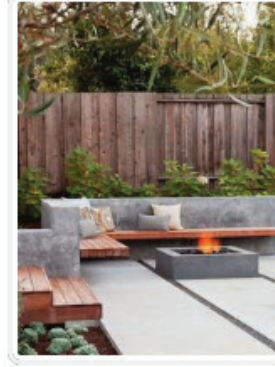
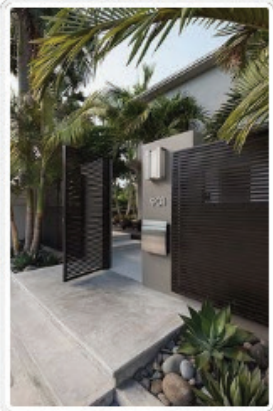
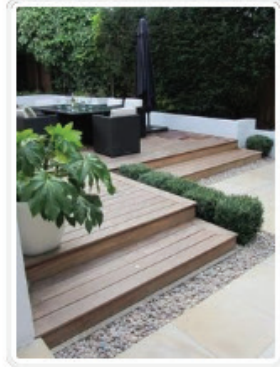
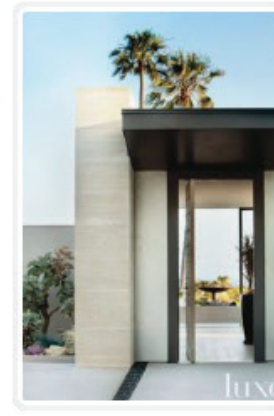
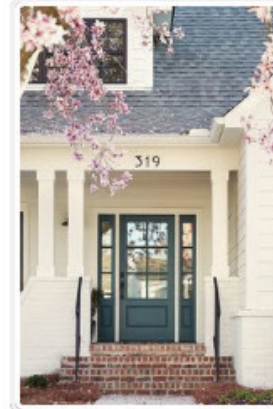
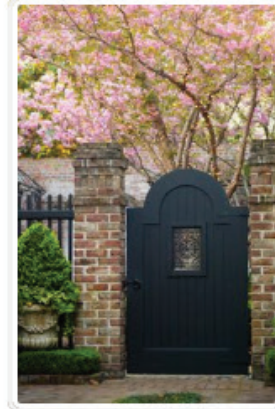
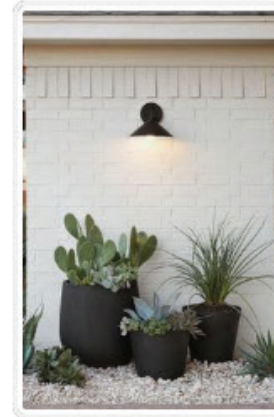
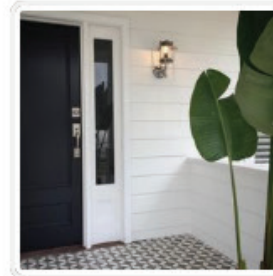






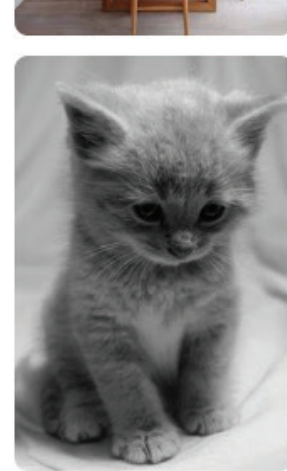
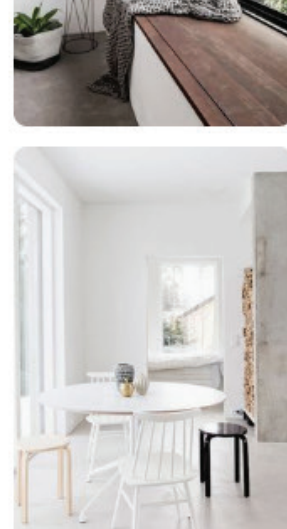
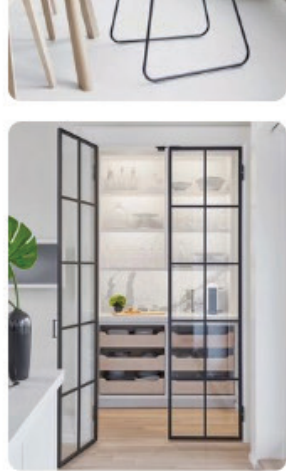
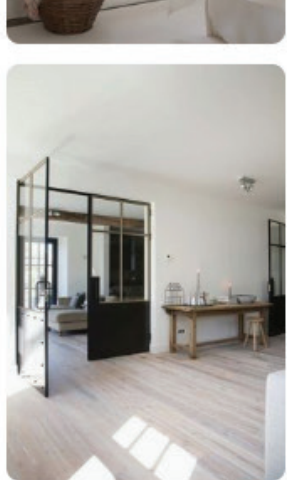
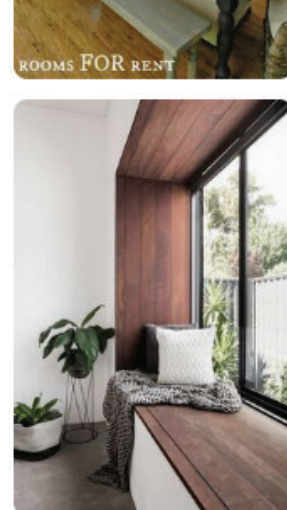
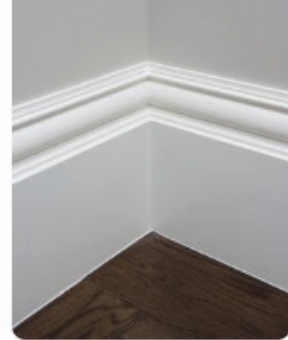
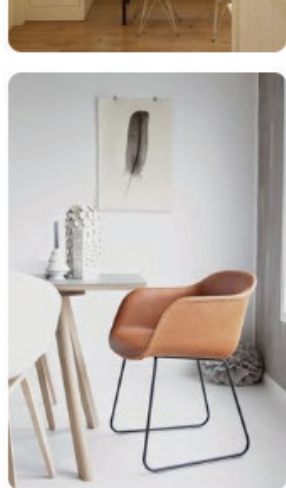
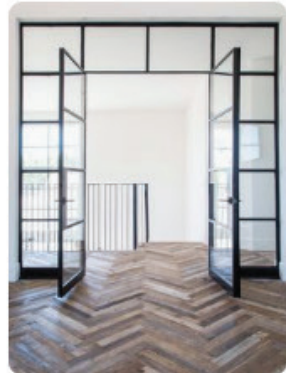
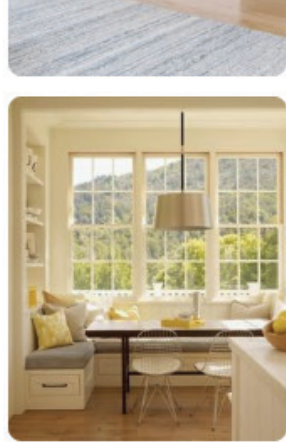
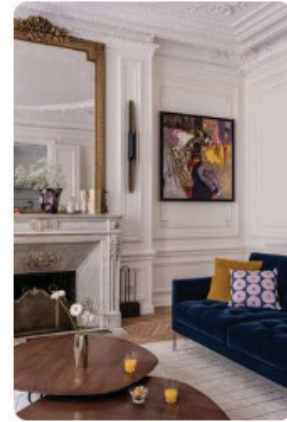
Exteriors

Colours, Gates, Flooring

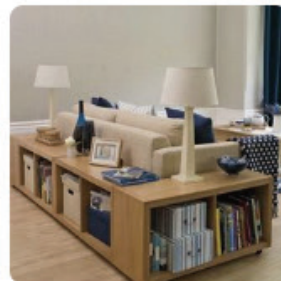
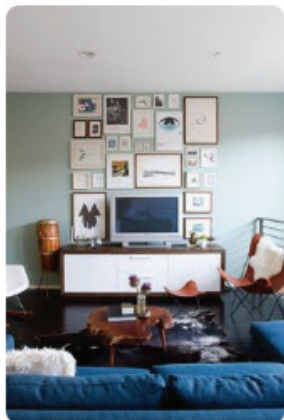
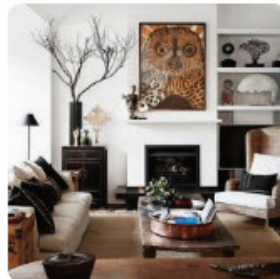
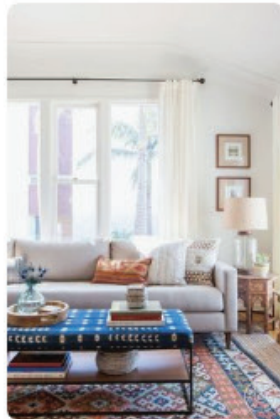


Interiors

Living and Dining Areas / 1

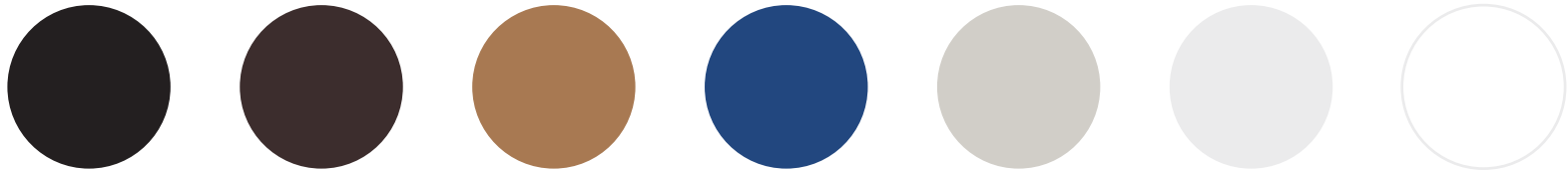


Interiors
Living and Dining Areas / 2



Colour Palette

Options



LANDSCAPE NOTES

1. SITE PREPARATION

ANY EXISTING TREES AND VEGETATION TO BE RETAINED SHALL BE PRESERVED AND PROTECTED FROM DAMAGE OF ANY SORT DURING THE EXECUTION OF LANDSCAPE WORK. IN PARTICULAR, ROOT SYSTEMS OF EXISTING PLANTS MUST NOT BE DISTURBED IF POSSIBLE.

ANY NEARBY SITE WORKS SHOULD BE CARRIED OUT CAREFULLY USING HAND TOOLS. TO ENSURE THE SURVIVAL AND GROWTH OF EXISTING TREES DURING LANDSCAPING WORKS, PROTECT BY FENCING OR ARMORING WHERE NECESSARY.

TREES SHALL NOT BE REMOVED OR LOPPED UNLESS SPECIFIC WRITTEN APPROVAL TO DO SO IS GIVEN OR IS INDICATED ON PLAN. STORAGE OF MATERIALS, MIXING OF MATERIALS, VEHICLE PARKING, DISPOSAL OF LIQUIDS, MACHINERY REPAIRS AND REFUELING, SITE OFFICE AND SHEDS, AND THE LIGHTING OF FIRES SHALL NOT OCCUR WITHIN THREE (3) METERS OF ANY EXISTING TREES.

DO NOT STOCKPILE SOIL, RUBBLE OR OTHER DEBRIS CLEARED FROM THE SITE, OR BUILDING MATERIALS, WITHIN THE DRIPLINE OF EXISTING TREES. VEHICULAR ACCESS SHALL NOT BE PERMITTED WITHIN THREE (3) METERS OF ANY TREE.

2. SOIL PREPARATION

ALL PROPOSED PLANTING AREAS TO BE DEEP RIPPED TO 300MM AND CLAY SOILS TO BE TREATED WITH CLAY BREAKER. HARVEST EXISTING TOP SOIL FROM SITE AND STORE ON SITE. MIX WITH 25% A.N.L. GREENLIFE COMPOST OR APPROVED EQUIVALENT.

APPLY AT LEAST 200MM SOIL DEPTH TO PLANTING AREAS. ADDITIONAL REQUIRED SOIL TO BE OF GOOD QUALITY PLANTING MIX TO BE IMPORTED AND COMBINED WITH 25% DEPTH A.N.L. GREENLIFE COMPOST OR APPROVED EQUIVALENT.

TO BE FULLY MIXED PRIOR TO INSTALLATION AND THEN WORKED IN WITH HOE. CARE TAKEN TO HAND CULTIVATE IN ANY AREA WHERE EXISTING TREE ROOTS EXIST TO PRESERVE HEALTH OF TREES.

3. NEW PLANTINGS

NEWLY PLANTED TREES AND LARGE SHRUBS SHOULD BE SECURED TO STAKES WITH HESSIAN TIES TO PREVENT ROCKING BY WIND.

PLANTING HOLES FOR PLANT MATERIAL SHOULD BE LARGE ENOUGH IN SIZE TO TAKE ROOT BALL WITH ADDITIONAL SPACE TO TAKE BACK FILLING OF GOOD QUALITY PLANTING MIX. (SEE DETAIL.) MATURE HEIGHTS OF PLANTING AS SHOWN ON PLANTING SCHEDULE SHOW THE GREATEST HEIGHT POSSIBLE IN IDEAL CONDITIONS.

THESE HEIGHTS ARE SUBJECT TO PARTICULAR SITE CONDITIONS, POSSIBLE CONTAINER ENVIRONMENTS AND INTENDED HEDGING OR PRUNING FOR FUNCTIONAL REQUIREMENTS SUCH AS AVAILABLE PLANTING WIDTH INTENDED ACCESS UNDER BRANCHES AND SOLAR ACCESS.

4. MULCHING

ALL PLANTING AREAS TO BE MULCHED WITH A MINIMUM 100MM THICK COVER OF FOREST PINES MULCH AND THEN ALL PLANT AREAS TO BE THOROUGHLY SOAKED WITH WATER.

5. FERTILIZER

ALL PLANTING AREAS TO BE FERTILIZED WITH 9 MONTH NPK SLOW RELEASE FERTILIZER

6. STAKING

TO THOSE PLANTS INDICATED ON THE PLANTING SCHEDULES PROVIDE HARDWOOD STAKES AS NOMINATED AND DRIVEN INTO GROUND TO A DEPTH ABLE TO ACHIEVE RIGID SUPPORT.

7. LAWN EDGING

ALL PLANTER BEDS ADJACENT TO LAWN AREAS TO HAVE FLUSH TIMBER EDGING TO FUTURE DETAIL.

8. IRRIGATION

AUTOMATIC WATERING SYSTEM TO BE SELECTED. TO EXTEND TO ALL LANDSCAPED AREAS INCLUDED IN WORKS. IN GROUND DRIP LINE IRRIGATION ONLY. EXCLUDING LAWN AREAS. THE LANDSCAPE CONTRACTOR IS TO LIAISE WITH COUNCIL AS NECESSARY TO ENSURE THAT THE IRRIGATION SYSTEM CONFORMS WITH ALL WATER BOARD, COUNCIL, AND AUSTRALIAN STANDARDS (AS) TO BE CONNECTED TO PREFABRICATED RAINWATER STORAGE TANKS LOCATED IN SUB-BASE AREA.

9. TURFING

TURF TO BE SOFT LEAF BUFFALO ON 150mm GOOD QUALITY TURF UNDERLAY OVER SOIL AREAS TO BE DEEP RIPPED TO 300MM DEPTH PRIOR TO INSTALLATION.

10. STRUCTURAL

ALL STRUCTURAL PLANTER RETAINING WALLS TO ENGINEER'S DETAILS

11. MAINTENANCE

THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE CONTRACT AREAS BY ACCEPTED HORTICULTURAL PRACTICES AS WELL AS RECTIFYING ANY DEFECTS THAT BECOME APPARENT IN THE WORKS UNDER NORMAL USE. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE WORKS AND MAKE GOOD ALL DEFECTS FOR A PERIOD OF THIRTEEN (13) WEEKS AFTER THE DATE OF PRACTICAL COMPLETION.

PRACTICAL COMPLETION OF THE LANDSCAPE WORKS SHALL INCLUDE BUT NOT BE LIMITED TO THE REPLACEMENT OF PLANTS WHICH HAVE FAILED OR BEEN DAMAGED OR STOLEN DURING WORK UNDER THE CONTRACT.

LANDSCAPE MAINTENANCE SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: WATERING, RUBBISH REMOVAL, SPRAYING AND WIPING LEAF SURFACES, REPLACING FAILED PLANTS, MAINTAINING MULCH, PRUNING, INSECT AND DISEASE CONTROL, CLEANING OF SURROUNDING AREAS.

POOL NOTES

1. POOL DESIGN

- POOL SIZE = 7.8m x 4.9m
- POOL VOLUME = MAXIMUM 36 KILOLITRES
- POOL COPING LEVEL = RL(+2.93)
- POOL FENCING = 1.2m FRAMELESS GLASS SAFETY FENCE & GATES TO COMPLY WITH STANDARDS
- POOL FILTER BOX = LOCATED IN BELOW ENCLOSED POOL VOID AREA (ACCESSED FROM LOWER GARDEN AREA)

NOTE: POOL SUBJECT TO DETAIL STRUCTURAL ENGINEERING DESIGN BY OTHERS.

2. POOL FENCING

POOL SAFETY FENCE MUST:

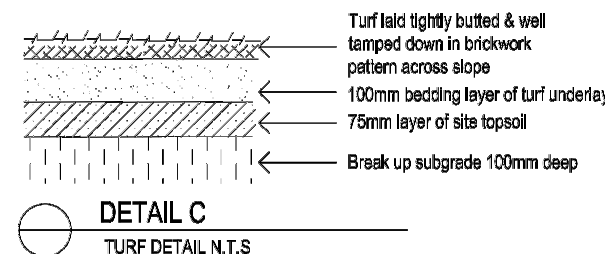
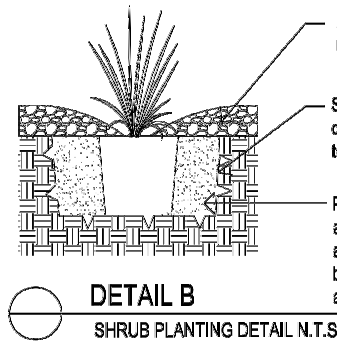
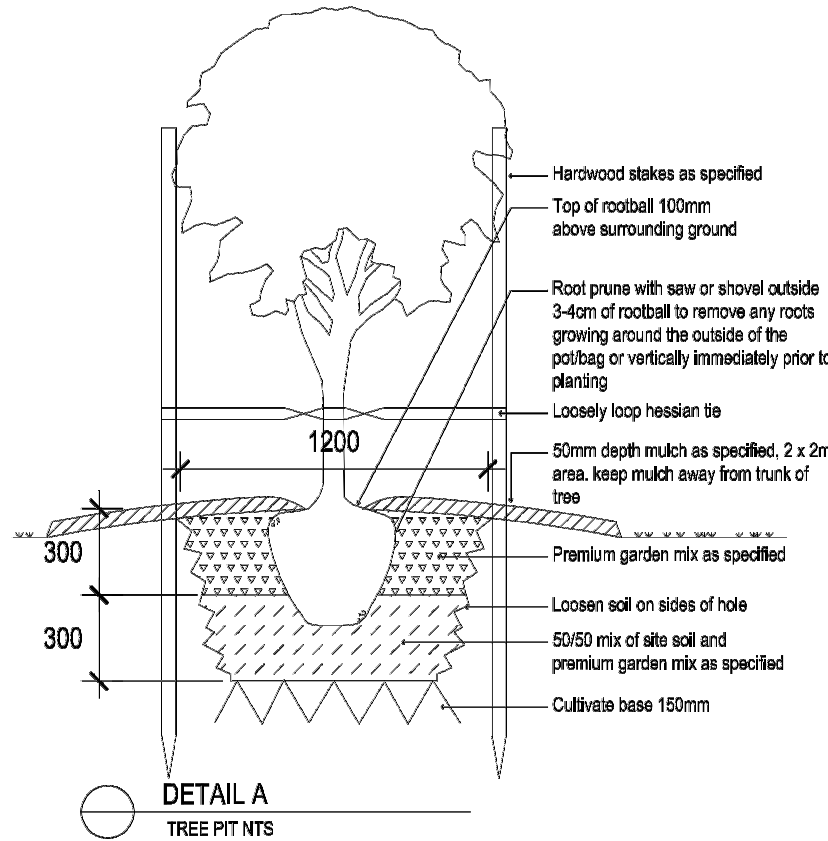
- BE AT LEAST 1.2M HIGH (AS MEASURED FROM THE FINISHED GROUND LEVEL)
- NOT LEAVE A GAP AT THE BOTTOM BIGGER THAN 100mm FROM THE FINISHED GROUND LEVEL
- IF A BOUNDARY FENCE IS PART OF THE POOL FENCE, THE BARRIER MUST BE 1.8m HIGH
- NOT HAVE GAPS OF MORE THAN 100mm BETWEEN ANY VERTICAL BARS IN THE FENCE

3. POOL REGISTRATION

OWNERS TO REGISTER THE POOL WITH COUNCIL, and/or FNSW

4. OTHER

POOL TILES, LIGHTS, ETC TO BE DECIDED.
POOL HEATING TO BE CONFIRMED.
POOL DRAINAGE TO STORMWATER ENGINEER DETAILS.



planting schedule

SYMBOL	BOTANICAL NAME	COMMON NAME	No.	MATURE HEIGHT
TREES				
PLU CB	PLUMERIA ACUTIFOLIA TRISTANOPSIS	FRANGIPANI NSW XMAS BUSH	2	2-3m 7m+
SHRUBS				
BMU MP SYR	BUXUS MICROPHYLLA 'JAPONICUM' MURRAYA SYZYGIUM RESILIENCE	JAPANESE BOX ORANGE JESSAMINE LILLY PILLY (HEDGED)	8 10 12	0.5m 1.5m 2-2.5m
ORNAMENTAL GRASSES				
LOT	LOMANDRA LONGIFOLIA	FINE LEAF DWARF LOMANDRA	6	0.5m
TURF				
SWB	SIR WALTER BUFFALO	BUFFALO LAWN	N/A	N/A



PHOTOGRAPH 1
EXISTING REAR YARD GARDEN

LEGEND

- TURF
LAWN AREAS
- PLANTING BEDS
GARDEN AREAS
- EXISTING SITE TREES
TO REMAIN
- NEW SITE TREES
PROPOSED ENDOMIC TREES
- TREES TO BE REMOVED
REFER ARBORIST REPORT

NOTES

• SITE SURVEY INFORMATION:

THE SITE INFORMATION HEREIN HAS BEEN TRANSPOSED FROM THE TRUE NORTH SURVEY'S SURVEY PLAN #875204. REFER TO THIS SURVEY DRAWING TO CONFIRM BOUNDARIES, EXISTING FEATURES, LEVELS & DATUM. HOUSE WALL MEASUREMENTS (INTERNAL) BY THE ARCHITECT AND ACCURACY T.B.C ON SITE.

• COORDINATION:

REFER TO AND COORDINATE INFORMATION CONTAINED IN THE ARCHITECTURAL DRAWINGS AND THE DOCUMENTATION OF OTHER CONSULTANTS WITH THE SPECIFICATION FOR BUILDING WORKS. REPORT DISCREPANCIES BETWEEN THE DOCUMENTS AND/OR WITH CONDITIONS ON SITE TO THE ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.

• DETAIL DRAWINGS:

UNLESS NOTED OTHERWISE REFER TO DETAIL DRAWINGS FOR SET-OUT INFORMATION. DETAIL DRAWINGS AT LARGER SCALES TAKE PRECEDENCE OVER GENERAL ARRANGEMENT DRAWINGS AT SMALLER SCALES. IF IN DOUBT NOTIFY ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.

• EXECUTION OF THE WORKS:

EXECUTE THE WORKS IN COMPLIANCE WITH THE CURRENT EDITION OF THE BUILDING CODE OF AUSTRALIA (AS AMENDED), CURRENT EDITIONS OF RELEVANT AUSTRALIAN AND OTHER PUBLISHED STANDARDS (AS AND BSB) AND THE REQUIREMENTS OF OTHER AUTHORITIES RELEVANT TO THE EXECUTION OF THE WORKS.

ISSUE	DATE	DESCRIPTION
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B C	20.10.2018 05.11.2018	PRELIMINARY DEVELOPMENT APPLICATION
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CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK.

FOUR-DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.

ALL DIMENSIONS ARE IN MILLIMETRES (MM).

PLEASE NOTIFY DU PLESSIS + DU PLESSIS ARCHITECTS IMMEDIATELY SHOULD ANY DISCREPANCIES BE FOUND.

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THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH CONSULTANT'S OTHER DETAIL DOCUMENTATION, SPECIFICATIONS, REPORTS & OTHER.

ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AS, BCA AND COUNCIL BUILDING REQUIREMENTS.

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PROJECT TITLE:
OPADCHY
House Alterations & Additions

CLIENT:
GEORGE & TATIANA OPADCHY

ADDRESS:
7 Clifford Avenue
Fairlight NSW 2094

DRAWING TITLE:
CONCEPT
LANDSCAPE PLAN

DRAWN:
H DU PLESSIS

CHECKED:
E DU PLESSIS

SCALE:
1:75 [A1]

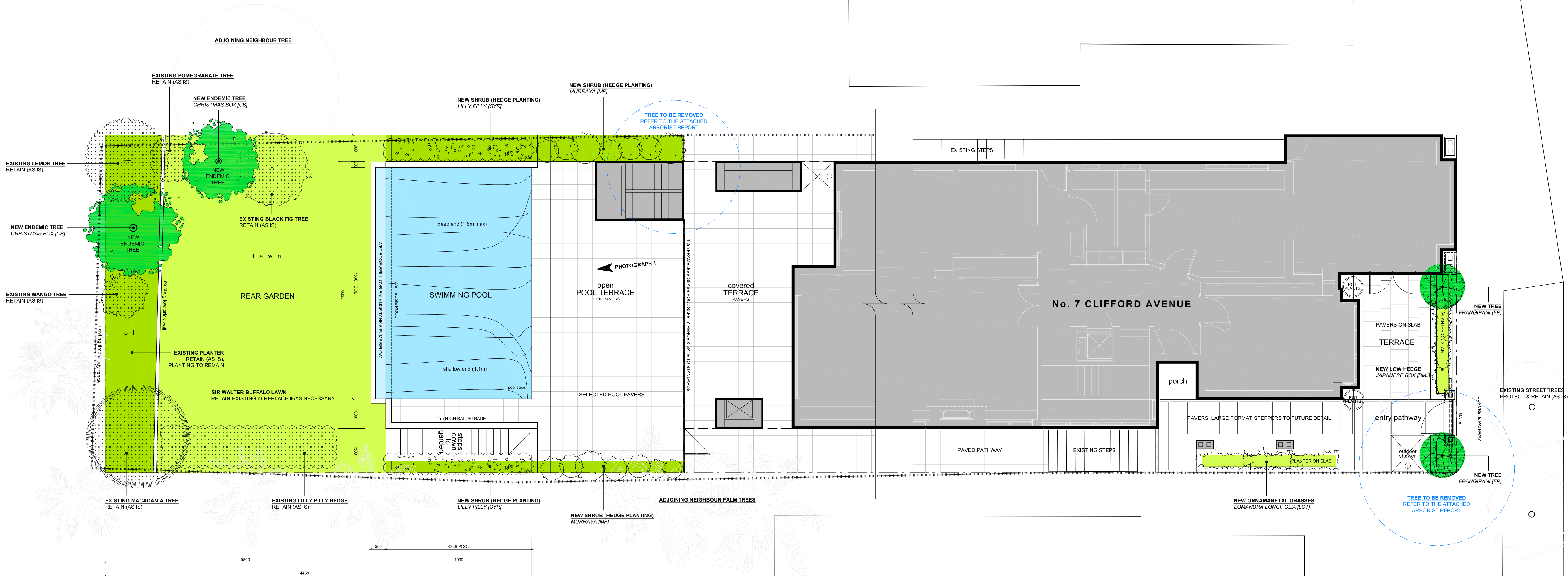
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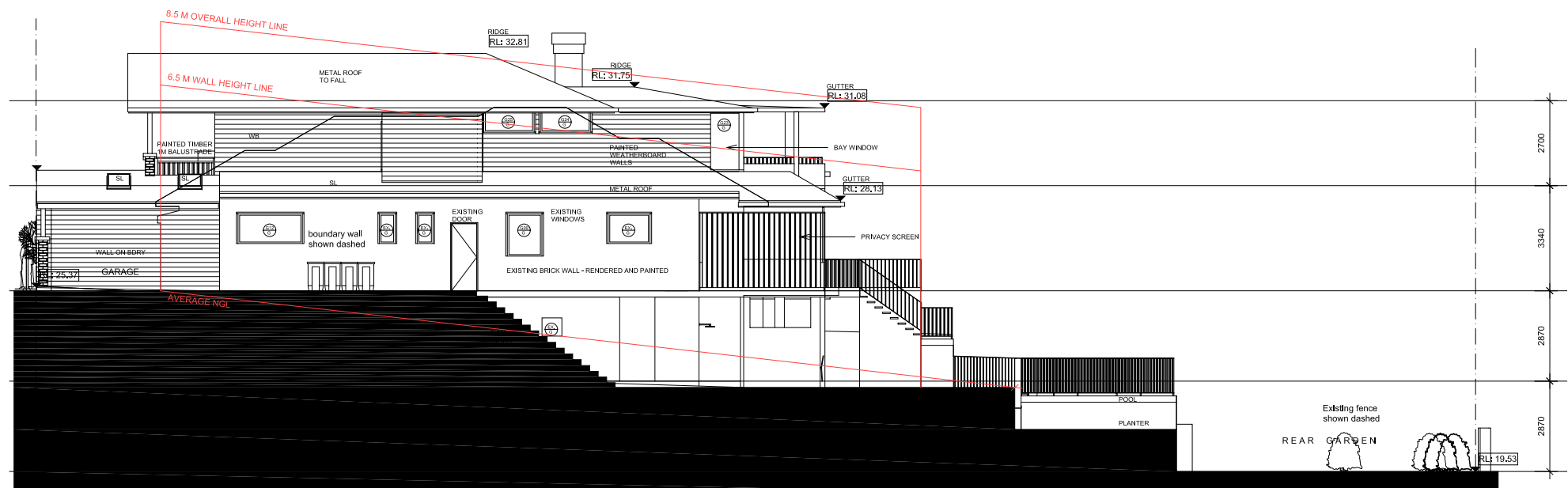
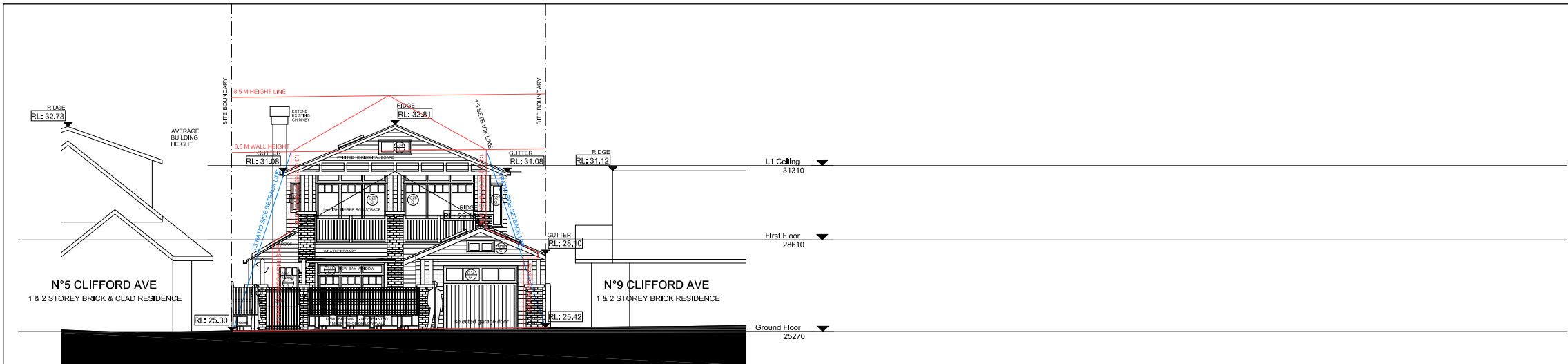
ISSUE:
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DATE:
05.11.2019

DRAWING STATUS:
DEVELOPMENT APPLICATION



Landscape Plan
SCALE 1:75/A1



DuPlessis Architects - Feb 2019 - drawing instruction for DA Compliant Massing Envelope

CERTIFIED PHOTOMONTAGE
No : PMC156603- Refer to attached Certificate.

Certifier: Cameron McFadzean B Arch BA (Arch) IES ABSA AAAI

NOTE:

Photomontage perspective based on camera data, Laser Survey position and survey photomatch - Existing.

Camera Data:

Daylight: 7/09/18 NOON

Lens: (35mm efl) 24mm lens, Level Target.

No.10 CLIFFORD AV

P 01 Level 4 MASTER BED

P02 LEVEL 3 KITCHEN / LIVING

P02.1 REAR of BALCONY

P02.2 FRONT of BALCONY

P02.3 LIVING - Standing

P02.4 LIVING - Seated

P03 LEVEL 2 FAMILY

P03.1 FAMILY BALCONY

P03.2 FAMILY ROOM - Standing

P04 Level 1 BEDROOM

No.12 CLIFFORD AV

P 05 BALCONY

NOTE 2: MASSING ENVELOPE

DA Compliant Massing Envelope model (RED) has been shown in overlay with the Proposed DA Design as per DuPlessis Architects drawing set.

TITLE
PHOTOMONTAGE VIEW ANALYSIS
WITH DA MASSING ENVELOPE

DA COMPLIANT MASSING

PROJECT
PROPOSED ALTERATIONS AND ADDITIONS
CLIFFORD AVE
FAIRLIGHT NSW

CLIENT: George & Tatiana Opadchy

DESIGNER

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DATA SOURCE (In order of precedence)

- Registered Survey - True North Surveys, Ref 8732, 23/11/17.
- Architectural Plans - (3D Data) DuPlessis Ref 07.11.18, (Ver B NOV.18)

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VERSION : 03
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No. 10 CLIFFORD AVE
LEVEL 4 MASTER BED

3D PROOF

CAMERA LOCATION

TITLE
PHOTOMONTAGE VIEW ANALYSIS
WITH DA MASSING ENVELOPE

PO3.2 - Level 2 FAMILY ROOM
No. 10 CLIFFORD AVE

PROJECT
PROPOSED ALTERATIONS AND ADDITIONS
CLIFFORD AVE
FAIRLIGHT NSW

CLIENT: George & Tatiana Opadchy

DESIGNER

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- P 01 Level 4 MASTER BED
P02 LEVEL 3 KITCHEN / LIVING
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P02.4 LIVING - Seated
P03 LEVEL 2 FAMILY
P03.1 FAMILY BALCONY
P03.2 FAMILY ROOM - Standing
P04 Level 1 BEDROOM

No.12 CLIFFORD AV

- P 05 BALCONY

3D PROOF



TITLE
PHOTOMONTAGE VIEW ANALYSIS
WITH DA MASSING ENVELOPE

P04 - Level 1 BEDROOM
No. 10 CLIFFORD AVE

PROJECT
PROPOSED ALTERATIONS AND ADDITIONS
CLIFFORD AVE
FAIRLIGHT NSW

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P05 EXISTING



PROPOSED

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No. 10 CLIFFORD AVE
P05
LEVEL 4 MASTER BED

3D PROOF

CAMERA LOCATION

TITLE
PHOTOMONTAGE VIEW ANALYSIS
WITH DA MASSING ENVELOPE

P05 - BALCONY
No. 12 CLIFFORD AVE

PROJECT
PROPOSED ALTERATIONS AND ADDITIONS
CLIFFORD AVE
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