APPLICATION:

READ DRAWINGS IN CONJUNCTION WITH THE ATTACHED BASIX CERTIFICATE #A329994 SUBMITTED WITH THE DEVELOPMENT

# - THE OUTDOOR SWIMMING POOL MUST NOT HAVE A CAPACITY GREATER THAN 36 KILOLITRES. INSTALL A POOL PUMP & HEATING

SYSTEM FOR THE SWIMMING POOL TO BE SOLAR ONLY. - THE APPLICANT MUST INSTALL A RAINWATER TANK OF AT LEAST 1575 LITRES ON THE SITE. THE RAINWATER TANK TO COLLECT RAINWATER RUNOFF FROM AT LEAST 90 SQUARE METRES OF ROOF AREA. CONNECT THE RAINWATER TANK TO A TAP LOCATED

WITHIN 10 METRES OF THE EDGE OF THE POOL.

- PROVIDE A HEATING/COOLING SYSTEM TO ACHIEVE THE REQUIRED STAR ENERGY RATING.

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- THE NEW ROOF COLOUR TO BE OF MEDIUM SOLAR ABSORPTANCE.

#### LEGEND

#### EXISTING HOUSE WALLS: HOUE WALLS AS IS AND PER SURVEY

PROPOSED NEW BLD WALLS EXTERNAL WALLS BRICK AND/OR WEATHERBOARD WALLS INTERNAL FRAMED LIGHT WEIGHT PLASTERBOARD WALLS PROPOSED ADDITION: HOUSE EXTENSION EXTRA GFA

#### DEMOLITION, EXISITING SEMI WALLS & FIXTURES TO BE DEMOLISHED ADJOINING NEIGHBOURING PROPERTIES

#### $\square$ AS PER SITE SURVEY PLAN

CONCRETE REINFORCED CONCRETE TO ENGINEER DETAILS

# TIMBER FLOOR: SELECTED HARDWOOD FLOOR

WET AREA TILING SELECTED FLOOR TILES TO FALLS & SET-OUT TO DETAIL

ROOFING

# COLOURBOND METAL ROOFING TO FALLS

SYM	BOLS		
N° Type	WINDOW LABEL	N° Sheet	_ PLAN/ SECTION REFERENCE
EX. Type	EXISTING WINDOW	Sheet N°	PLAN/ ELEVATION REFERENCE
N° Type	DOOR LABEL	$\rightarrow$	RL (LEVELS)
	DCP/LEP WALL	$\neg \neg$	FLOOR LEVELS

#### DRAWING LIST

HEIGHT LINE

#### ARCHITECTURAL DRAWING SET - DA

DRAWING ISSUE ISSUE DRAWING NAME

drawing No.	ISSUE	ISSUE NO.	DRAWING NAME	SCALE (PAGE SIZE)	DATE ISSUED
DA.01	DA	D	Cover Sheet + Site Plan	1/200	30/08/2019
DA.02	DA	D	Roof Plan	1/100	30/08/2019
DA.03	DA	D	Existing Lower Ground Floor Plan	1/100	30/08/2019
DA.04	DA	D	Existing Ground Floor Plan	1/100	30/08/2019
DA.05	DA	D	Demolition Lower Ground Floor Plan	1/100	30/08/2019
DA.06	DA	D	Demolition Ground Floor Plan	1/100	30/08/2019
DA.07	DA	D	Lower Ground Floor Plan	1/100	30/08/2019
DA.08	DA	D	Ground Floor Plan	1/100	30/08/2019
DA.09	DA	D	First Floor Plan	1/100	30/08/2019
DA.10	DA	D	Elevations North/South	1/100	30/08/2019
DA.11	DA	D	Elevations East/West	1/100	30/08/2019
DA.12	DA	D	Sections	1/100	30/08/2019
DA.13	DA	D	Perspectives	-	30/08/2019
DA.14	DA	D	Glazing Schedule	-	30/08/2019

#### PROJECT TEAM

CLIENT GEORGE & TATIANA OPADCHY 7 CLIFFORD AVENUE, FAIRLIGHT NSW 2093 EMAIL: GEORGE@THECONSTRUCTIONSITE.COM.AU

# ARCHITECT DU PLESSIS + DU PLESSIS ARCHITECTS 20 MULGOWRIE CRESCENT, BALGOWLAH HEIGHTS NSW 2093 PHONE: 0403944576 EMAIL: E@DROOM.COM.AU CONTACT: EUGENE DU PLESSIS

SURVEYOR TRUE NORTH SURVEYS PTY LTD 16/9 NARABANG WAY BELROSE NSW 2085 PHONE: 94500868 EMAIL: ADMIN@TRUENORTHSURVEYS.COM.AU CONTACT: TOM GILBERT

ENGINEER GZ CONSULTING ENGINEERS 133 QUEENSCLIFF ROAD, QUEENSCLIFF NSW 2096 PHONE: 0403071853 EMAIL: GREG@GZENGINEERS.COM.AU CONTACT: GREG ZACCONE

#### ARBORIST PLATEAU TREES UNIT 2A WINBOURNE ESTATE 9-13 WINBOURNE RD, BROOKVALE NSW 2100 PHONE: 99395350 EMAIL: INFO@PLATEAUTREES.COM.AU CONTACT: NICK NELSON

<u>PLANNER</u> NOLAN PLANNING 75 OLIVER STREET, FRESHWATER NSW 2096 PHONE: 0403524583 EMAIL: NATALIE@NOLANPLANNING.COM.AU

#### CONTACT: NATALIE NOLAN SHADOW DIAGRAM & ENERGY CONSULTANT DENEB DESIGN PO BOX 539, MONA VALE, NSW 1660 PHONE: 99977480

EMAIL: INFO@DENEBDESIGN.COM CONTACT: CAMERON FIAZ COUNCIL NORTHERN BEACHES COUNCIL

MANLY CIVIC CENTRE **1 BELGRAVE STREET** MANLY NSW 2095

#### GENERAL

+ COORDINATION:

+ DA NOTICE OF DETERMINATION & DEVELOPMENT CONSENT: THE DEVELOPMENT TO BE SUBSTANTIALLY IN ACCORDANCE WITH THE APPROVED CONSENT PLANS AND SUPPORTING INFORMATION SUBMITTED WITH THE DA or CDC. THIS SET OF DRAWINGS HAVE TO BE READ IN CONJUNCTION WITH THE ISSUED CONSENT AND 'STAMPED APPROVED' PLANS. PRIOR TO THE COMMENCEMENT

OF ANY CONSTRUCTION WORK ON SITE THE NECESSARY CDC or CC APPROVALS & NOTICE OF COMMENCEMENT PAPERS MUST BE SUBMITTED/OBTAINED FROM THE CERTIFYING AUTHORITY IN ACCORDANCE WITH THE ACT. + DRAWING INFORMATION:

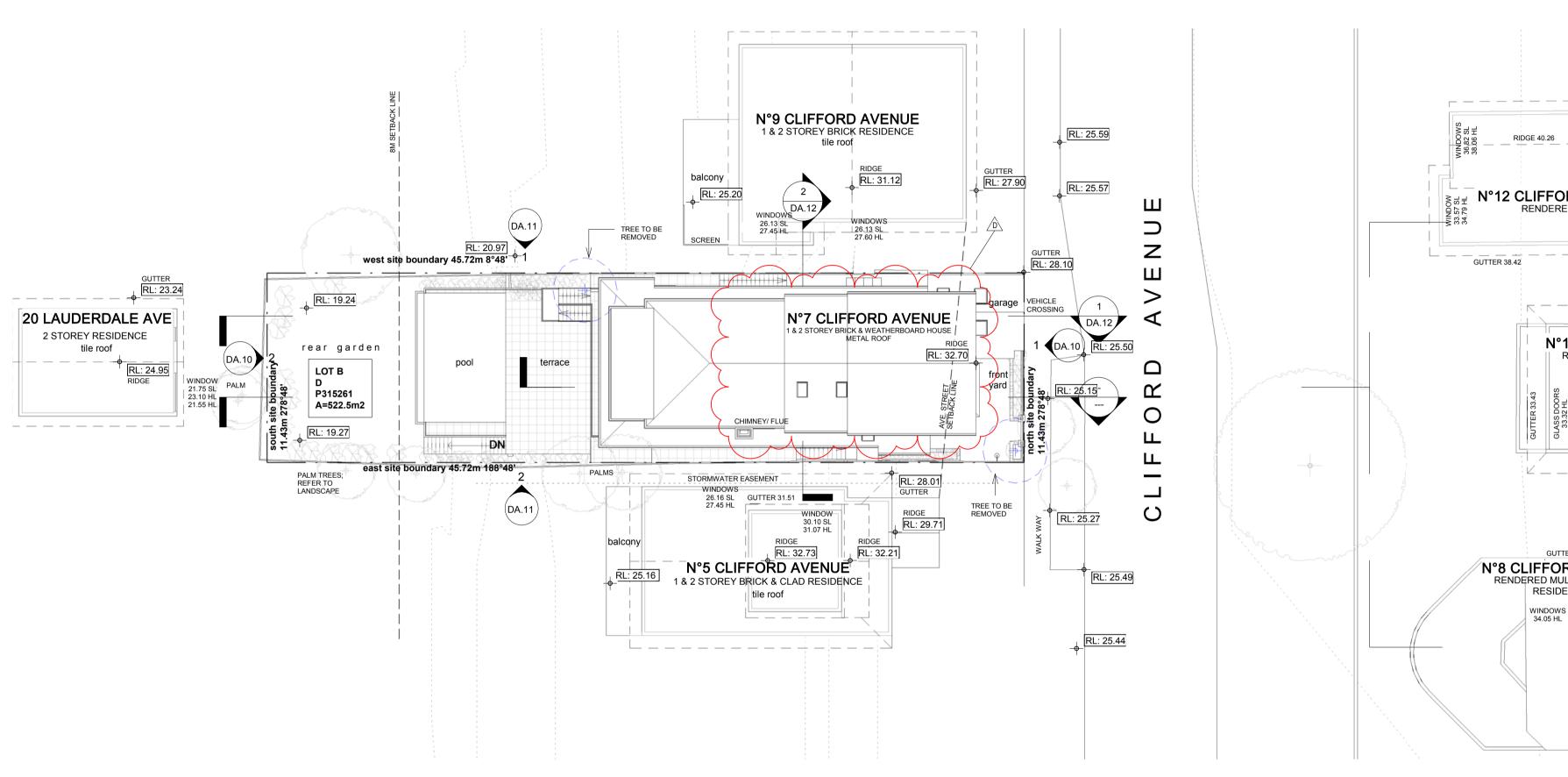
THE BUILDING IS PRINCIPALLY THAT WHICH IS DEPICTED IN THE ARCHITECTURAL PLANS, DETAILS & SPECIFICATIONS PREPARED BY DU PLESSIS + DU PLESSIS ARCHITECTS TOGETHER WITH SUPPORTING CONSULTANT DOCUMENTATION. + SITE SURVEY INFORMATION:

THE SITE INFORMATION HEREIN HAS BEEN TRANSPOSED FROM THE TRUE NORTH SURVEY PLAN #8732DU. REFER TO THIS SURVEY DRAWING TO CONFIRM BOUNDARIES, EXISTING FEATURES, LEVELS & DATUM. ALL LEVELS AND BOUNDARY SETBACKS TO BE CONFIRMED ON SITE. NOTE SEMI COMMON BDY WALL TO BE DETERMINED ACCURATELY.

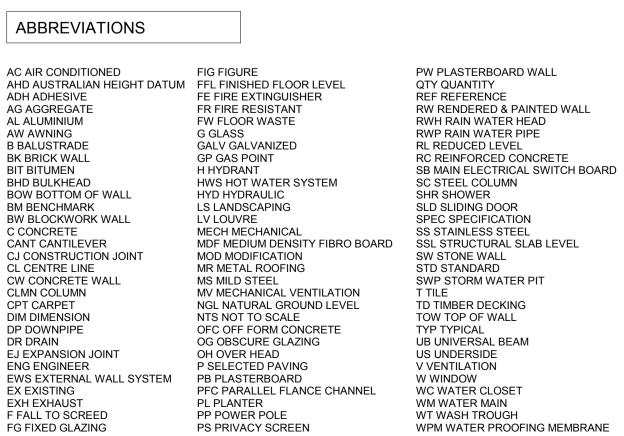
REFER TO AND COORDINATE INFORMATION CONTAINED IN THE ARCHITECTURAL DRAWINGS AND THE DOCUMENTATION OF OTHER CONSULTANTS. REPORT DISCREPANCIES BETWEEN THE DOCUMENTS AND/OR WITH CONDITIONS ON SITE TO THE ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS

+ DETAIL DRAWINGS: UNLESS NOTED OTHERWISE REFER TO DETAIL DRAWINGS FOR SET-OUT INFORMATION. DETAIL DRAWINGS AT LARGER SCALES TAKE PRECEDENCE OVER GENERAL ARRANGEMENT DRAWINGS AT SMALLER SCALES. IF IN DOUBT NOTIFY ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.

+ EXECUTION OF THE WORKS: EXECUTE THE WORKS IN COMPLIANCE WITH THE CURRENT EDITION OF THE NCC NATIONAL CONSTRUCTION CODE, CURRENT EDITIONS OF RELEVENT AUSTRALIAN AND OTHER PUBLISHED STANDARDS (AS AMENDED) AND THE REQUIREMENTS OF OTHER AUTHORITIES RELEVENT TO THE EXECUTION OF THE WORKS.



Site Plan



Residential Alterations & Additions CLASS 1a Building 7 CLIFFORD AVENUE, FAIRLIGHT LOT B; SEC 1 - D.P. 315261 EXISTING SITE AREA 522.5m<sup>2</sup>

		NOTES
		THE ARCHITECTURAL DRAWINGS AND THE DOCUMENTATION OF OTHER CONSULTANTS WITH THE 'SPECIFICATION FOR BUILDING WORKS'. REPORT DISCREPANCIES BETWEEN THE DOCUMENTS AND/OR WITH CONDITIONS ON SITE TO THE ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS. + DETAIL DRAWINGS:
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		issuedatedescriptionA02/07/2018Preliminary DA Issue for ReviewB19/10/2018DA Issue for ReviewC05/11/2018DA Issue for ReviewA05/11/2018DEVELOPMENT APPLICATIOND20/02/2010Amound DA
		D 30/08/2019 Amended DA
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RD AVENUE RD AVENUE LTI-TERRACED ENCES KI: 39.93 WINDOW 40.04 HL		- CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK. - FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE
GLASS DOORS 39.93 HL		TO SCALING. - ALL DIMENSIONS IN MILLIMETRES. - PLEASE NOTIFY DU PRESSIS + DU PRESSIS ARCHITECTS IMMEDIATELY SHOULD ANY DISCREPANCIES BE FOUND. - COPYRIGHT APPLIES TO THIS DOCUMENT. - THE DESIGN IS THE PROPRETY OF DU PLESSIS + DUPLESSIS ARCHITECTS - REPRODUCTION OF ANY KIND IS NOT PERMITTED WITHOUT CONSENT.
		- ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AS, BCA AND COUNCIL BUILDING REQUIREMENTS.
		+ DU PLESSIS DU PLESSIS ARCHITECTS
		h@droom.com.au 0433408368 www.droom.com.au
		NSW REGISTERED ARCHITECT #7435 NOMINATED ARCHITECT: EUGENE DU PLESSIS
		PROJECT TITLE:
		OPADCHY House Alterations & Additions
		GEORGE + TATIANA OPADCHY ADDRESS:
		7 Clifford Avenue Fairlight NSW 2094
		Cover Sheet + Site Plan           DRAWN:         CHECKED:
		AH EDUP
		1:200@A1 DRAWING NO:
-	NORTH	DA.01
		ISSUE: DATE: D 30/08/2019
	0m 1m 2m 3m 4m 5m 1:100 @ A1	DEVELOPMENT APPLICATION

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AS PER SITE SURVEY PLAN CONCRETE

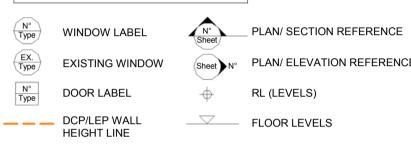
REINFORCED CONCRETE TO ENGINEER DETAILS

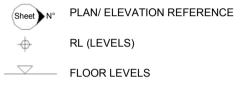
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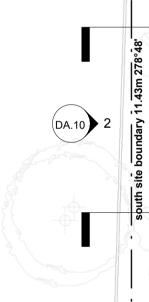
WET AREA TILING SELECTED FLOOR TILES TO FALLS & SET-OUT TO DETAIL

ROOFING COLOURBOND METAL ROOFING TO FALLS

#### SYMBOLS



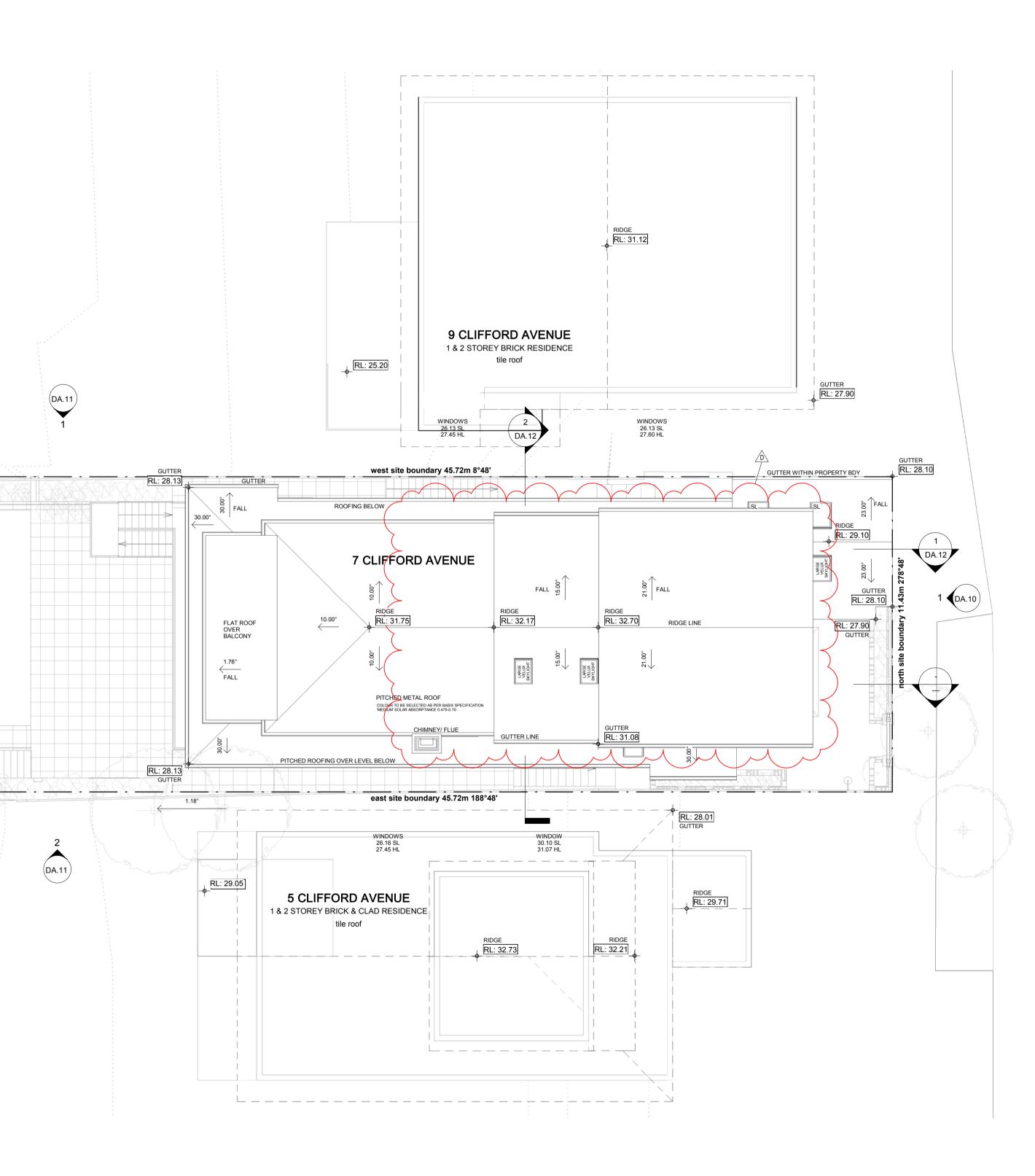




1 Roof Plan 1 : 100

(DA.11

DA.11



NOTES	5						
THE SITE INF FROM THE C. No.6373A. REI BOUNDARIESS EXISTING HO MARK SURVE <u>+ COORDINAT</u> REFER TO AN THE ARCHITE OF OTHER CC. BUILDING WC DOCUMENTS ARCHITECT F THE WORKS. + DETAIL DRA	M.S. SURVEYOF FER TO THIS DF FER TO THIS DF USE WALL MEA: VS AND ACCUR TION: ID COORDINATE CTURAL DRAW DNSULTANTS W NSKS'. REPORT AND/OR WITH ( OR DIRECTION AWINGS:	N: REIN HAS BEEN TRANSPOSE RS Pty Ltd SURVEY PLAN RAWING TO CONFIRM ITURES, LEVELS & DATUM. ISUREMENTS (INTERNAL) BY RACY T.B.C ON SITE. E INFORMATION CONTAINED INGS AND THE DOCUMENT ITH THE 'SPECIFICATION FO DISCREPANCIES BETWEEN CONDITIONS ON SITE TO TH PRIOR TO PROCEEDING WI E REFER TO DETAIL DRAWIN	YV- D IN ATION DR THE IE TH				
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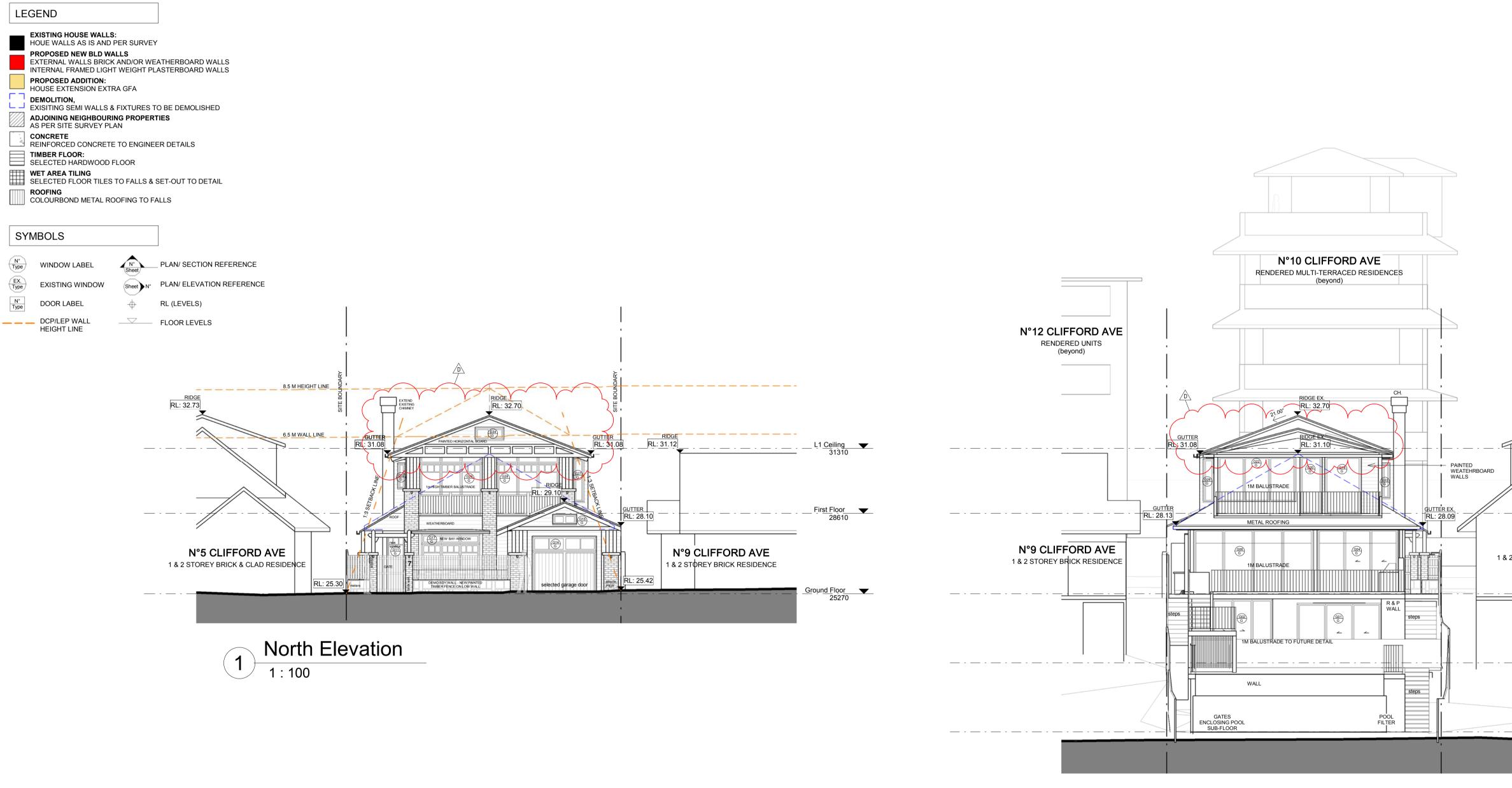
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2 South Elevation

	NOTES
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	issue         date         description           A         02/07/2018         Preliminary DA Issue
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	APPLICATION D 30/08/2019 Amended DA
N°8 CLIFFORD AVE RENDERED MULTI-TERRACED	
RESIDENCES (beyond)	
L1 <u>Ceiling</u> 31310	- CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE
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N°5 CLIFFORD AVE 2 STOREY BRICK & CLAD RESIDENCE	AS, BOA AND COUNCIL BUILDING REQUIREMENTS.
Ground Floor 25270	+ DU PLESSIS DU PLESSIS ARCHITECTS
	h@droom.com.au
<u>Lower Ground Floor</u>	0433408368 www.droom.com.au
22400	NSW REGISTERED ARCHITECT #7435 NOMINATED ARCHITECT: EUGENE DU PLESSIS
Sub Floor Pool Plan	
19530	PROJECT TITLE: OPADCHY
	House Alterations & Additions
	GEORGE + TATIANA OPADCHY
	ADDRESS: 7 Clifford Avenue Fairlight NSW 2094
	DRAWING TITLE:
	Elevations North/South
	AH CHECKED:
	scale: 1:100@A1
	DRAWING NO:
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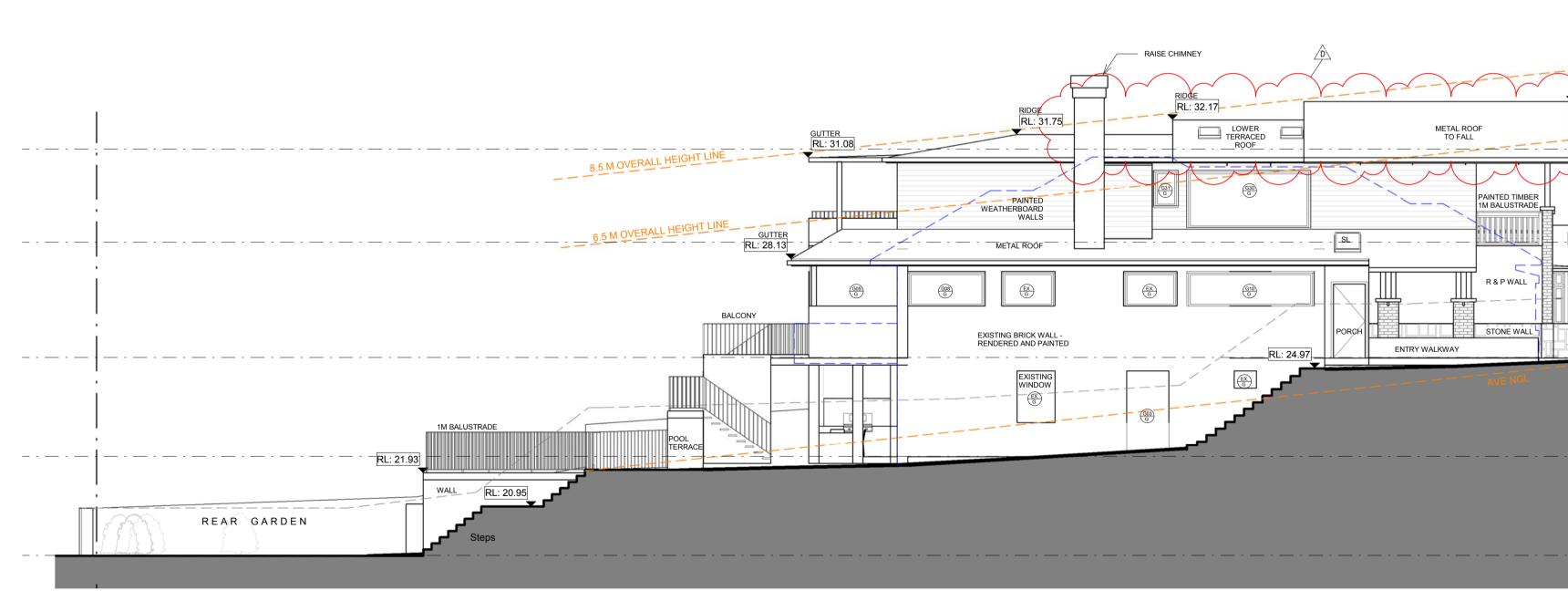
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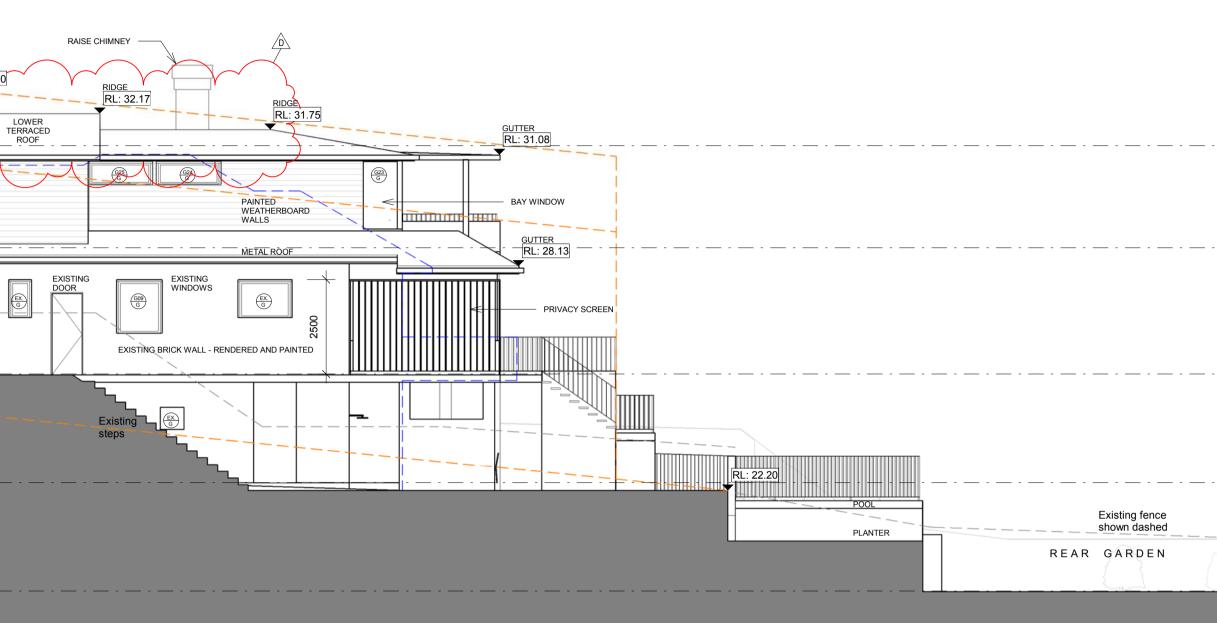
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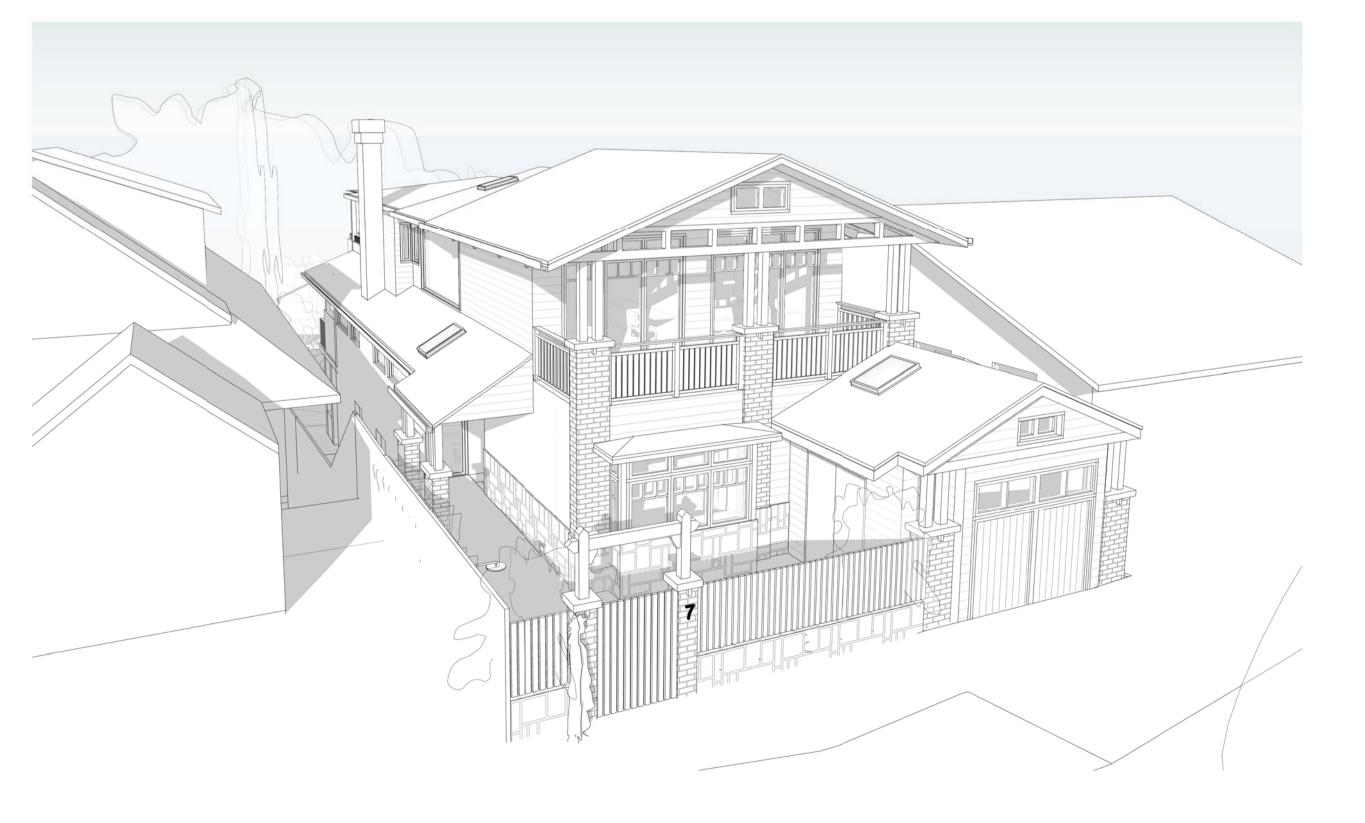




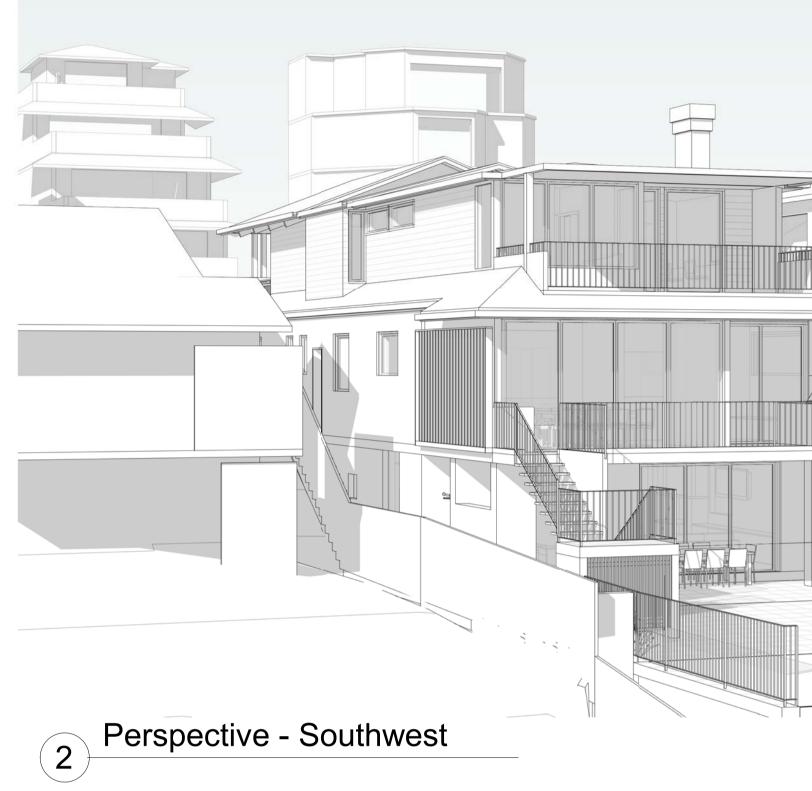
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		No.6373A. REFER TO THIS DRAWING TO CONFIRM BOUNDARIES, EXISTING FEATURES, LEVELS & DATUM. EXISTING HOUSE WALL MEASUREMENTS (INTERNAL) BY V- MARK SURVEYS AND ACCURACY T.B.C ON SITE.
		+ COORDINATION: REFER TO AND CORDINATE INFORMATION CONTAINED IN THE ARCHITECTURAL DRAWINGS AND THE DOCUMENTATION
		OF OTHER CONSULTANTS WITH THE 'SPECIFICATION FOR BUILDING WORKS'. REPORT DISCREPANCIES BETWEEN THE DOCUMENTS AND/OR WITH CONDITIONS ON SITE TO THE ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING WITH
		THE WORKS. + DETAIL DRAWINGS: UNLESS NOTED OTHERWISE REFER TO DETAIL DRAWINGS
		FOR SET-OUT INFORMATION. DETAIL DRAWINGS AT LARGER SCALES TAKE PRECEDENCE OVER GENERAL ARRANGEMENT DRAWINGS AT SMALLER SCALES. IF IN DOUBT NOTIFY ARCHITECTS FOR DIRECTION PRIOR TO PROCEEDING WITH
		THE WORKS. + EXECUTION OF THE WORKS: EXECUTE THE WORKS IN COMPLIANCE WITH THE CURRENT
		EDITION OF THE BUILDING CODE OF AUSTRALIA (AS AMENDED), CURRENT EDITIONS OF RELEVANT AUSTRALIAN AND OTHER PUBLISHED STANDARDS (AS AMENDED) AND THE REQUIREMENTS OF OTHER AUTHORITIES RELEVANT TO THE
		EXECUTION OF THE WORKS.
		issue date description
		A 02/07/2018 Preliminary DA Issue for Review
		B         19/10/2018         DA Issue for Review           C         05/11/2018         DEVELOPMENT
I		APPLICATION D 30/08/2019 Amended DA
<u>_</u>	L1 <u>Ceiling</u> 31310	
8		
2700		
1		
3340		
	Ground Floor 25270	
1		
2870		
1	Lower Ground Floor	
	22400	
5870		
7355		
<u> </u>	Sub Floor Pool Plan 19530	
		- CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE
		BEFORE COMMENCING WORK. - FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING. - ALL DIMENSIONS IN MILLIMETRES.
		- PLEASE NOTIFY DU PRESSIS + DU PRESSIS ARCHITECTS     IMMEDIATELY SHOULD ANY DISCREPANCIES BE FOUND.     - COPYRIGHT APPLIES TO THIS DOCUMENT.     - THE DESIGN IS THE PROPRETY OF DU PLESSIS +
		DUPLESSIS ARCHITECTS - REPRODUCTION OF ANY KIND IS NOT PERMITTED WITHOUT CONSENT. - ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AS, BCA AND COUNCIL BUILDING REQUIREMENTS.
		AS, BCA AND COUNCIL BUILDING REQUIREMENTS.
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	L1 Ceiling	DU PLESSIS ARCHITECTS
	31310	h@droom.com.au
RIDGE RL: 29.10		0433408368 www.droom.com.au
SL SL	First Floor	NSW REGISTERED ARCHITECT #7435
	28610	NOMINATED ARCHITECT: EUGENE DU PLESSIS
FRONT YARD	37 Ground Floor	PROJECT TITLE: OPADCHY
	25270	House Alterations & Additions
		CLIENT NAME:
		GEORGE + TATIANA OPADCHY
+	Lower Ground Floor 22400	ADDRESS:
		7 Clifford Avenue
		Fairlight NSW 2094
	Sub Floor Pool Plan	DRAWING TITLE: Elevations East/West
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NOTES

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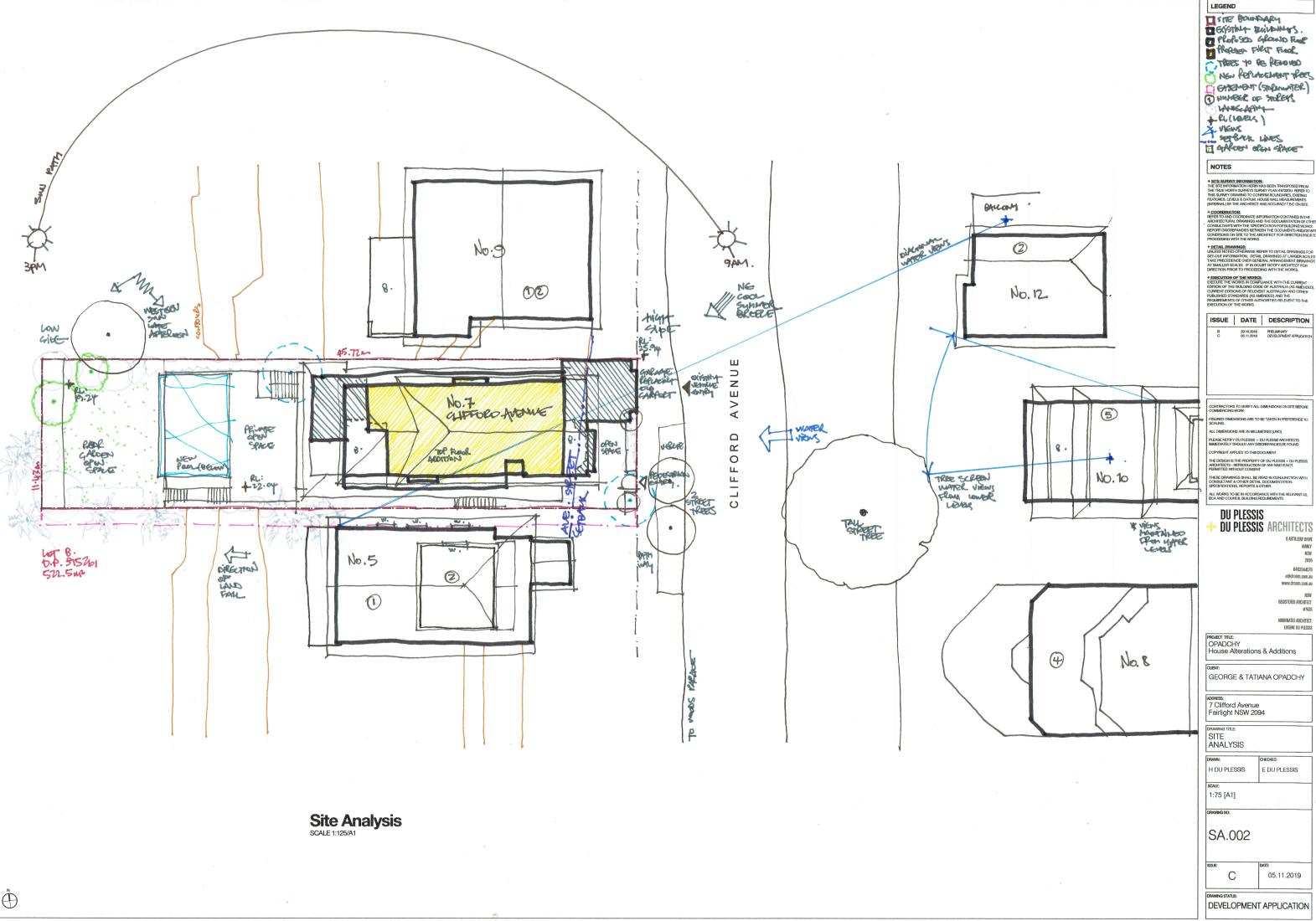
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DEVELOPMENT APPLICATION

GLAZING	WINDOW TYPE
G01	
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FLOOR	AREA	LENGTH	HEIGHT	SILL HEIGHT	ng Schedule	FUNCTION	QUANTITY	FRAME TYPE	SHADING	HARDWARE
LG	9 m <sup>2</sup>	3486	2500	0	ORIENTATION	Exterior	1	TIMBER	SHADING	TARDWARE
 LG	7 m <sup>2</sup>	2523	2670	0		Exterior	1	TIMBER		
 LG	3 m <sup>2</sup>	1220	2500	0		Exterior	1	TIMBER		
 GF	9 m²	3365	2700	0		Exterior	1	TIMBER		
 GF	6 m <sup>2</sup>	2401	2700	0		Exterior	1	TIMBER		
 GF	13 m <sup>2</sup>	4990	2700	0		Exterior	1	TIMBER		
 GF	9 m²	3775	2500	0		Exterior	1	TIMBER		
 GF	2 m²	2250	1000	1500		Exterior	1	TIMBER		
GF	2 m²	1200	1400	1100		Exterior	1	TIMBER		
GF	4 m²	3681	1000	1500		Exterior	1	TIMBER		
GF	2 m²	797	2425	0		Exterior	1	TIMBER		
GF	2 m²	2147	1000	1500		Exterior	1	TIMBER		
GF	1 m²	700	2100	0		Exterior	1	TIMBER		
GF	6 m²	2700	2400	0		Exterior	1	TIMBER		
GF	0 m²	1000	400	2908		Exterior	1	TIMBER		
GF	1 m²	350	1500	1000		Exterior	1	TIMBER		
GF	4 m²	2635	1500	1000		Exterior	1	TIMBER		
GF	1 m²	350	1500	1000		Exterior	1	TIMBER		
FF	4 m²	1520	2400	0		Exterior	1	TIMBER		
FF	2 m²	930	2400	0		Exterior	1	TIMBER		
FF	2 m²	900	1800	500		Exterior	1	TIMBER		
FF	6 m²	3250	1900	500		Exterior	1	TIMBER		
FF	2 m²	900	1800	500		Exterior	1	TIMBER		
FF	1 m²	1700	600	1700		Exterior	1	TIMBER		
FF	1 m²	1700	600	1700		Exterior	1	TIMBER		
FF	1 m²	450	1800	500		Exterior	1	TIMBER		
FF	1 m²	450	1800	500		Exterior	1	TIMBER		
FF	7 m²	2605	2500	0		Exterior	1	TIMBER		
FF	7 m²	2605	2500	0		Exterior	1	TIMBER		
FF	6 m²	3580	1670	430		Exterior	1	TIMBER		
FF	1 m²	700	1050	1050		Exterior	1	TIMBER		
FF	0 m²	330	1050	1050		Exterior	1	TIMBER		
FF	0 m²	330	1450	650		Exterior	1	TIMBER		
FF	1 m²	1200	500	3100		Exterior	1	TIMBER		

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### DU PLESSIS + DU PLESSIS ARCHITECTS

#### 20 MULGOWRIE CRESCENT BALGOWLAH HEIGHTS NSW 2093

0403944576 e@droom.com.au www.droom.com.au

> NSW REGISTERED ARCHITECT: #7435

NOMINATED ARCHITECT: Eugene du Plessis



# **SCHEDULE OF EXTERNAL COLOURS & FINISHES**

Address: No. 7 Clifford Avenue, Fairlight NSW 2093 Project: Alterations to an existing residential dwelling Applicants & Owners: George & Tatiana Opadchy Prepared by: Du Plessis + DuPlessis Architects Date: March 2019 Issue: NBC Council Development Application

#### <u>WALLS</u>

#### 1. Existing house masonry walls

Make good and re-paint existing house lower level brick and/or rendered walls. *Refer Dulux paint colours below.* 

#### 2. Proposed addition framed light-weight walls

Painted weatherboard cladding (typically Scyon Linea). *Refer Dulux paint colours below.* 

#### 3. Garden & other feature walls

Selected sandstone wall cladding (typically Eco Outdoor).

#### <u>ROOFS</u>

#### 4. All roofing

Pitched Colorbond metal roofs to falls [0.58 Solar Absorptance & BCA Class 'M') Refer Colorbond roof colour below 'Windspray'

#### 5. All roof gutters, downpipes, etc

Selected profiles (typically Stratco) Refer Colorbond roof colour below 'Windspray'

#### **FLOORING**

#### **6. House Terraces & Balconies** Selected large format slip free tiles to falls Selected external grade travertine large format tiles

#### WINDOW & DOORS

**7.** All doors & Windows White painted hardwood timber frame window & doors *Refer Dulux paint colours below.* 

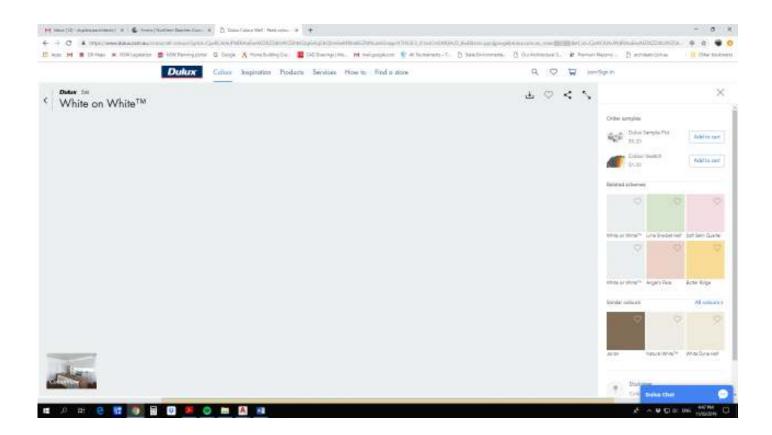
#### <u>OTHER</u>

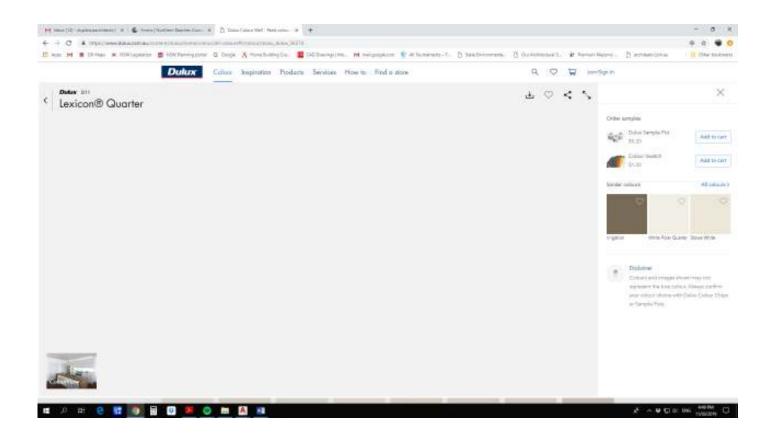
**8. Gables, fascia, eaves, timber fretwork, privacy screens, balustrades, street picket fence, etc** White painted hardwood timber, board & other *Refer Dulux paint colours below.* 

**9. Pool safety fencing** Frameless glass to detail [to comply with regulations)

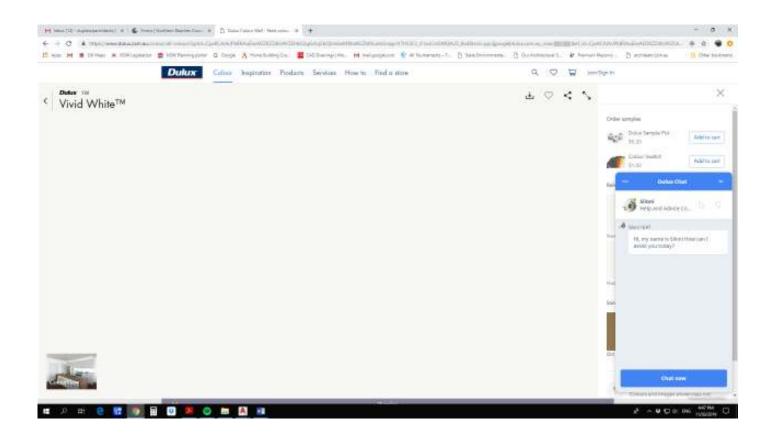
#### 10. Skylights

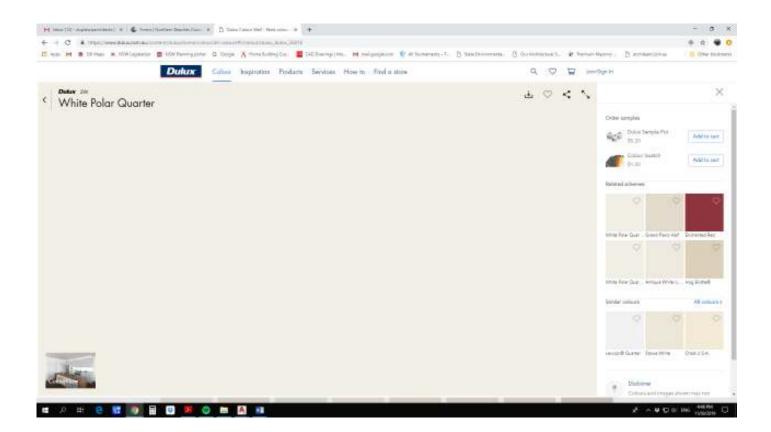
Proprietary as per manufacturer's details [Velux or similar glazing to comply with BASIX].





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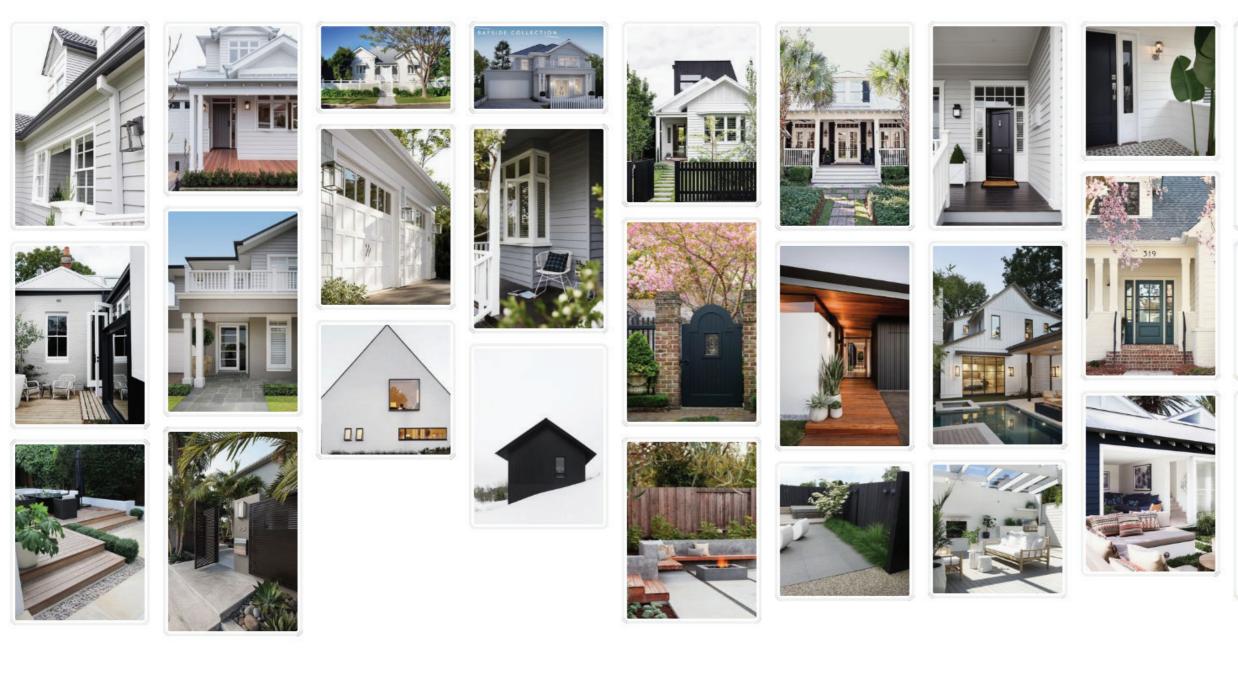




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# **Exteriors** Colours, Gates, Flooring







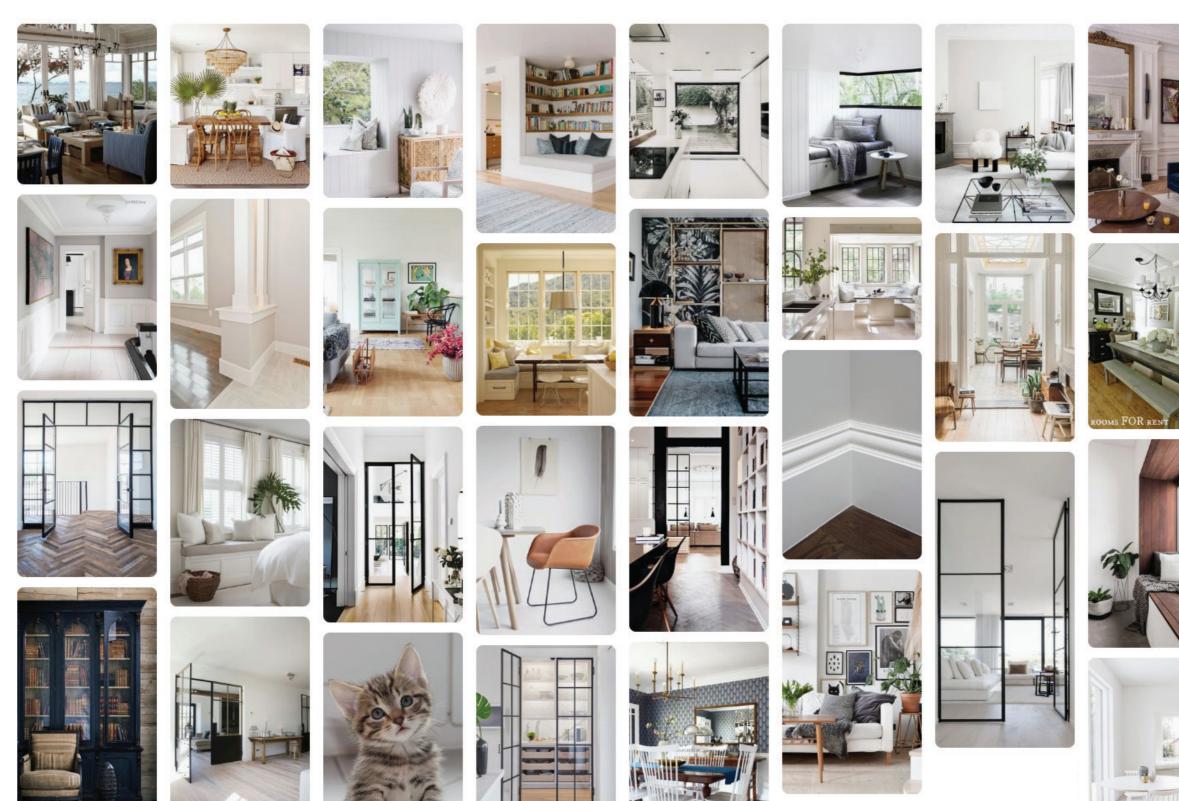








# **Interiors** Living and Dining Areas / 1















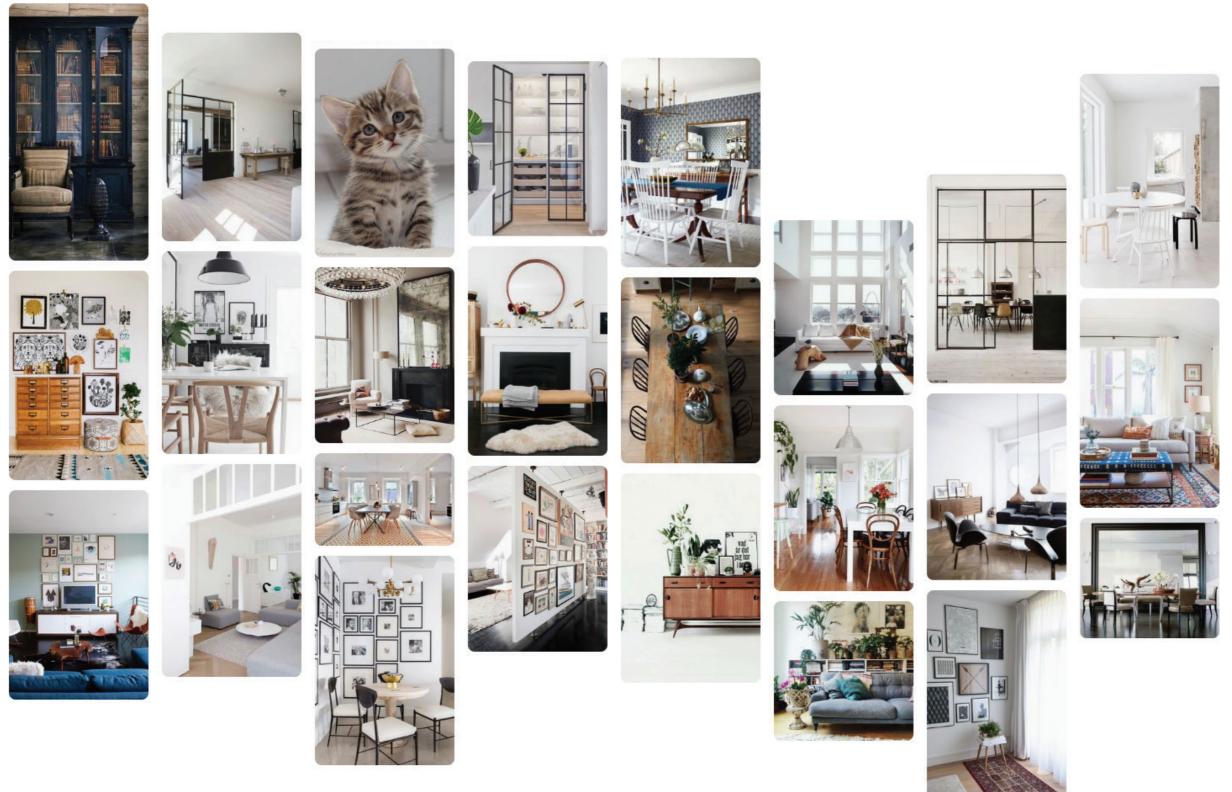








**Interiors** Living and Dining Areas / 2







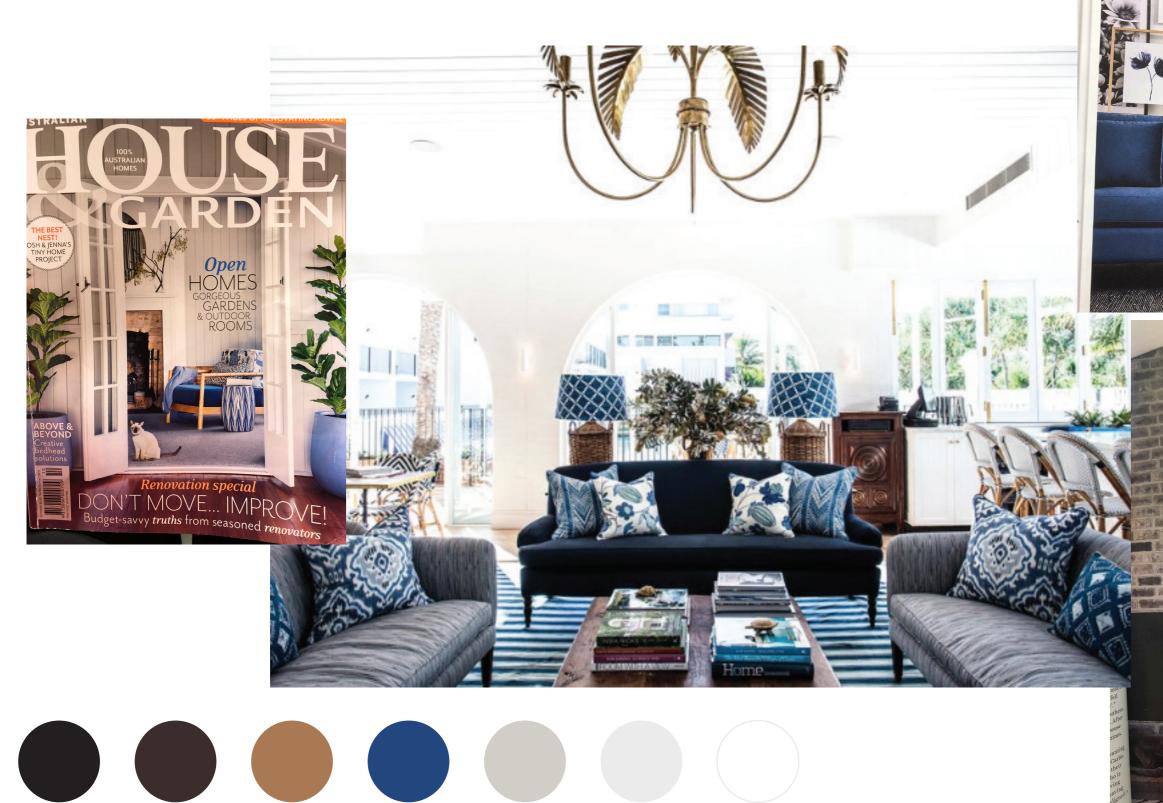








Colour Palette Options







### LANDSCAPE NOTES

#### 1. SITE PREPARATION

ANY EXISTING TREES AND VEGETATION TO BE RETAINED SHALL BE PRESERVED AND PROTECTED FROM DAMAGE OF ANY SORT DURING THE EXECUTION OF LANDSCAPE WORK. IN PARTICULAR, ROOT SYSTEMS OF EXISTING PLANTS MUST NOT BE DISTURBED IF POSSIBLE.

ANY NEARBY SITE WORKS SHOULD BE CARRIED OUT CAREFULLY USING HAND TOOLS. TO ENSURE THE SURVIVAL AND GROWTH OF EXISTING TREES DURING LANDSCAPING WORKS, PROTECT BY FENCING OR ARMORING WHERE NECESSARY.

TREES SHALL NOT BE REMOVED OR LOPPED UNLESS SPECIFIC WRITTEN APPROVAL TO DO SO IS GIVEN OR IS INDICATED ON PLAN. STORAGE OF MATERIALS, MIXING OF MATERIALS, VEHICLE PARKING, DISPOSAL OF LIQUIDS, MACHINERY REPAIRS AND REFUELING, SITE OFFICE AND SHEDS, AND THE LIGHTING OF FIRES SHALL NOT OCCUR WITHIN THREE (3) METERS OF ANY EXISTING TREES.

DO NOT STOCKPILE SOIL, RUBBLE OR OTHER DEBRIS CLEARED FROM THE SITE, OR BUILDING MATERIALS, WITHIN THE DRIPLINE OF EXISTING TREES. VEHICULAR ACCESS SHALL NOT BE PERMITTED WITHIN THREE (3) METERS OF ANY TREE.

### 2. SOIL PREPARATION

ALL PROPOSED PLANTING AREAS TO BE DEEP RIPPED TO 300MM AND CLAY SOILS TO BE TREATED WITH CLAY BREAKER. HARVEST EXISTING TOP SOIL FROM SITE AND STORE ON SITE. MIX WITH 25% A.N.L. GREENLIFE COMPOST OR APPROVED EQUIVALENT.

TO BE FULLY MIXED PRIOR TO INSTALLATION AND THEN WORKED IN WITH HOE. CARE TAKEN TO HAND CULTIVATE IN ANY AREA WHERE EXISTING TREE ROOTS EXIST TO

APPLY AT LEAST 200MM SOIL DEPTH TO PLANTING ARES. ADDITIONAL REQUIRED SOIL TO BE OF GOOD QUALITY PLANTING MIX TO BE IMPORTED AND COMBINED WITH 25% DEPTH A.N.L. GREENLIFE COMPOST OR APPROVED EQUIVALENT.

PRESERVE HEALTH OF TREES. 3. NEW PLANTINGS

#### NEWLY PLANTED TREES AND LARGE SHRUBS SHOULD BE SECURED TO STAKES WITH HESSIAN TIES TO PREVENT ROCKING BY WIND.

PLANTING HOLES FOR PLANT MATERIAL SHOULD BE LARGE ENOUGH IN SIZE TO TAKE ROOT BALL WITH ADDITIONAL SPACE TO TAKE BACK FILLING OF GOOD QUALITY PLANTING MIX. (SEE DETAIL) MATURE HEIGHTS OF PLANTING AS SHOWN ON PLANTI G SCHEDULE SHOW THE GREATEST HEIGHT POSSIBLE IN IDEAL CONDITIONS.

THESE HEIGHTS ARE SUBJECT TO PARTICULAR SITE CONDITIONS, POSSIBLE CONTAINER ENVIRONMENTS AND INTENDED HEDGING OR PRUNING FOR FUNCTIONAL REQUIREMENTS SUCH AS AVAILABLE PLANTING WIDTH INTENDED ACCESS UNDER BRANCHES AND SOLAR ACCESS. 4. MULCHING

ALL PLANTING AREAS TO BE MULCHED WITH A MINIMUM 100MM THICK COVER OF FOREST FINES MULCH AND THEN ALL PLANT AREAS TO BE THOROUGHLY SOAKED WITH 5. FERTILIZER

ALL PLANTING AREAS TO BE FERTILIZED WITH 9 MONTH' NP'K SLOW RELEASE FERTILIZER

# 6. STAKING

TO THOSE PLANTS INDICATED ON THE PLANTING SCHEDULES PROVIDE HARDWOOD STAKES AS NOMINATED AND DRIVEN INTO GROUND TO A DEPTH ABLE TO ACHIEVE RIGID SUPPORT.

# 7. LAWN EDGING

ALL PLANTER BEDS ADJACENT TO LAWN AREAS TO HAVE FLUSH TIMBER EDGING TO FUTURE DETAIL.

FAILED PLANTS, MAINTAINING MULCH, PRUNING, INSECT AND DISEASE CONTROL, CLEANING OF SURROUNDING AREAS.

# 8. IRRIGATION

AUTOMATIC WATERING SYSTEM TO BE SELECTED. TO EXTEND TO ALL LANDSCAPED AREAS INCLUDED IN WORKS. IN GROUND DRIP LINE IRRIGATION ONLY EXCLUDING LAWN AREAS. THE LANDSCAPE CONTRACTOR IS TO LIAISE WITH COUNCIL AS NECESSARY TO ENSURE THAT THE IRRIGATION SYSTEM CONFORMS WITH ALL WATER BOARD, COUNCIL AND AUSTRALIAN STANDARDS (AS) TO BE CONNECTED TO PREFABRICATED RAINWATER STORAGE TANKS LOCATED IN SUB-BASE AREA.

### 9. TURFING

TURF TO BE SOFT LEAF BUFFALO ON 150mm GOOD QUALITY TURF UNDERLAY OVER SOIL AREAS TO BE DEEP RIPPED TO 300MM DEPTH PRIOR TO INSTALLATION. 10. STRUCTURAL

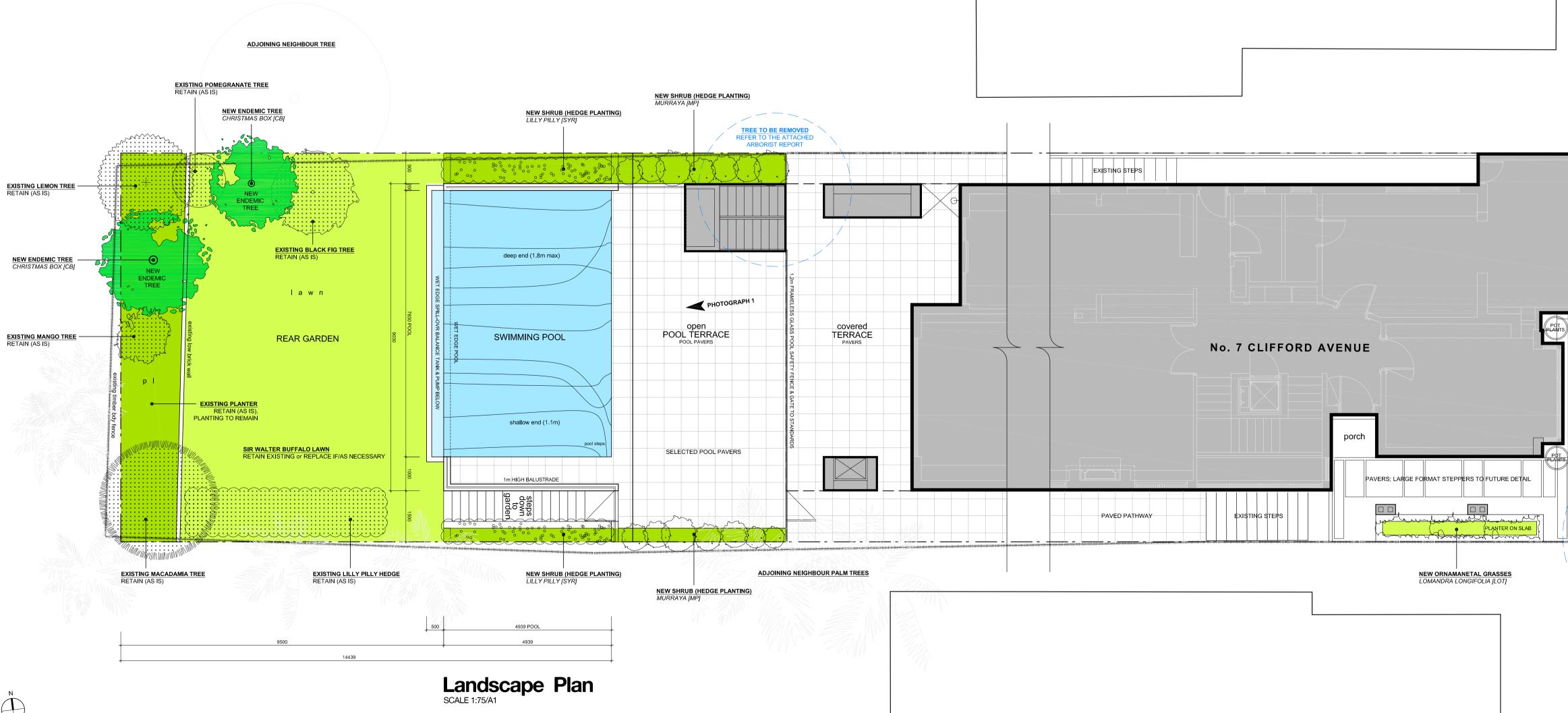
ALL STRUCTURAL PLANTER RETAINING WALLS TO ENGINEER'S DETAILS

## 11. MAINTENANCE

THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE CONTRACT AREAS BY ACCEPTED HORTICULTURAL PRACTICES AS WELL AS RECTIFYING ANY DEFECTS THAT BECOME APPARENT IN THE WORKS UNDER NORMAL USE. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE WORKS AND MAKE GOOD ALL DEFECTS FOR A PERIOD OF THIRTEEN (13) WEEKS AFTER THE DATE OF PRACTICAL COMPLETION.

PRACTICAL COMPLETION OF THE LANDSCAPE WORKS SHALL INCLUDE BUT NOT BE LIMITED TO THE REPLACEMENT OF PLANTS WHICH HAVE FAILED OR BEEN DAMAGED OR STOLEN DURING WORK UNDER THE CONTRACT. LANDSCAPE MAINTENANCE SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: WATERING, RUBBISH REMOVAL, SPRAYING AND WIPING LEAF SURFACES, REPLACING

 Hardwood stakes as specified Top of rootball 100mm above surrounding ground Root prune with saw or shovel outside 3-4cm of rootball to remove any roots arowing around the outside of the pot/bag or vertically immediately prior to planting Loosely loop hessian tie 1200 — 50mm depth mulch as specified, 2 x 2m area. keep mulch away from trunk of tree 0000 — Premium garden mix as specified 300- Loosen soil on sides of hole 300 — 50/50 mix of site soil and 1111111111 premium garden mix as specified Cultivate base 150mm DETAIL A TREE PIT NTS



# POOL NOTES

### 1. POOL DESIGN

- POOL SIZE = 7.8m X 4.9m
  POOL VOLUME = MAXIMUM 36 KILOLITRES
- NOTE: POOL SUBJECT TO DETAIL STRUCTURAL ENGINEERING DESIGN BY OTHERS.

#### 2.POOL FENCING

- POOL SAFETY FENCE MUST:
- 3. POOL REGISTRATION
- OWNERS TO REGISTER THE POOL WITH COUNCIL and/or FTNSW

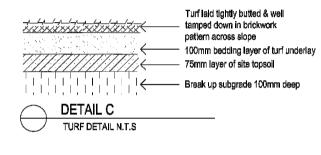
<u>4. OTHER</u>

POOL TILES, LIGHTS, ETC TO BE DECIDED. POOL HEATING TO BE CONFIRMED. POOL DRAINAGE TO STORMWATER ENGINEER DETAILS.

## planting schedule BOTANICAL NAME SYMBOL TREES PLUMERIA ACUTIFOLIA PLU POOL COPING LEVEL = RI:21.93 POOL FENCING = 1.2m FRAMELESS GLASS SAFETY FENCE & GATES TO COMPLY WITH STANDARDS TRISTANIOPSIS POOL FILTER BOX = LOCATED IN BELOW ENCLOSED POOL VOID AREA (ACCESSED FROM LOWER GARDEN AREA) SHRUBS BUXUS MICROPHYLLA 'JAPONICUM BMJ MURRAYA SYR SYZYGIUM RESILIENCE • BE AT LEAST 1.2M HIGH (AS MEASURED FROM THE FINISHED GROUND LEVEL) ORNAMENTAL GRASSES NOT LEAVE A GAP AT THE BOTTOM BIGGER THAN 100mm FROM THE FINISHED GROUND LEVEL IF A BOUNDARY FENCE IS PART OF THE POOL FENCE, THE BARRIER MUST BE 1.8m HIGH LOT LOMANDRA LONGIFOLIA • NOT HAVE GAPS OF MORE THAN 100mm BETWEEN ANY VERTICAL BARS IN THE FENCE TURF SIR WALTER BUFFALO SWB

Apply 50mm depth of CARRAN CARACA DETAIL B as specified SHRUB PLANTING DETAIL N.T.S  $\searrow$ 

mulch uniformly applied 100mm away from stems Scarify existing subsoil to a depth of 150mm minimum to facilitate root growth Planting hole to be twice as wide as container and as deep as container. backfilled with garden mix



<u>PHOTOGRAPH 1</u> EXISTING REAR YARD GARDEN

FRANGPANI       2       2-3m         JAPANESE BOX       8       0.5m         DLILLY PILLY PIEDGED       12       2-2.5m         FINE LEAF DWARF LOMANDRA       6       0.5m         BUFFALO LAWN       NA       NA         FINE ICATION       NA       NA
ORANGE JESSAMINE     10     1.5m       LILLY PILLY [HEDGED]     12     2-2.5m
FINE LEAF DWARF LOMANDRA 6 0.5m
<text></text>

PAVERS ON SLAB TERRACE	EXISTING STREET TREES PROTECT & RETAIN (AS IS)
entry pathway outgoor shower FRANGIPANI (FI	
REFER TO THE ATTACHED ARBORIST REPORT	O

	TURF LAWN ARE/ PLANTING GARDEN AR	BEDS				
	EXISTING S TO REMAIN NEW SITE 1	REES				
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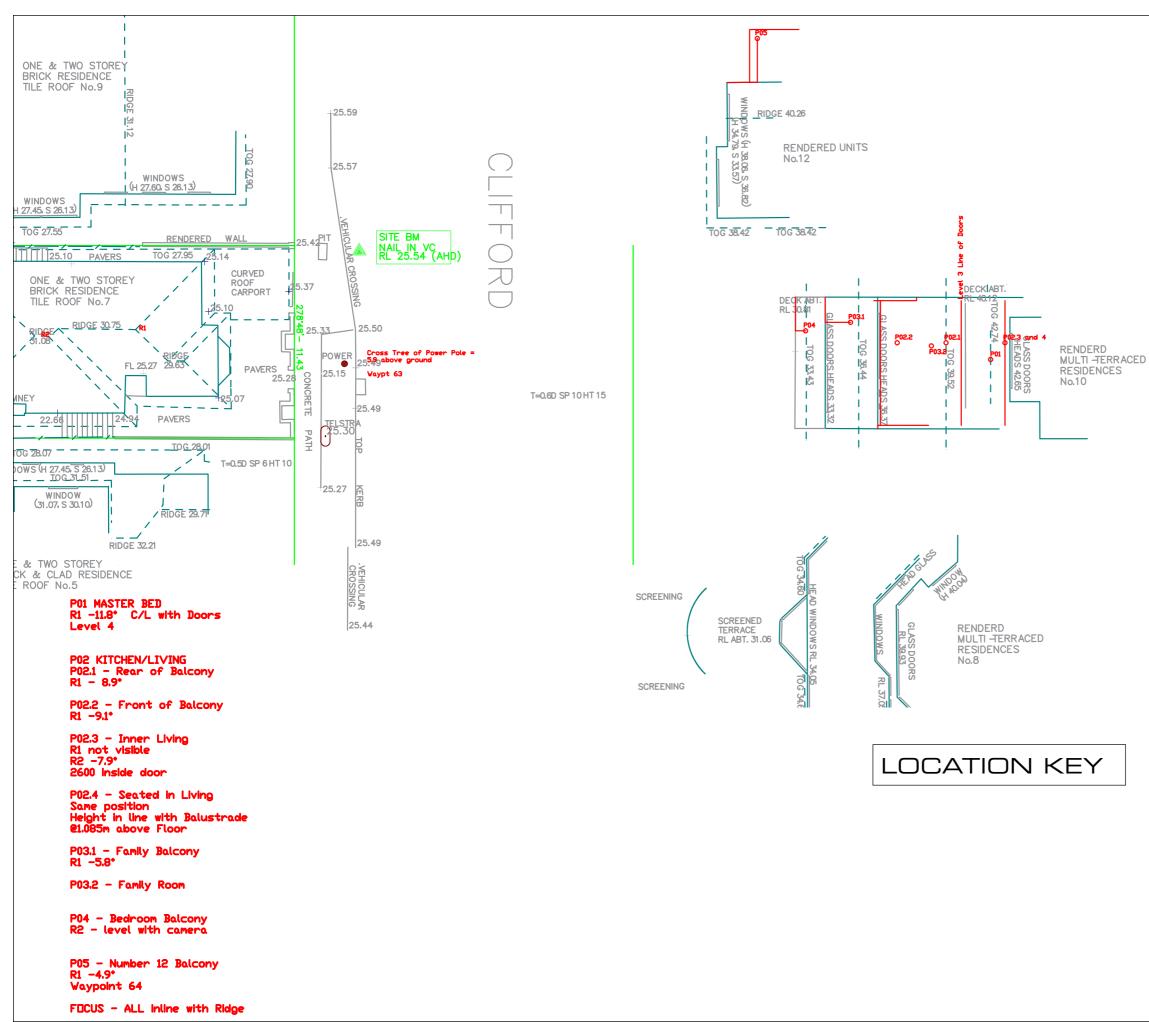
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DuPlessis Architects - Feb 2019 - drawing instruction for DA Compliant Massing Envelope

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	CERTIFIED PHOTOMONTAGE No : PMC156603- Refer to attached Certificate.
	Certifier: Cameron McFadzean B Arch BA (Arch) IES ABSA AAAI
	NOTE: Photomontage perspective based on camera data, Laser Survey position and survey photomatch - Existing. Camera Data: Daylight: 7/09/18 NOON Lens: (35mm efl) 24mm lens, Level Target.
	Lens: (35mm en) 24mm lens, Level Target.
	No.10 CLIFFORD AVP 01Level 4 MASTER BEDP02LEVEL 3 KITCHEN / LIVINGP02.1REAR of BALCONYP02.2FRONT of BALCONYP02.3LIVING - StandingP02.4LIVING - SeatedP03LEVEL 2 FAMILYP03.1FAMILY BALCONYP03.2FAMILY ROOM - StandingP04Level 1 BEDROOM
	No.12 CLIFFORD AV
	P 05 BALCONY
	NOTE 2: MASSING ENVELOPE DA Compliant Massing Envelope model (RED) has been shown in overlay with the Proposed DA Design as per DuPlessis Architects drawing set.
	PHOTOMONTAGE VIEW ANALYSIS WITH DA MASSING ENVELOPE
	DA COMPLIANT MASSING
	PROJECT PROPOSED ALTERATIONS AND ADDITIONS CLIFFORD AVE FAIRLIGHT NSW
	CLIENT: George & Tatiana Opadchy
	DESIGNER
	+ DU PLESSIS DU PLESSIS ARCHITECTS
	DATA SOURCE (In order of precedence)
	<ul> <li>Registered Survey - <u>True North Surveys, Ref 8732, 23/11/17</u>.</li> <li>Architectural Plans - (3D Data ) <u>DuPlessis Ref 07.11.18, (Ver B NOV.18)</u></li> </ul>
	PAGE : P 01 3D SHADOW DIAGRAMS / VISUALISATION + ANALYSIS
	DATE : 27.02.19 DENEB DESIGN
	VERSION : 03 U 02 9997 7480 info@denebdesign.com.au Www.denebdesign.com.au



CERTIFIED PHOTOMONTAGE No: PMC156603- Refer to attached Certificate Certifier: Cameron McFadzean B Arch BA (Arch) IES ABSA AAAI NOTE: Photomontage perspective based on camera data, Laser Survey position and survey photomatch - Existing. Camera Data: Daylight: 7/09/18 NOON Lens: (35mm efl) 24mm lens, Level Target. No.10 CLIFFORD AV Level 4 MASTER BED P 01 P02 LEVEL 3 KITCHEN / LIVING P02.1 REAR of BALCONY FRONT of BALCONY P02.2 P02.3 LIVING - Standing P02.4 LIVING - Seated P03 LEVEL 2 FAMILY P03.1 FAMILY BALCONY P03.2 FAMILY ROOM - Standing P04 Level 1 BEDROOM No.12 CLIFFORD AV P 05 BALCONY PHOTOMONTAGE VIEW ANALYSIS WITH DA MASSING ENVELOPE CAMERA POSITION KEY PROJECT PROPOSED ALTERATIONS AND ADDITIONS CLIFFORD AVE FAIRLIGHT NSW CLIENT: George & Tatiana Opadchy DESIGNER **DU PLESSIS** h@droom.com.au 0433408368 **DU PLESSIS** ARCHITECTS www.droom.com.au DATA SOURCE (In order of precedence) • Registered Survey - True North Surveys, Ref 8732, 23/11/17. Architectural Plans - (3D Data ) DuPlessis Ref 07.11.18, (Ver B NOV.18) 3D SHADOW DIAGRAMS / P 02 PAGE : VISUALISATION + ANALYSIS DENEB DESIGN DATE : 27.02.19 C 02 9997 7480 VERSION : ΟЗ info@denebdesign.com.au REF 1566 denebdesign www.denebdesign.com.au



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Certifier: Cameron McFadzean B Arch BA (Arch) IES ABSA AAAI

#### NOTE:

Photomontage perspective based on camera data, Laser Survey position and survey photomatch - Existing. Camera Data: Daylight: 7/09/18 NOON Lens: (35mm efl) 24mm lens, Level Target.

# SP PROPER MASTER BED



CAMERA LOCATION



#### PHOTOMONTAGE VIEW ANALYSIS WITH DA MASSING ENVELOPE

PO3.2 - Level 2 FAMILY ROOM No.10 CLIFFORD AVE

PROJECT PROPOSED ALTERATIONS AND ADDITIONS CLIFFORD AVE FAIRLIGHT NSW

CLIENT: George & Tatiana Opadchy

DESIGNER

DU PLESSIS DU PLESSIS ARCHITECTS

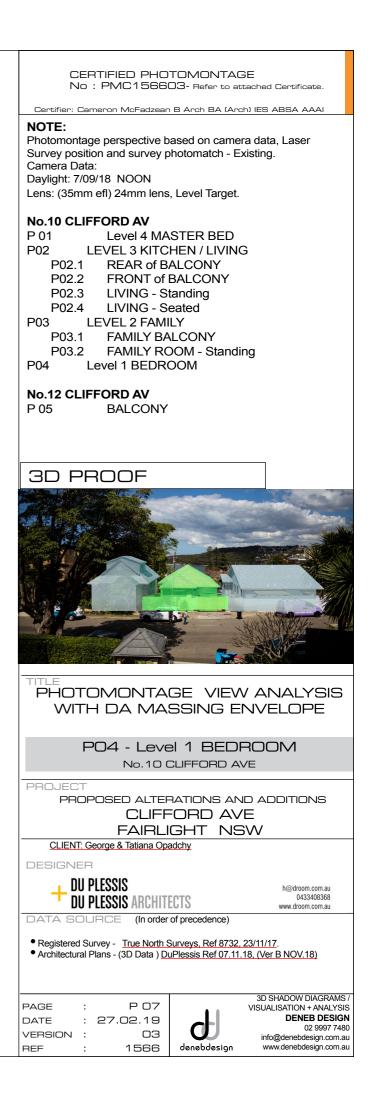
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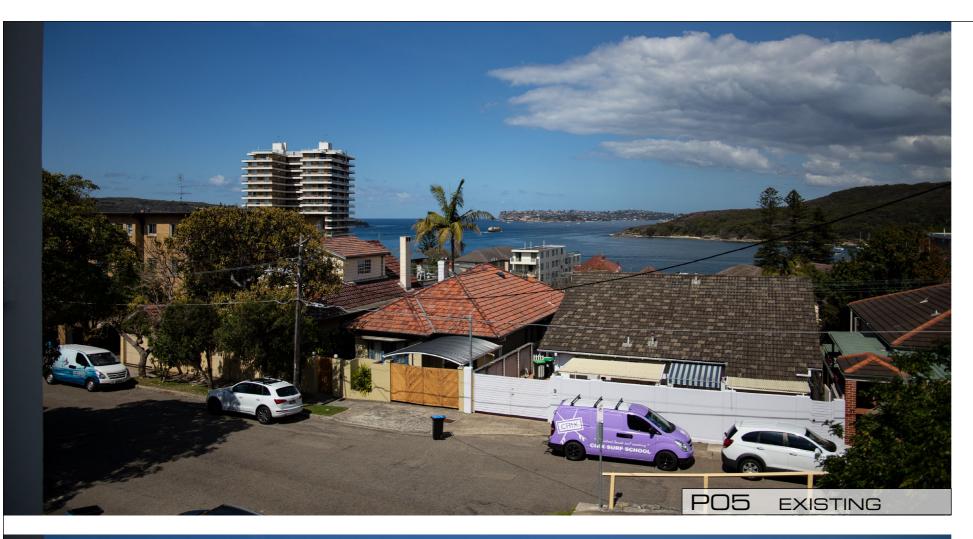
DATA SOURCE (In order of precedence)

Registered Survey - <u>True North Surveys, Ref 8732, 23/11/17</u>.
 Architectural Plans - (3D Data ) <u>DuPlessis Ref 07.11.18</u>, (Ver B NOV.18)

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Certifier: Cameron McFadzean B Arch BA (Arch) IES ABSA AAAI

#### NOTE:

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# 30 PROOF MASTER BED



CAMERA LOCATION



#### PHOTOMONTAGE VIEW ANALYSIS WITH DA MASSING ENVELOPE

PO5 - BALCONY No.12 CLIFFORD AVE

PROJECT

PROPOSED ALTERATIONS AND ADDITIONS CLIFFORD AVE FAIRLIGHT NSW

CLIENT: George & Tatiana Opadchy

DESIGNER

DU PLESSIS DU PLESSIS ARCHITECTS

h@droom.com.au 0433408368 www.droom.com.au

Registered Survey - <u>True North Surveys, Ref 8732, 23/11/17</u>.
 Architectural Plans - (3D Data ) <u>DuPlessis Ref 07.11.18, (Ver B NOV.18)</u>

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