



ABE
CONSULTING

Accessibility Responsibilities Statement

Project Title: Proposed Alterations and Additions
70 The Corso, Manly

Job Number: 9019

Date: 12 February 2019

Prepared For: Nasus Investments Pty Ltd

Report Version: ARS_9019_v1.0

ACCESSIBILITY • ESSENTIAL FIRE SAFETY SERVICES

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ACCESSIBILITY RESPONSIBILITIES STATEMENT

PROJECT: Proposed Alterations and Additions

Location: 70 The Corso, Manly

PROJECT INFORMATION

The proposed development consists of a refurbishment of an existing 2 storey building which contains retail tenancies on the Ground floor and commercial tenancies located on the first floor located at 70 The Corso, Manly.

It is understood the following Building Code of Australia 2016 building classification(s) apply to the subject tenancy (to be confirmed by the BCA Consultant / PCA) –

Building Part	Building Classification	Use
Ground Floor	Class 6	Retail Tenancies
First Floor	Class 5	Commercial Tenancies

This statement aims to provide advice regarding the Accessibility Responsibilities specific to accessway between Ground & First Floor areas provided within the building and summarises the relevant accessibility related statutory controls along with any Performance Solution as part of an amended development application request.

As members of the Access Consultants Association of Australia (ACAA), ABE Consulting use expert accessibility knowledge to ensure the project complies with the accessibility controls specified within this report.

REPORT SCOPE

Nasus Investments Pty Ltd engaged the services of ABE Consulting as Accessibility Consultants for this project to undertake an assessment of the proposed design documentation in relation to the accessibility related requirements as follows –

- Cl. D3.1 and D3.3(f) (ii) of the Building Code of Australia 2016 (BCA).
- The Disability (Access to Premises - Buildings) Standards 2010 relevant to Cl. D3.1 and D3.3(f) (ii) of the BCA.
- Australian Standards AS1428.1-2009 - Design for Access and Mobility - Part 1: General requirements for access - New building work.

With specific consideration to the provision of an accessway provided between the Ground Floor and First floor parts of the subject building.

This statement is prepared on the basis of the following –

- The aforementioned building controls; and
- Architectural design documentation prepared by Urbaine Architecture, Project# 20891 as follow

Dwg#	Title	Date - Rev
A003	Existing Floor Plan	
A006	Proposed Floor Plan	



Furthermore, this report summarises the key compliance departures associated with the accessway between Ground & First Floor areas and outlines the proposed Performance Solution Report to be prepared at the Construction Certificate Stage of the development.

We identify these key compliance departures and provide a guide identifying the requirements of the proposed Performance Solution at the subject building for consideration by the local Council and the Project Team during the Development Application Stage of the project.

LIMITATIONS OF THE REPORT

The Disability Discrimination Act (DDA - 1992) is a Federal Government legislation enacted in 1993 that seeks to ensure all new building infrastructure, refurbishments, services and transport projects provide functional, equitable and independent accessibility. The DDA is a complaints based legislation, which is administered by the Australian Human Rights Commission (AHRC). For any built environment the key requirement of the DDA is to ensure functionality, equity and independence of movement by people with disabilities, their companions, family and care givers.

A key component of compliance to the DDA is the use of the Disability (Access to Premises - Buildings) Standards 2010, Part D3, Clause F2.4 and Clause E3.6 of the Building Code of Australia 2016 (BCA) and the relevant referenced standards primarily being Australian Standards Suite AS1428 and Australian Standards AS2890.6 – Off-street parking for people with disabilities. The AS 1428 series details technical requirements related to design for access and mobility.

The Building Code of Australia has adopted key accessibility and DDA legislation into the 2011 BCA. In particular adherence to the Access to Premises Standard (2010); AS1428.1 2009; AS1428.4.1 2009 and AS2890.6 2009 has become mandatory. However, compliance with these elements does not necessarily result in compliance with the Disability Discrimination Act if the elements of equality, independence and functionality remain compromised within an environment.

This report does not include or assess the following –

The provisions of the BCA not directly referenced in the Report Scope of this document;

- Standards not directly referenced in this document; unless otherwise explicitly specified in the Report Scope of this document;
- Disability Discrimination Act 1992 (as explored earlier);
- Federal / State / Local planning policies and/or guidelines unless otherwise explicitly specified in the Report Scope of this document;
- Work Health & Safety considerations or Work Cover Authority requirements;
- This report does not provide any performance based assessments (Performance Solutions) of the BCA;
- This report does not provide any exemptions from the requirements of the BCA.
- This report is not a Part 4A compliance certificate under the Environmental Planning & Assessment Act 1979 or Regulation 2000;
- Review or specification of slip-resistance classification(s) for floor surface finishes / materials. We recommend surface finish advice be sought from an independent specialist slip safety consultant.

RELEVANT STAKEHOLDERS

This document has been development based on information relating to the building and operations as provided by the client / project team. ABE Consulting accepts no liability on the accuracy of the information provided.

The relevant project stakeholders are listed below –

Role	Representative	Organisation
Council	-	Northern Beaches Council
Architect	John Aspinall	Urbaine Architecture
Owner	Robert Webb	Nasus Investments Pty Ltd
Accessibility Consultant	John Liska	ABE Consulting

ACCESSIBILITY RESPONSIBILITIES STATEMENT

ABE Consulting Pty Ltd have reviewed the proposed floor plans and confirm the following –

- Clause D3.1 of the BCA requires “access to be provided to and within all areas normally used by the occupants”.
- Clause D3.3 (f) (ii) of the BCA states that where a First Floor area of a 2 storey building exceeds a 200m² floor area, a ramp complying with AS1428.1-2009 or a passenger lift is required to be installed.
- The subject first floor area of the building is measured at approximately 220m², therefore requiring an accessway.
- The lettable floor space area of the first floor area is 161m².
- Stairway access will be the only means of access to the first floor area.

The above details the requirements and features of the accessway between the Ground and First floors. As such, some compliance departures have been identified by way of no accessway (via passenger lift) to the first floor area which has been requested to be addressed via a Performance Solution Report where possible.

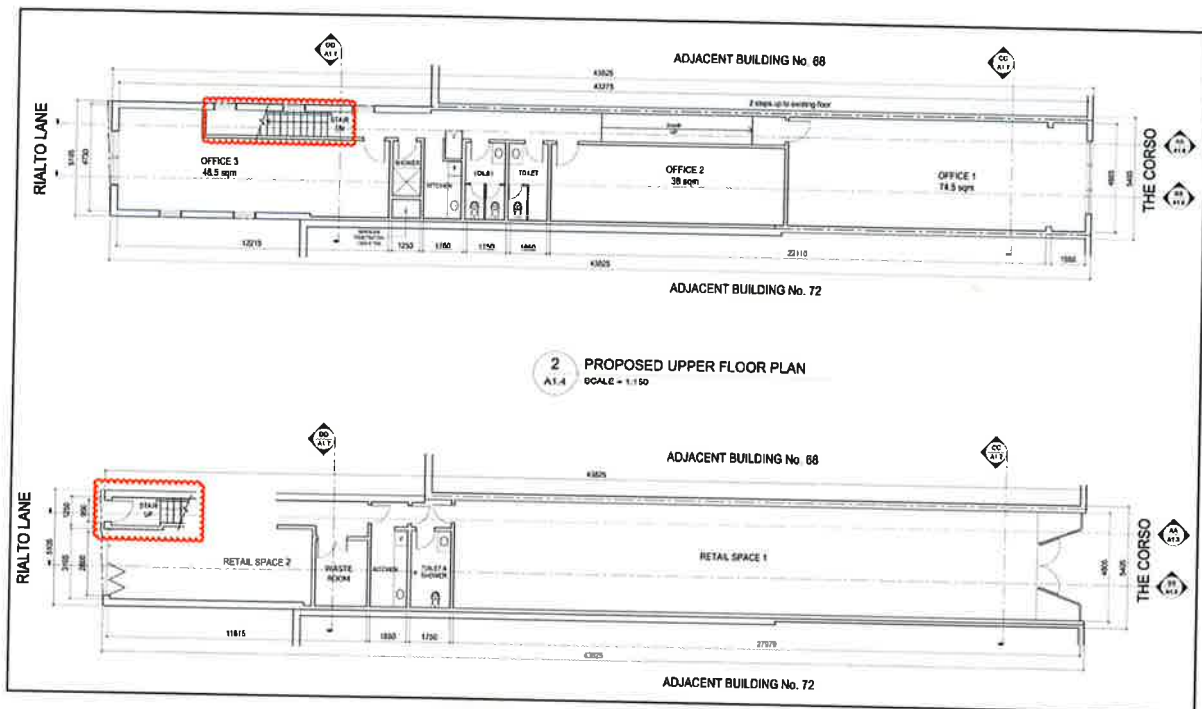


Figure 1 – Proposed Ground & First Floor
 Red highlights the subject stairway access to the First Floor area

The following table identifies each of the aforementioned compliance departures and their subsequent requirements –

No.	Performance Solution Scenario	DtS Provision	Performance Requirement
PS1	<p>The subject First Floor area has a 220m² floor area and is not proposed with an accessway via passenger lift/ ramp.</p> <p>The Performance Solution will be based on the fact there is a 161m² of lettable floor space area for a direct comparison of DtS provision D3.3 (f) (ii).</p> <p>This Performance Solution is subject to –</p> <ul style="list-style-type: none"> The internal stairway achieving compliance with AS1428.1-2009. A lettable floor space area of less than 200m². 	Cl. D3.1 & D3.3(f) (ii)	DP1

STATEMENT CONCLUSION

This report has provided a review of the proposed accessway between the Ground and First Floor areas and identified compliance departures and proposed Performance Solution Report.

Following this review and the implementation of the recommendations/Performance Solution proposed in this report, ABE Consulting confirm that the Development Application stage design is readily capable of complying with the accessibility related provisions of the BCA as explored above.

PROVIDED BY

Prepared by: <u>John Liska</u> Accessibility Consultant B. Construction Management (Hons) Member - Association of Consultants in Access Australia # 462	Reviewed by: <u>Abe Strbik</u> Director Member - Association of Consultants in Access Australia # 405
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