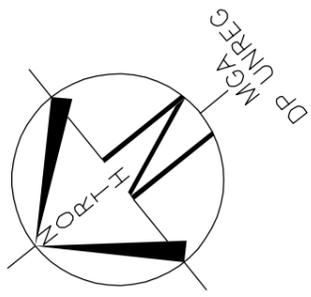


NORTH



SUBJECT TO REGISTRATION OF LAND AND CONFIRMATION FROM 10.7 CERTIFICATE

(A) EASEMENT FOR SEWER PURPOSES 5 WIDE VIDE 63908113
(H) PROPOSED EASEMENT FOR ACCESS AND MAINTENANCE

LOT 15
D.P: UNREGISTERED
L.G.A: NORTHERN BEACHES

SITING HAS BEEN COMPLETED IN ACCORDANCE WITH PITTWATER DCP 21 - D16



THIS PLAN IS TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT CONSENT

DA NUMBER: DA2019/0899

(Activation of consent must be obtained from Northern Beaches Council)

SITE AREA	349.9 m ²
SITE COVERAGE	
HOUSE FOOTPRINT:	130.5 m ²
ESTIMATED DRIVEWAY, PATHS & PAVING:	28.4 m ²
TOTAL SITE COVERAGE:	158.9 m ²
	45.4 %
MAX. ALLOWABLE BY DEVELOPER:	65 %
LANDSCAPED AREA	
TOTAL LANDSCAPE AREA:	122.9 m ²
(MIN. DIMENSION OF 3.0m)	35.1 %
MIN. REQUIRED BY COUNCIL:	35 %
PRIVATE OPEN SPACE	
TOTAL OPEN SPACE AREA:	77.7 m ²
(MIN. DIMENSION OF 4.0m)	
MIN. REQUIRED BY COUNCIL:	24 m ²
HEIGHT RESTRICTION	
MAXIMUM RIDGE HEIGHT	10.5 m
(F.F.L. MUST BE ACCURATE. CHANGES IN LEVELS MAY NOT COMPLY WITH REQUIREMENTS)	

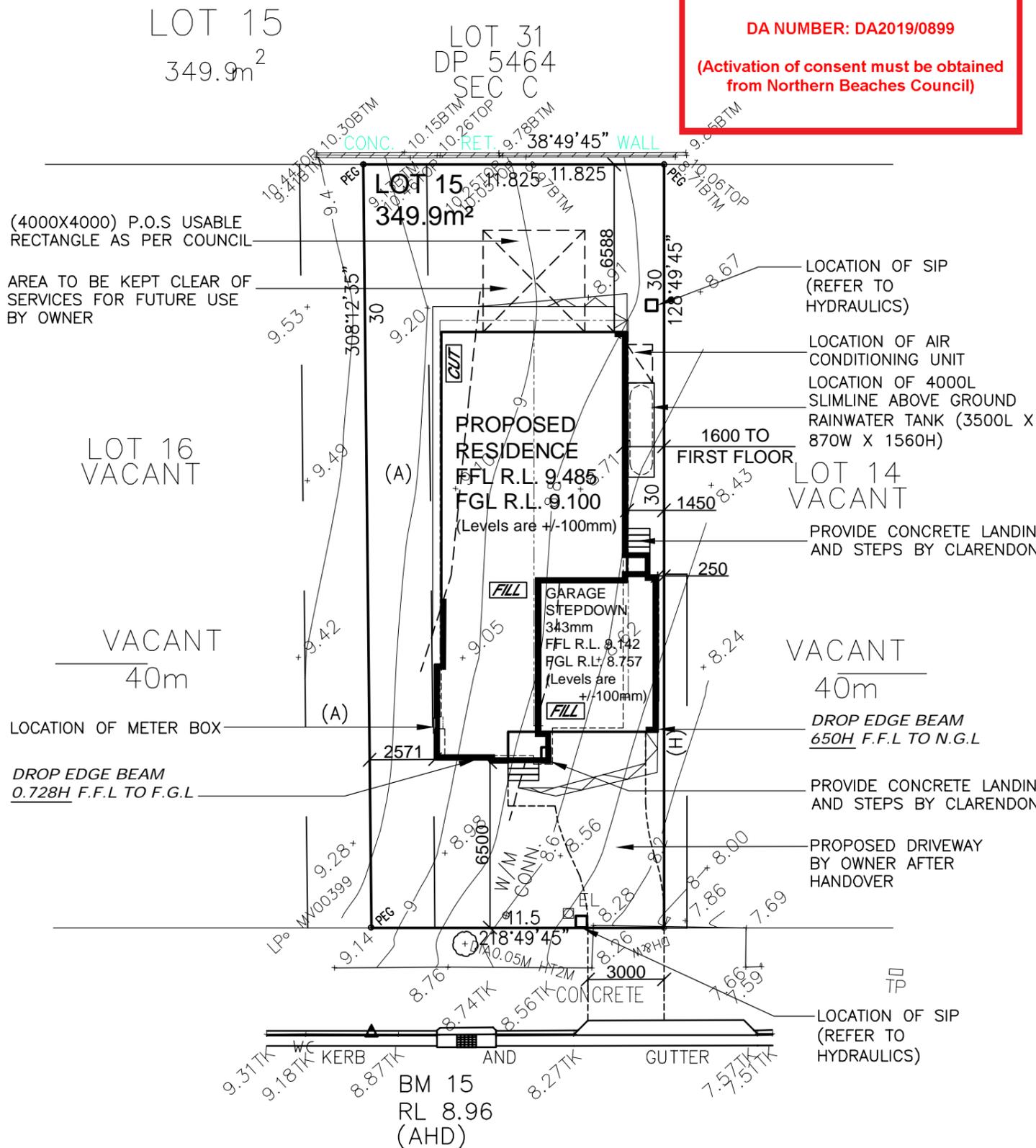
Maximum 1000mm CUT
Maximum 1000mm FILL

WIND CLASSIFICATION: "N2"

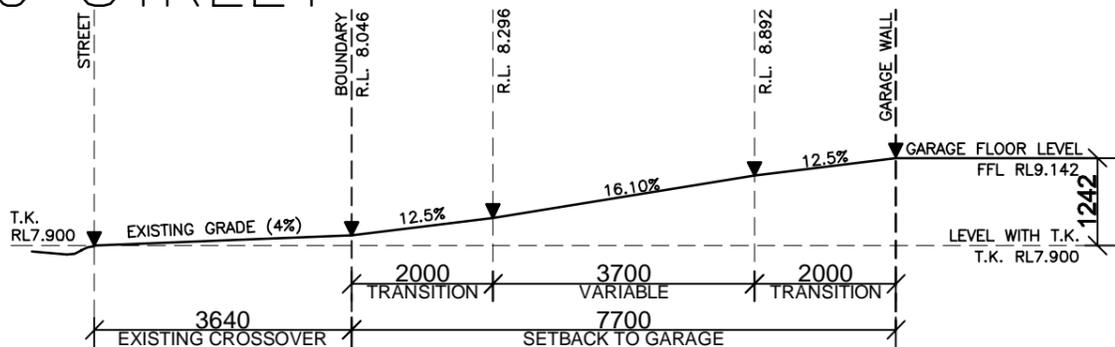
SLAB CLASSIFICATION: "H1"

NOTE:
ALL GROUND LINES ARE APPROXIMATE. EXTENT OF FILL & BATTER WILL BE DETERMINED ON SITE. SEDIMENT BARRIERS ARE TO BE CUSTOMISED SITE SPECIFIC

STORMWATER TO STREET VIA RAINWATER TANK
REFER TO HYDRAULIC DETAILS



BUBALO STREET



DRIVEWAY GRADIENT PROFILE

SCALE - 1:100

SITE PLAN

SCALE 1:200

GENERAL NOTES

- A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED
- B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY
- C) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION
- D) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706
Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8954 5000

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DIMENSIONS TO BE READ IN

PRODUCT:
PADDINGTON 29 MKII
Malibu
R/H Garage
Sapphire Specification

CLIENT:
Ms. LIU
SITE ADDRESS:
Lot 15
Proposed Road
WADDIEWOOD 2100

CONTRACT DRAWINGS

DRAWN: BG	DATE: 24.05.19	Rev: F
RATIO @ A3: 1:200	CHECKED: BG	
SHEET: 2	JOB No: 29913475	NSW

NOTE:
HEIGHT OF DROP EDGE BEAM MAY VARY DUE TO SITE CONDITIONS UPON COMPLETION OF SITE WORKS

NOTE:
NUMBER OF STEPS REQUIRED MAY VARY DEPENDING ON SITE CONDITIONS

DENOTES WINDOWS/DOORS WITH LOW E GLAZING

DENOTES WINDOWS WITH 6.38mm TRANSLUCENT LAMINATED GLAZING

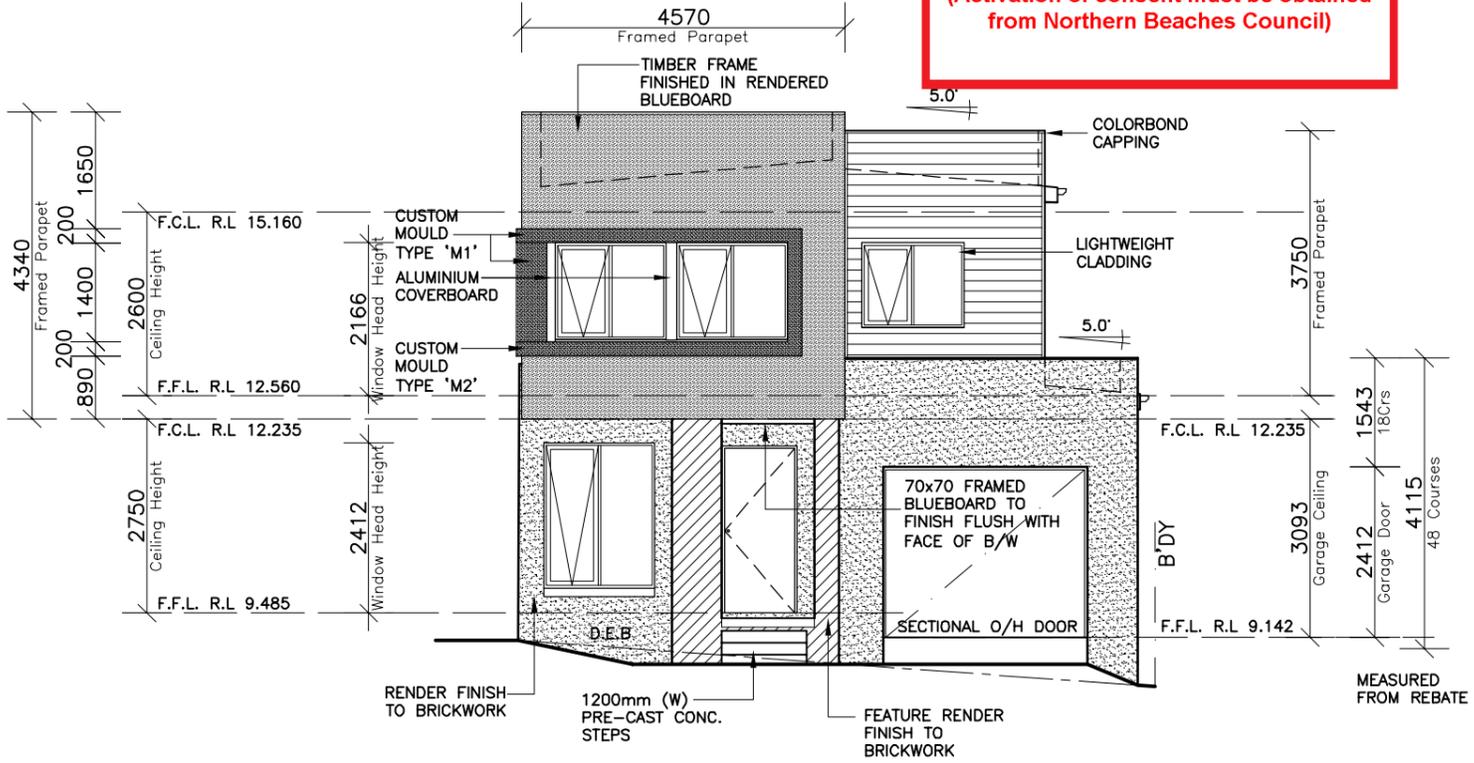
NOTES:
FOR DROP-OFF'S REFER TO FRAMING DETAILS
CDN 21.010-21.080

northern beaches council

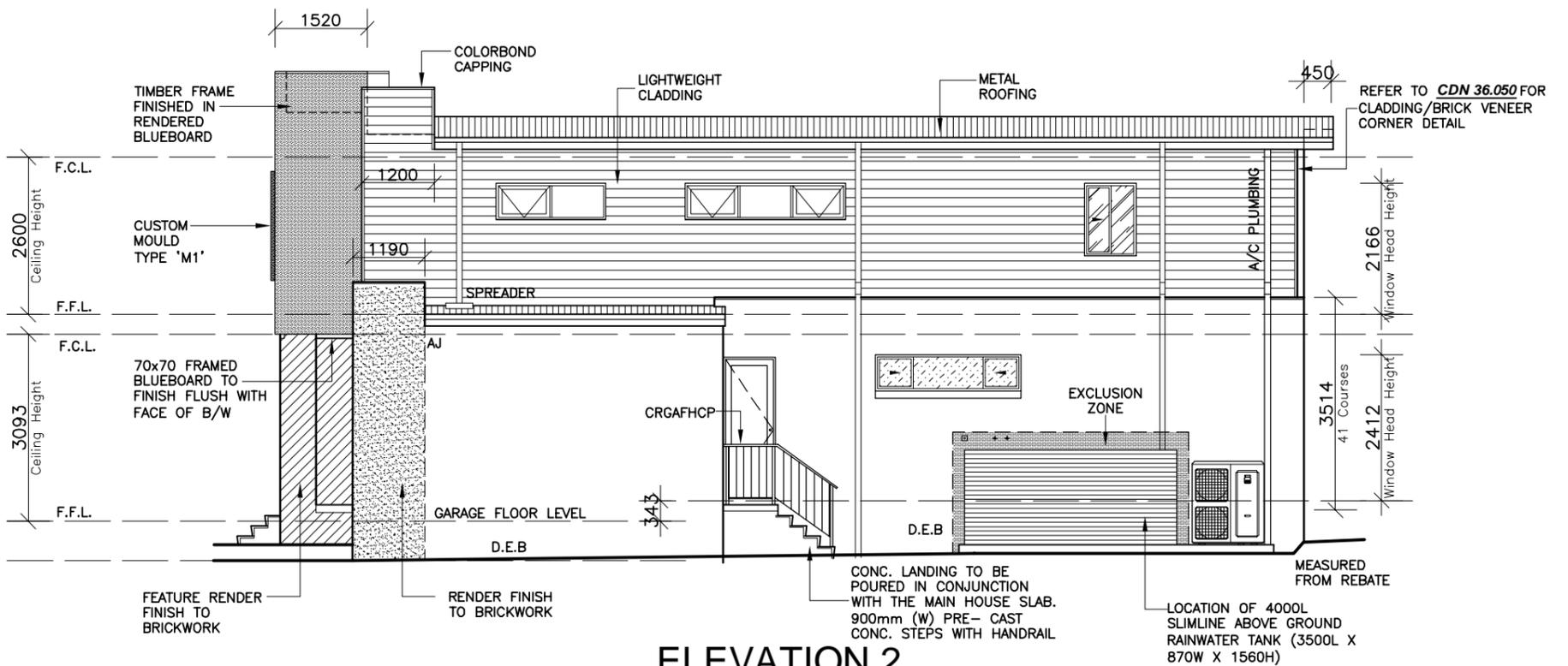
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DA NUMBER: DA2019/0899

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**ELEVATION 1
-NORTH WEST-**



**ELEVATION 2
-SOUTH WEST-**

CLIENT'S SIGNATURE: _____ DATE: _____

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Sapphire Specification

CLIENT:
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Proposed Road
WADDIEWOOD 2100

CONTRACT DRAWINGS

DRAWN: PG.	DATE: 24.05.19	Rev: F
RATIO @ A3: 1:100	CHECKED: J.S	
SHEET: 5	JOB No: 29913475	NSW

NOTE:
HEIGHT OF DROP EDGE BEAM MAY VARY DUE TO SITE CONDITIONS UPON COMPLETION OF SITE WORKS

DENOTES WINDOWS/DOORS WITH LOW E GLAZING

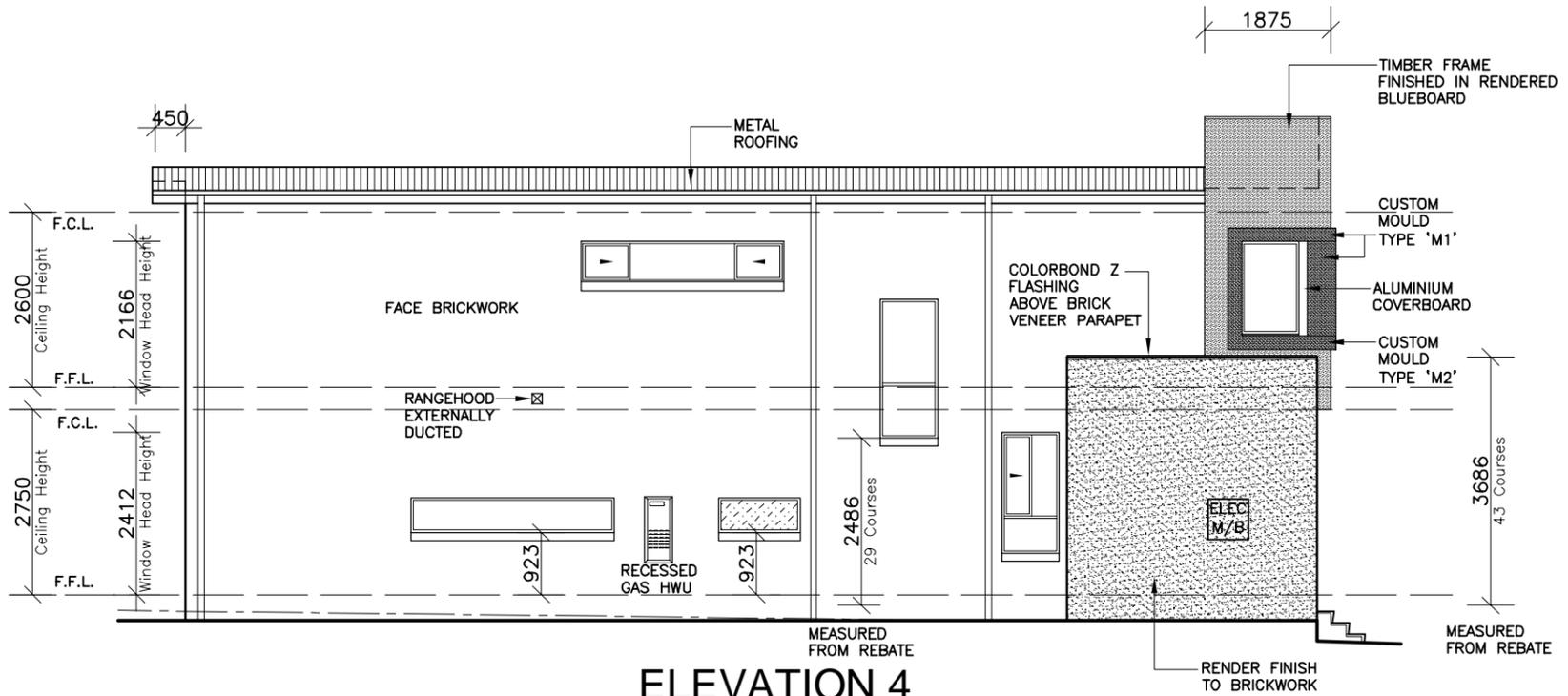
NOTES:
FOR DROP-OFF'S REFER TO FRAMING DETAILS
CDN 21.010-21.080

NOTE:
NUMBER OF STEPS REQUIRED MAY VARY DEPENDING ON SITE CONDITIONS

northern beaches council
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(Activation of consent must be obtained from Northern Beaches Council)



**ELEVATION 3
-SOUTH EAST-**



**ELEVATION 4
-NORTH EAST-**

CLIENT'S SIGNATURE: _____ DATE: _____

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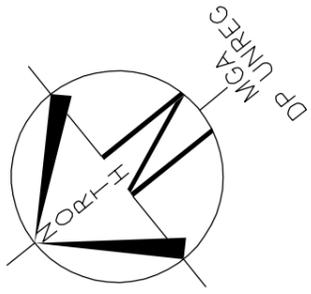
PRODUCT:
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Malibu
R/H Garage
Sapphire Specification

CLIENT:
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SITE ADDRESS:
Lot 15
Proposed Road
WADDIEWOOD 2100

CONTRACT DRAWINGS

DRAWN:	DATE:	Rev:
PG.	24.05.19	F
RATIO @ A3:	CHECKED:	
1:100	J.S	
SHEET:	JOB No:	
6	29913475	NSW

NORTH



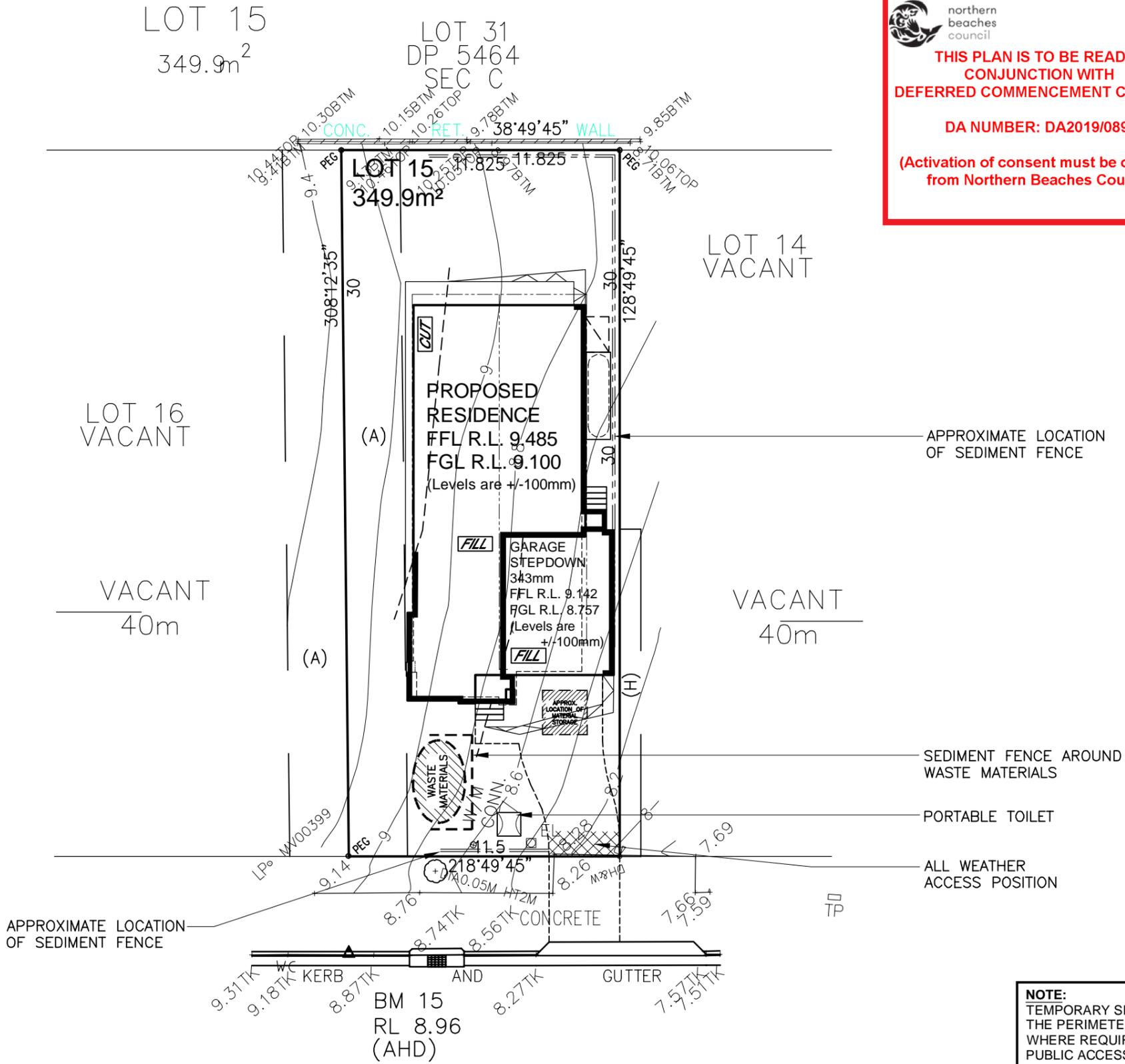
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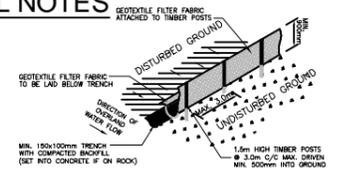
BUBALO STREET

NOTE:
TEMPORARY SECURITY FENCING TO THE PERIMETER OF THE BOUNDARY WHERE REQUIRED TO PREVENT PUBLIC ACCESS ONTO THE SITE

NOTE:
GROUND LINES ARE APPROXIMATE. EXTENT OF CUT AND FILL BATTERS WILL BE DETERMINED ON SITE. SEDIMENT BARRIERS ARE CUSTOMISED TO SITE CONDITIONS

SEDIMENT CONTROL NOTES

- 1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED DAILY BY THE SITE MANAGER.
- 2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
- 3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
- 4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 80% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
- 5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
- 6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE SWEEPED DAILY.
- 7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.
- 8. DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.



SEDIMENT FENCE
NOT TO SCALE

CONSTRUCTION MANAGEMENT PLAN
EROSION AND SEDIMENT CONTROL PLAN

CLIENT'S SIGNATURE: _____ DATE: _____

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CONTRACT DRAWINGS		
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PG.	24.05.19	F
RATIO @ A3:	CHECKED:	
1:200	J.S	
SHEET:	JOB No:	
21	29913475	NSW

LIFESTYLE

- STUDIO -

BY CLARENDON HOMES

Client:	Ms Liu		
Site Address:	Lot 15 Bubalo Street Warriewood NSW		
Job Number:	29913475	House Type:	Paddington MK 11 / Malibu
Date Issued:	28/06/2019	Developer:	

u

Roof BASIX Rating:	Medium	Wall BASIX Rating:	Dark
--------------------	--------	--------------------	------

**Main Brick: Austral
Wilderness Grey Gum**



Feature: Render
Colour 1 : Viking Grey T10
37-L1
Colour 2 : Mojo T172-8



**Roof Type/Style: Metal/
Colourbond**
Colour: Basalt



**Window Frame Colour:
Black**



**Gutter: Basalt
Fascia: Basalt**



**Downpipes: Basalt
Watertank: Basalt**



**Front Entry Door Colour:
Sikkens Silver Grey**



**Lightweight Cladding:
Mojo T172-8**

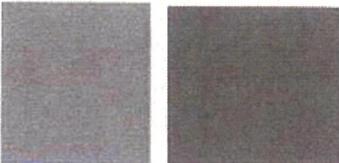


**Garage Door Type &
Colour: Deco Chestnut
Natural**



Chestnut

**Blueboard : Grey Moggy
T10 50K-2 Moulds : Mojo
T172-8**



**Driveway Type: To
compliment facade**

*By client after handover

**Letterbox: To compliment
facade**

*By client after handover



northern
beaches
council

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
DEFERRED COMMENCEMENT CONSENT**

DA NUMBER: DA2019/0899

**(Activation of consent must be obtained
from Northern Beaches Council)**

NOTE: Colours are indicative only and should not be used as a true representation of the finished product.

Signature  Date 1/7/19