

- KEY**
- S → PREVAILING WINDS (SUMMER)
 - W → PREVAILING WINDS (WINTER)
 - P → PRIVACY CONSIDERATIONS
 - N → NOISE CONSIDERATIONS
 - V → VIEWS TO RESERVE

- A - BALCONY, DECK, PATIO
- FALLS FOR DRAINAGE
- BOUNDARY
- ▲ CAR ENTRY POINT
- [Hatched Box] INDICATES GROUND FLOOR
- [Hatched Box] INDICATES FIRST FLOOR

SITE AREA: 847.2 sq.m.
 EXISTING STORAGE: 19.6 sq.m.
 EXISTING GROUND FLOOR: 103.3 sq.m.
 EXISTING STUDY: 7.8 sq.m.
 EXISTING DECK: 12.7 sq.m.
 EXISTING CARPORT: 20.4 sq.m.
 NEW FIRST FLOOR: 86.9 sq.m.
 NEW FIRST FLOOR BALCONY: 24.9 sq.m.
 NEW LOWER GROUND FLOOR: 122.9 sq.m.
 NEW GROUND FLOOR COVERED DECK: 34.5 sq.m.
 NEW LOWER GROUND FLOOR DECK: 40.9 sq.m.
 NEW GARAGE, ENTRY & CORRIDOR: 88.4 sq.m.

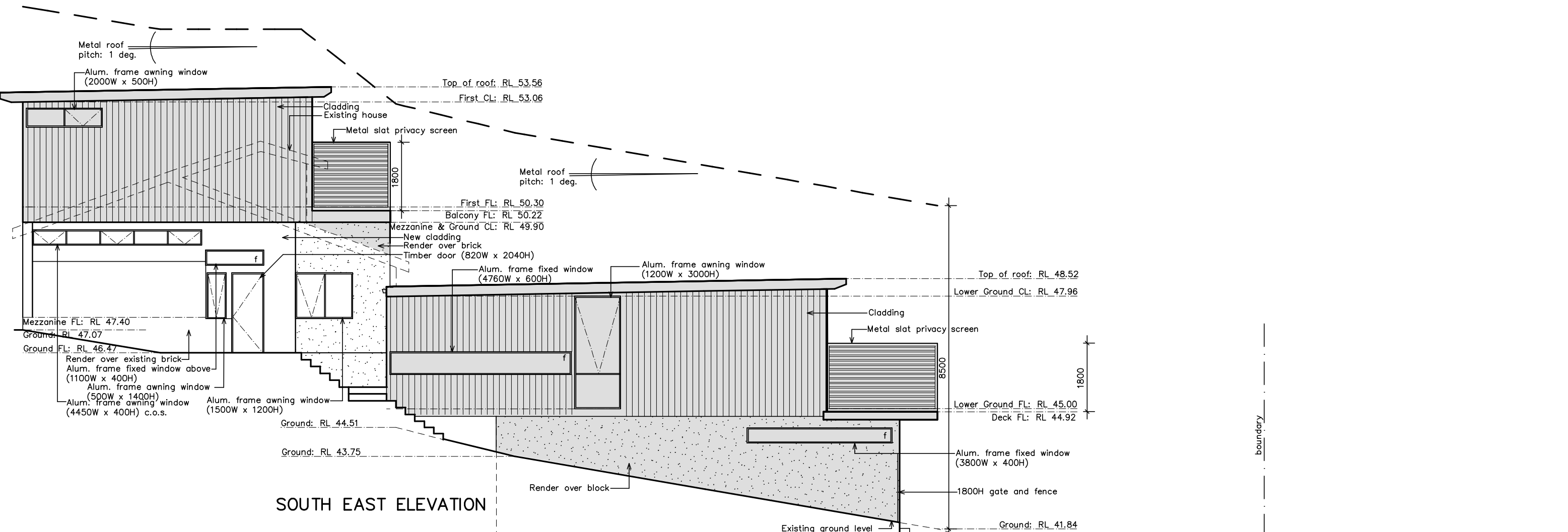
NOTES:
 This drawing is the copyright of Duffy Regan Design and may not be altered, reproduced or transmitted without permission of Duffy Regan Design.
 All levels and dimensions are to be checked on site prior to commencement of any work.
 All new and altered works to relevant BCA and AS/NZ standards.
 NOT FOR CONSTRUCTION

Project: ALTERATIONS & ADDITIONS Job. No. 639/19

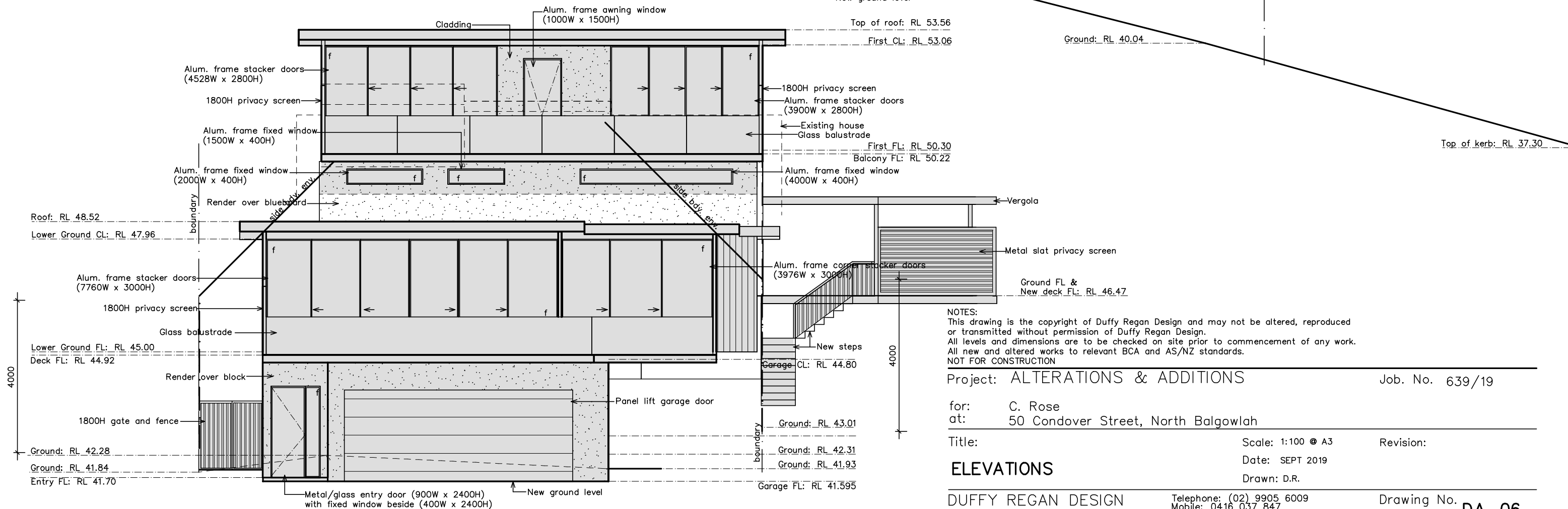
for: C. Rose
 at: 50 Condover Street, North Balgowlah

Title: **SITE PLAN** Scale: 1:200 @ A3 Revision:
 Date: SEPT 2019 Drawn: D.R.





SOUTH EAST ELEVATION



NORTH EAST ELEVATION

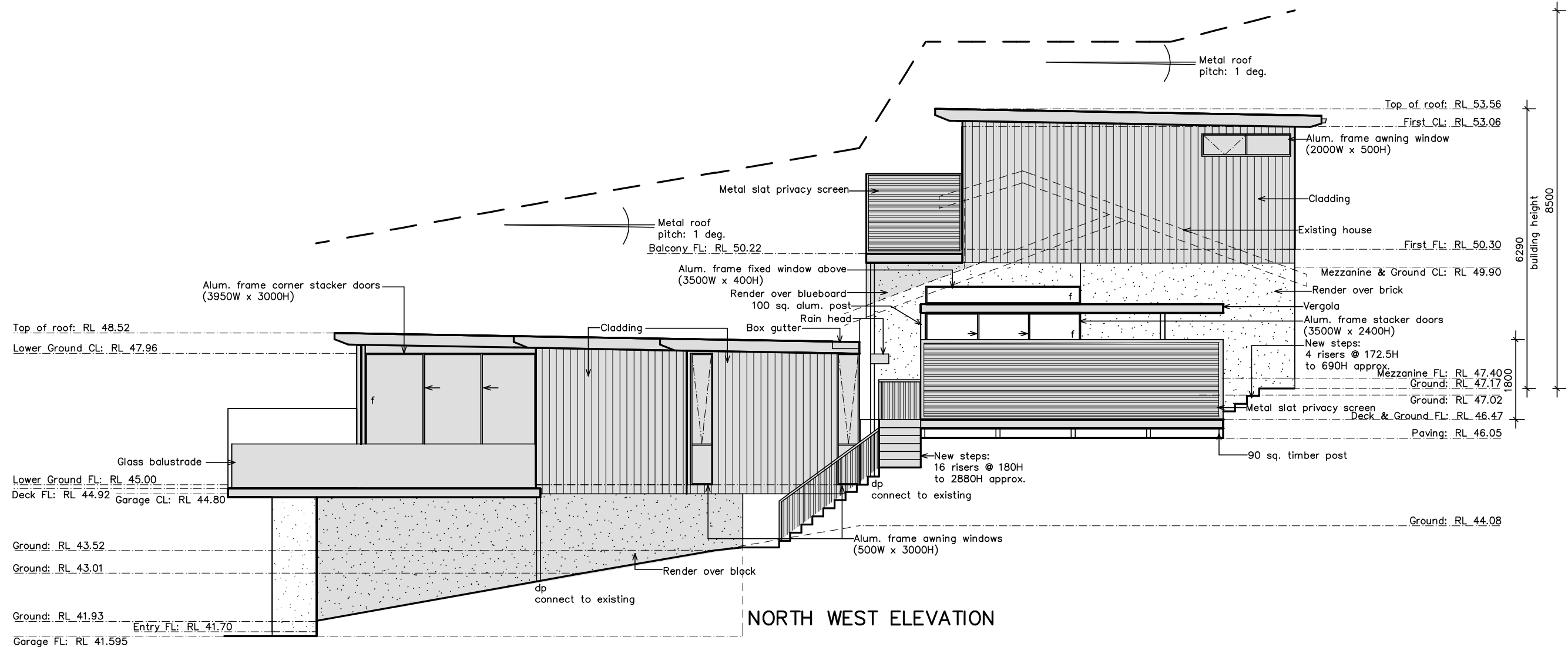
NOTES:
 This drawing is the copyright of Duffy Regan Design and may not be altered, reproduced or transmitted without permission of Duffy Regan Design.
 All levels and dimensions are to be checked on site prior to commencement of any work.
 All new and altered works to relevant BCA and AS/NZ standards.
 NOT FOR CONSTRUCTION

Project: ALTERATIONS & ADDITIONS Job. No. 639/19

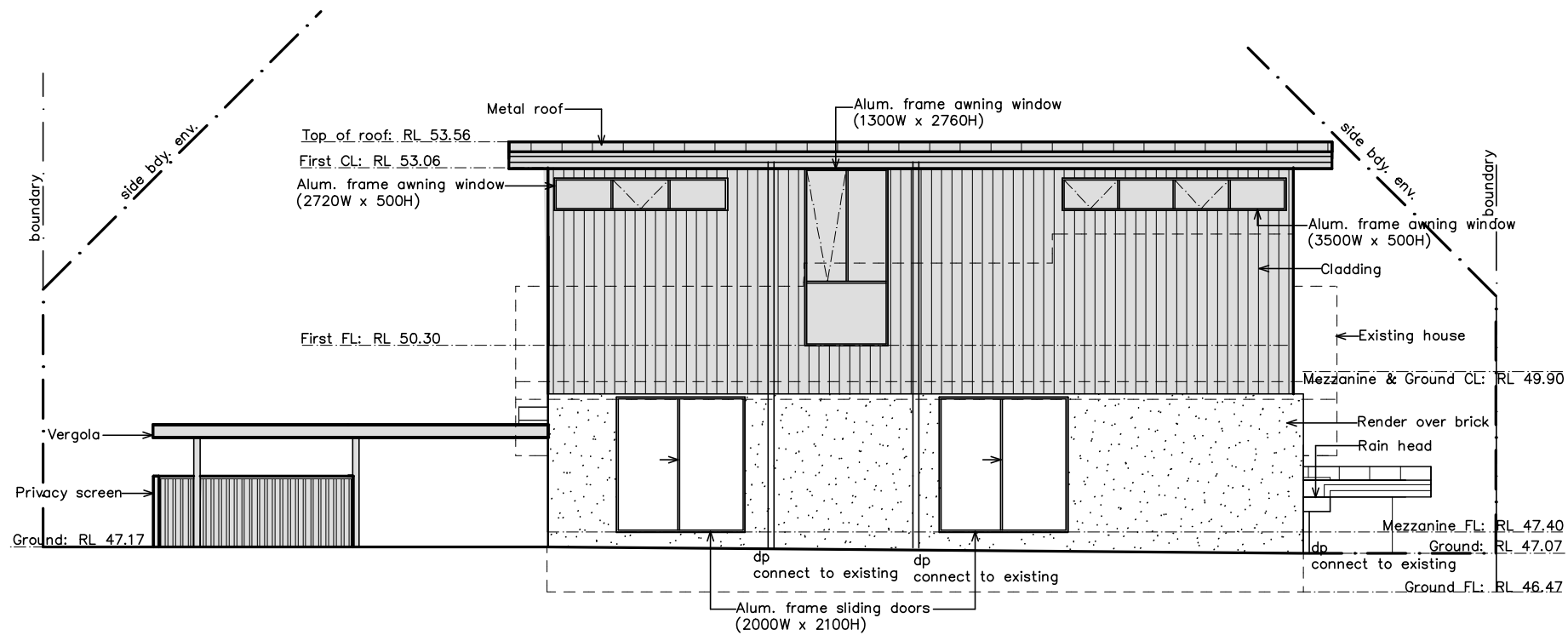
for: C. Rose
 at: 50 Condover Street, North Balgowlah

Title: ELEVATIONS Scale: 1:100 @ A3 Revision:
 Date: SEPT 2019 Drawn: D.R.

DUFFY REGAN DESIGN Telephone: (02) 9905 6009
 121 Soldiers Ave., Freshwater NSW 2096 Mobile: 0416 037 847
 Email: dregandesign@gmail.com Drawing No. DA-06



NORTH WEST ELEVATION



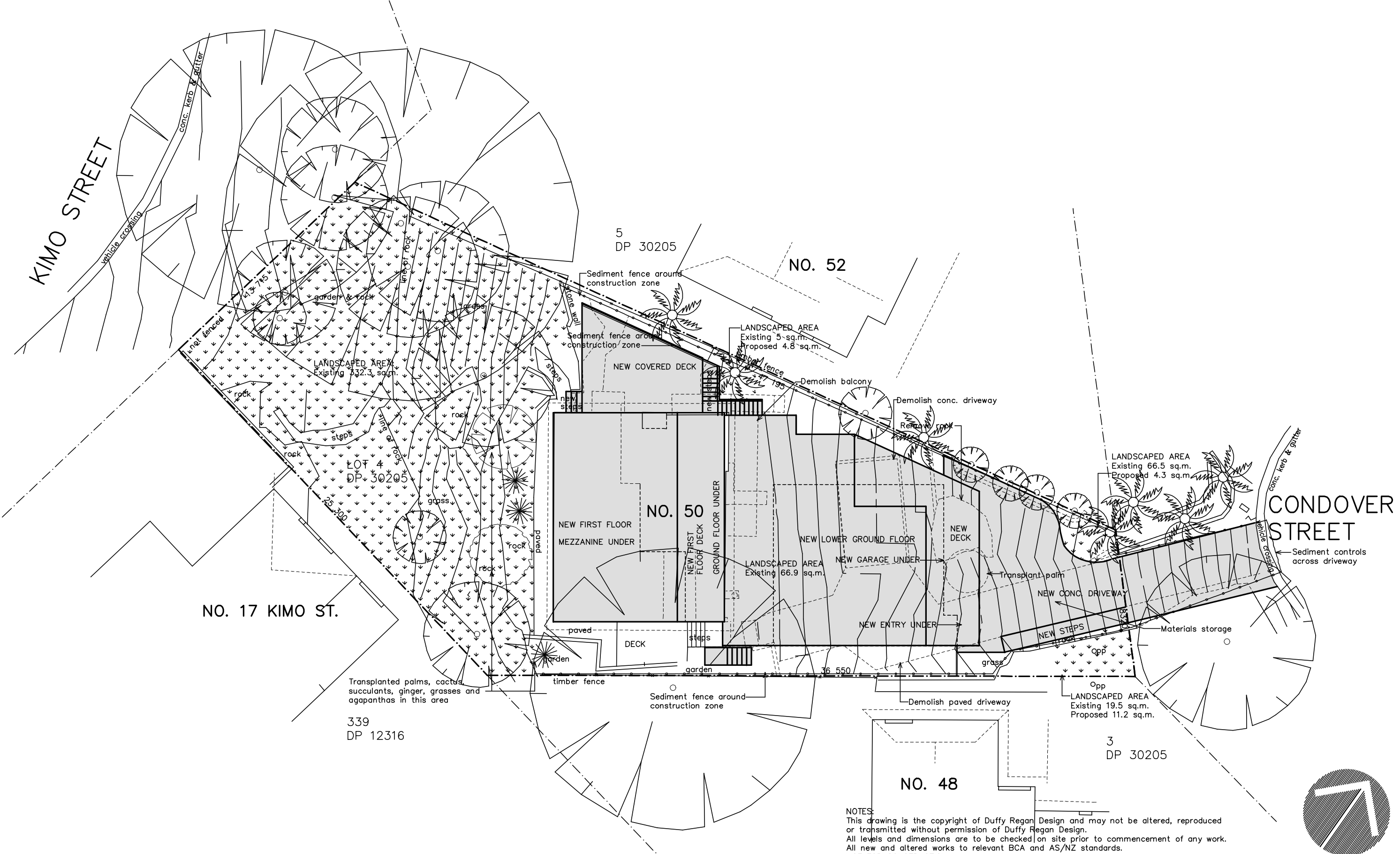
SOUTH WEST ELEVATION

NOTES:
 This drawing is the copyright of Duffy Regan Design and may not be altered, reproduced or transmitted without permission of Duffy Regan Design.
 All levels and dimensions are to be checked on site prior to commencement of any work.
 All new and altered works to relevant BCA and AS/NZ standards.
 NOT FOR CONSTRUCTION

Project: ALTERATIONS & ADDITIONS Job. No. 639/19

for: C. Rose
 at: 50 Condover Street, North Balgowlah

Title: ELEVATIONS Scale: 1:100 @ A3 Revision:
 Date: SEPT 2019 Drawn: D.R.



NOTES:
 This drawing is the copyright of Duffy Regan Design and may not be altered, reproduced or transmitted without permission of Duffy Regan Design.
 All levels and dimensions are to be checked on site prior to commencement of any work.
 All new and altered works to relevant BCA and AS/NZ standards.
 NOT FOR CONSTRUCTION

Project: ALTERATIONS & ADDITIONS Job. No. 639/19

for: C. Rose
 at: 50 Condover Street, North Balgowlah

Title: LANDSCAPE PLAN & EROSION & SEDIMENT CONTROL PLAN
 Scale: 1:200 @ A3
 Date: OCT 2019
 Drawn: D.R.
 Revision:

DUFFY REGAN DESIGN Telephone: (02) 9905 6009
 121 Soldiers Ave., Freshwater NSW 2096 Mobile: 0416 037 847
 Email: dregandesign@gmail.com Drawing No. DA-09

SITE AREA: 847.2 sq.m.
 EXISTING LANDSCAPE: 490.2 (57%) sq.m.
 PROPOSED LANDSCAPE OPEN SPACE: 352.6 (41%) sq.m.

Note: Planting being removed to be transplanted where possible



KIMO STREET

CONDOVER STREET

NO. 52

NEW DECK

NEW DECK

LOWER GROUND FLOOR

FIRST FLOOR

NEW DECK

NO. 50

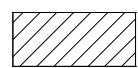

NO. 48

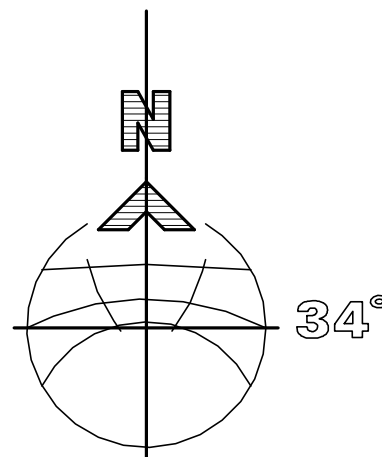
NEW SHADOW

EXISTING SHADOW

NO. 17 KIMO ST.

9am

-  EXISTING SHADOW FROM SUBJECT PROPERTY
-  NEW SHADOW FROM SUBJECT PROPERTY



Project: ALTERATIONS & ADDITIONS

Job. No. 639/19

for: C. Rose
at: 50 Condover Street, North Balgowlah

Title: **JUNE 21**
SHADOW DIAGRAMS

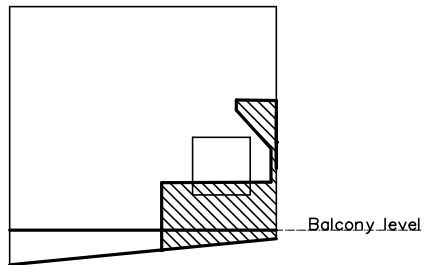
Scale: 1:200
Date: SEPT 2019
Drawn: D.R.

Revision:

DUFFY REGAN DESIGN
121 Soldiers Ave., Freshwater NSW 2096

Tel. & Fax: (02) 9905 6009
Mobile: 0416 037 847
Email: dregandesign@gmail.com

Drawing No. **DA-10**



ELEVATION NORTHWEST
WALL TO NO. 48

CONDOVER STREET

NO. 52

NEW DECK

NEW DECK

LOWER GROUND FLOOR

FIRST FLOOR

NEW DECK

NO. 50

Privacy screen shadow

NO. 48

DECK

NEW SHADOW

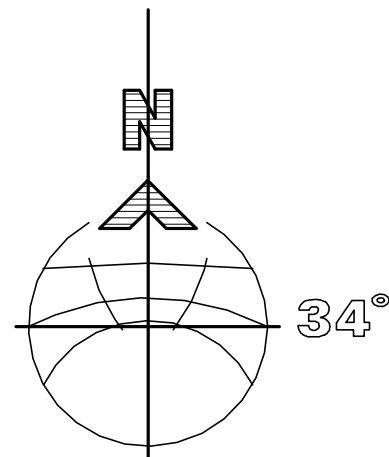
EXISTING SHADOW

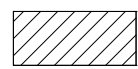

No. 48 self shadow

KIMO STREET

NO. 17 KIMO ST.

12pm



-  EXISTING SHADOW FROM SUBJECT PROPERTY
-  NEW SHADOW FROM SUBJECT PROPERTY

Project: ALTERATIONS & ADDITIONS

Job. No. 639/19

for: C. Rose
at: 50 Condover Street, North Balgowlah

Title: JUNE 21
SHADOW DIAGRAMS

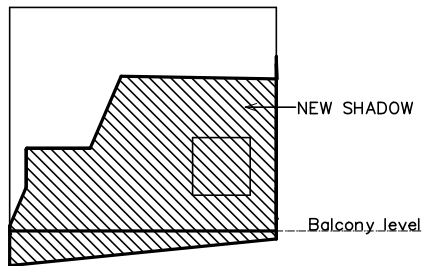
Scale: 1:200
Date: SEPT 2019
Drawn: D.R.

Revision:

DUFFY REGAN DESIGN
121 Soldiers Ave., Freshwater NSW 2096

Tel. & Fax: (02) 9905 6009
Mobile: 0416 037 847
Email: dregandesign@gmail.com

Drawing No. DA-11



ELEVATION NORTHWEST
WALL TO NO. 48

KIMO STREET

CONDOVER STREET

NO. 52

NEW DECK

NEW DECK

LOWER GROUND FLOOR

FIRST FLOOR

NEW DECK

NO. 50

DECK

NO. 48

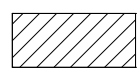

EXISTING SHADOW

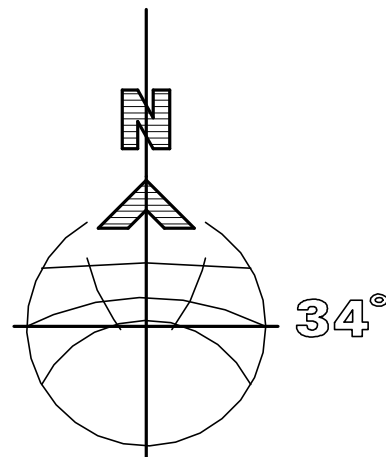
No. 48 self shadows

NEW SHADOW

NO. 17 KIMO ST.

3pm

-  EXISTING SHADOW FROM SUBJECT PROPERTY
-  NEW SHADOW FROM SUBJECT PROPERTY



Project: ALTERATIONS & ADDITIONS

Job. No. 639/19

for: C. Rose
at: 50 Condover Street, North Balgowlah

Title: JUNE 21
SHADOW DIAGRAMS

Scale: 1:200
Date: SEPT 2019
Drawn: D.R.

Revision:

DUFFY REGAN DESIGN
121 Soldiers Ave., Freshwater NSW 2096

Tel. & Fax: (02) 9905 6009
Mobile: 0416 037 847
Email: dregandesign@gmail.com

Drawing No. DA-12

FINISHES/COLOURS

New wall types – double brick, block, brick veneer, timber frame	Garage & entry – block & Concrete lower ground – Timber & steel frame ground – brick veneer t.m.e. first – timber frame
Existing Brick walls – render or other finish Block walls – render or other finish	Bag render/render Render
Timber & steel frame & wall cladding	Metal
Roof material – , metal colour (for basix)	Kliplok Windspray
New windows and doors–timber frame or aluminium frame – and size	Aluminium frame Sizes as per plan
New window type – sliding, awning, double hung, bi-fold, louvre	As per schedule
New window glass type – clear, translucent	As per schedule
New door type – sliding, bi-fold	As per plan and schedule
Entry doors – Front Entry – Laundry (back door)	Aluminium and glass (900x2040x 40) solid timber (820x2040x40)
Floor construction –	Garage & entry – concrete Living - concrete All other –timber
Flooring – timber or tile	Entry,Lower ground -finished concrete/tile Bathrooms -tiles Other floors - timber
Deck flooring – timber or tile	Lower ground – finished concrete/tile Ground floor covered deck – timber/tile first floor decks –tile
Deck roof-Vergola –,	Colorbond & Aluminium/ louvres 2x Aluminium 100x100mm posts
Deck posts –	Timber H3 90x90mm
External stairs – timber, steel or concrete	North, East, West, South – concrete/tile, timber Metal handrail, timber and glass balustrade

Handrail and balustrade material –timber, stainless steel, glass – and type	
Internal stairs – Handrail, glass – and type	Entry - Concrete/tile From Lower ground to Ground Floor- Timber First Floor – timber -stainless steel
New hot water tank – type and size	Solahart Powerstore 315L Hot water system (situated under house)
Garage door – roll-a-door, panel lift	Panel lift
Solar panels – size, quantity and location	Solahart 300W Panels x 34. 1670mmx1000mmx32mm Situated on roof over Lower Ground(Living)
Privacy screens – height, type and material	Metal slat
Pergolas over windows – size and material	NE& NW windows 116mm metal projection above.
Pool and surrounds– size, location, materials	N/A
Water tank – size, location, litres	3,000 Slimline Poly Tank situated in space behind garage.
Roof insulation (for basix)	Bradford Anticon FBS-1
Exterior wall insulation (for basix)	Bradford Gold HP R2.7 & Soundscreen R2.5
Interior wall insulation (for basix)	Bradford Gold HP R2.7 & Soundscreen R2.5
Ceiling insulation (for basix)	Bradford Gold R3.5
Air Con	Mitsubishi –situated unde rhouse
Colours	Roof& fascia – Windspray Fascia feature/ surround - Monument Render, Eaves - Lexicon half Entry door – Timber/Aluminium anodised/glass Back door- solid timber - Lexicon half Garage door panels- copper Vergola – Shale Grey