

# MATTHEWS POOL

## ARCHITECTURAL DRAWING SCHEDULE

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MACCORMICK + ASSOCIATES ARCHITECTS  
13 VICTORIA STREET QUEENS PARK NSW 2022  
T 9037 0437 E hello@maccormickarchitects.com.au  
ACN 147 572 807 Architect Reg 6702

Rev.	Description	Date

DA00.01\_01  
\_ConceptDAI20\_Pool1408\_Matthews Palm Beach\_Pool\_220519.pln

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Project Name	Owner
MATTHEWS POOL	MICHELE MATTHEWS
Address	
13A OCEAN ROAD PALM BEACH NSW	
LOT 1 / DP 121833	

Drawing Name:
TITLE-
DRAWING SCHEDULE
Drawing Status:
DEVELOPMENT APPLICATION

Scale:	Date:
Drawn By: ML	Checked By: MM
Project No:	Drawing #:
1408	Rev:
	DA00.01_B



ABBREVIATIONS LEGEND

TERMS - GENERAL

AL	Air Lock
ADJ	Adjustable
BLDG	Building
CH	Ceiling Height
CL	Centre Line
CNR	Corner
DIM	Dimension
DWR	Drawer
EL	Existing Level
EQ	Equal
EX.	Existing
EXT	External
FCH	Finished Ceiling Height
FFL	Finished Floor Level
FGL	Finished Ground Level
FIN	Finish
FL	Floor Level
FPL	Finished Pelmet Level
FRL	Fire Resistant Level
INT	Internal
LV	Low Voltage
NTS	Not to Scale
O/A	Overall
OPP	Opposite
RL	Reduced Level
SFL	Structural Floor Level
SIM	Similar
SRZ	Structural Root Zone
TMEX	To Match Existing
TPZ	Tree Protection Zone
TYP	Typical
U/C	Undercut
UNO	Unless Noted Otherwise
U/S	Under Side
WL	Water Level
WR	Water Resistant

ELECTRICAL/MECHANICAL

A/C	Air Conditioning
BWU	Boiling Water Unit
BB	Circuit Breaker
BFR	Bar Fridge
DL	Down Light
DR	Dryer
DW	Dishwasher
EDB	Electrical Distribution Board
E/A	Exhaust Air
E/F	Exhaust Fan
ELEC	Electrical
EM	Electrical Meter
FA	Fire Alarm
FIB	Fire Indicator Board
FR	Fridge
FRZ	Freezer
GPO	General Power Outlet
GPO3	GPO 3 Phase
HTR	Heated Towel Rail
JL	Joinery Light
LS	Light Switch
MECH	Mechanical
MSB	Main Switch Board
MW	Microwave
OV	Oven
RH	Rangehood
R/A	Return Air
S/A	Supply Air
TEL	Telephone
TV	Television
WFR	Wine Fridge
WM	Washing Machine

CONSTRUCTIONS/FITTINGS

ACS	Acoustic Ceiling System
ALFG	Aluminium Framed Glazing
ALFL	Aluminium Framed Louvres
AP	Access Panel
AS	Adjustable Shelving
BAL	Balustrade
BHD	Bulkhead
BOOK	Bookshelf
CG	Cable Gromet
CHR	Clothes Hanging Rail
CJ	Construction Joint
CL	Clothes Line
COL	Structural Column
CS	Cavity Slider
CTN	Curtain
D	Door
DPC	Dampproof Course
EA	Equal Angle
EJ	Expansion Joint
FD(1)	Fire Door (hours)

CONSTRUCTIONS/FITTINGS

(CONTINUED).

FG	Fixed Glass
FGSS	Frameless Glass Shower Screen
FLR	Floor
FP	Fireplace
FS	Fixed Shelves
HK	Hook
HL	Horizontal Louver
HR	Handrail
HTR	Heated Towel Rail
IGS	Internal Glazed Screen
JU	Joinery Unit
LV	Louvre
- A	Adjustable
- F	Fixed
- R	Retractable
MIR	Mirror
MC	Metal Cladding
MH	Manhole
MJ	Movement Joint
MW	Microwave
OS	Open Shelves
PEL	Pelmet / Curtain / Rollerblind
PF	Pool Fence
PFF	Pre formed Flashing
PTN	Partition
PR	Picture Rail
RFB	Reflective Foil Board insulation
RB	Roller Blind
RH	Robe Hook
RS	Recessed Shelf
RSH	Roller Shutter
SCP	Suspended Acoustic Ceiling Panel
SD	Slot Drain
SH	Soap Holder
SHR	Shower
SR	Shower Rose
SKY-#	Sky Light (#)
SPB	Suspended Plasterboard
TB	Toilet Brush
TR	Towel Rail
TRH	Toilet Roll Holder
UA	Unequal Angle
UB	Universal Beam
UC	Universal Column
V	Vent
VL	Vertical Louver
W	Window
W-HL	Window - High light
WL	Wall Light
WPM	Waterproof Membrane

HYDRAULIC

AG	Agricultural Drain
BG	Box Gutter
BSN	Basin
BT	Boundary Trap
BTH	Bath
CO	Cleanout
CS	Cleaners Sink
DP	Down Pipe
FE	Fire Extinguisher
FH	Fire Hydrant
FHR	Fire Hose Reel
GD	Grease Drain
GM	Gas Meter
GT	Grease Trap
HC	Hose Cock
HWU-#	Hot Water Unit (#)
HYD	Hydraulic
IO	Inspection Opening
MFD-#	Hydronic Heating Manifold (#)
O/F	Over Flow
OFG	Over Flow Gully
RWH-#	Rainwater Head (#)
RWO	Rainwater Outlet
RWT	Rainwater Tank
SD	Sewer Drain
SNK	Sink
SP	Spreader
SW	Storm Water
SWD	Storm Water Drain
TB	Laundry Tub
TD	Trench Drain
VP	Vent Pipe
WC	Toilet
WS	Waste Stack
WTM	Water Meter



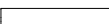
MATERIALS / FINISHES

AL	Aluminium
BIT	Bitumen
BBK	Bagged Brick
BK	Brick
BLK	Block
BP	Brick Pavers
CFC	Compressed Fibre Cement
CO	Copper
CONC	Concrete
CPT	Carpet
CR	Cement Render
CT	Cement Topping with Epoxy Sealer
DAR	Dressed All Round
FBK	Face Brick
FC	Fibre Cement Sheeting Product
FG	Fixed Glass
FGR	Fibre Glass Roofing
G	Glass
GALV	Galvanised
GRF	Granolithic Finish
GRT	Granolithic Topping / Epoxy Sealer
HWD	Hardwood
INSUL	Insulation
MR	Metal Roofing
MS	Mild Steel
OFC	Off Form Concrete
OG	Obscure Glass
P	Paint
PB	Plasterboard
PLY	Plywood
POL	Polished
PQY	Parquetry
RC	Reinforced Concrete (Type refer to spec)
RFT	Roof Tile
RT	Recycled Timber
RUB	Rubber
SB	Splashback
SCP	Satin Chrome Plate
SCR	Screed
SJ	Silicon Joint
SK	Skirting
SKT	Skirting Tile
SP	Set Plaster
SS	Stainless Steel
SSC	Stainless Steel Cable
SS 316	Stainless Steel (Grade)
SS CR	Stainless Steel Corrosion Resistant
ST	Stone
TC	Texture Coating
TIM	Timber
TLE	Tile
TLE-#	Tile Type # (Type refer to spec)
TMB	Termite Moisture Barrier
TRT	Terracotta Floor Tiles
TZ	Terrazzo
V	Vinyl
VT	Vinyl Tiles
WBC	Weatherboard Cladding
WRC	Western Red Cedar
WPM	Waterproof Membrane
WPB	Waterproof Plasterboard




LANDSCAPE

GBE	Garden Bed Edge as specified
GB	Garden Bed
PP	Paving Permeable
PS	Paving Slab
PV	Pavers
TOW	Top of Wall





WALL TYPE

	EXISTING WALL
	DEMOLISHED WALL
	NEW WALL








LANDSCAPE LEGEND

	TREE TO REMAIN
	TREE TO BE DEMOLISHED
	NEW TREE

LEVEL LEGEND

	EL	EXISTING LEVEL
	EL	DEMOLISHED LEVEL
	RL	RELATIVE LEVEL
	FL	FLOOR LEVEL

SITE SERVICES LEGEND

		HOSE COCK CONNECTED TO TOWN WATER
	R	HOSE COCK CONNECTED TO RAIN WATER
	GM	GAS METER
	WM	WATER METER
	EM	ELECTRICAL METER
	PIT	PIT
		HOT WATER UNIT



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MATTHEWS POOL	MICHELE MATTHEWS
Address	13A OCEAN ROAD PALM BEACH NSW LOT 1 / DP 121833

Drawing Name:	LEGEND
Drawing Status:	DEVELOPMENT APPLICATION

Paper Size: A3	Date Printed: 7/06/2019
Drawn By: ML	Checked By: MM
Project No: 1408	Drawing #: Rev: DA00.02_B



BASIX REQUIREMENTS

**BASIX**<sup>®</sup>**Certificate**  
Building Sustainability Index [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Alterations and Additions

Certificate number: A345820

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Secretary  
Date of issue: Wednesday, 29, May 2019  
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	Matthews Pool
Street address	13A Ocean Road Palm Beach 2108
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 121833
Lot number	1
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and includes a pool (and/or spa).

<b>Certificate Prepared by</b> (please complete before submitting to Council or PCA)
Name / Company Name: MacCormick & Associates Architects
ABN (if applicable): 147572807

BASIX Certificate number: A345820

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Pool and Spa	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
<b>Rainwater tank</b>			
The applicant must install a rainwater tank of at least 1443 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rainwater runoff from at least 70 square metres of roof area.		✓	✓
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool and outdoor spa.		✓	✓
<b>Outdoor swimming pool</b>			
The swimming pool must be outdoors.	✓	✓	✓
The swimming pool must not have a capacity greater than 28 kilolitres.	✓	✓	✓
The swimming pool must have a pool cover.		✓	✓
The applicant must install a pool pump timer for the swimming pool.		✓	✓
The applicant must install the following heating system for the swimming pool that is part of this development: electric heat pump.		✓	✓
<b>Outdoor spa</b>			
The spa must not have a capacity greater than 2 kilolitres.	✓	✓	✓
The spa must have a spa cover.		✓	✓
The applicant must install a spa pump timer.		✓	✓
The applicant must install the following heating system for the outdoor spa that is part of this development: electric heat pump.		✓	✓

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BASIX Certificate number: A345820

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Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
<b>Fixtures</b>			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

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Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

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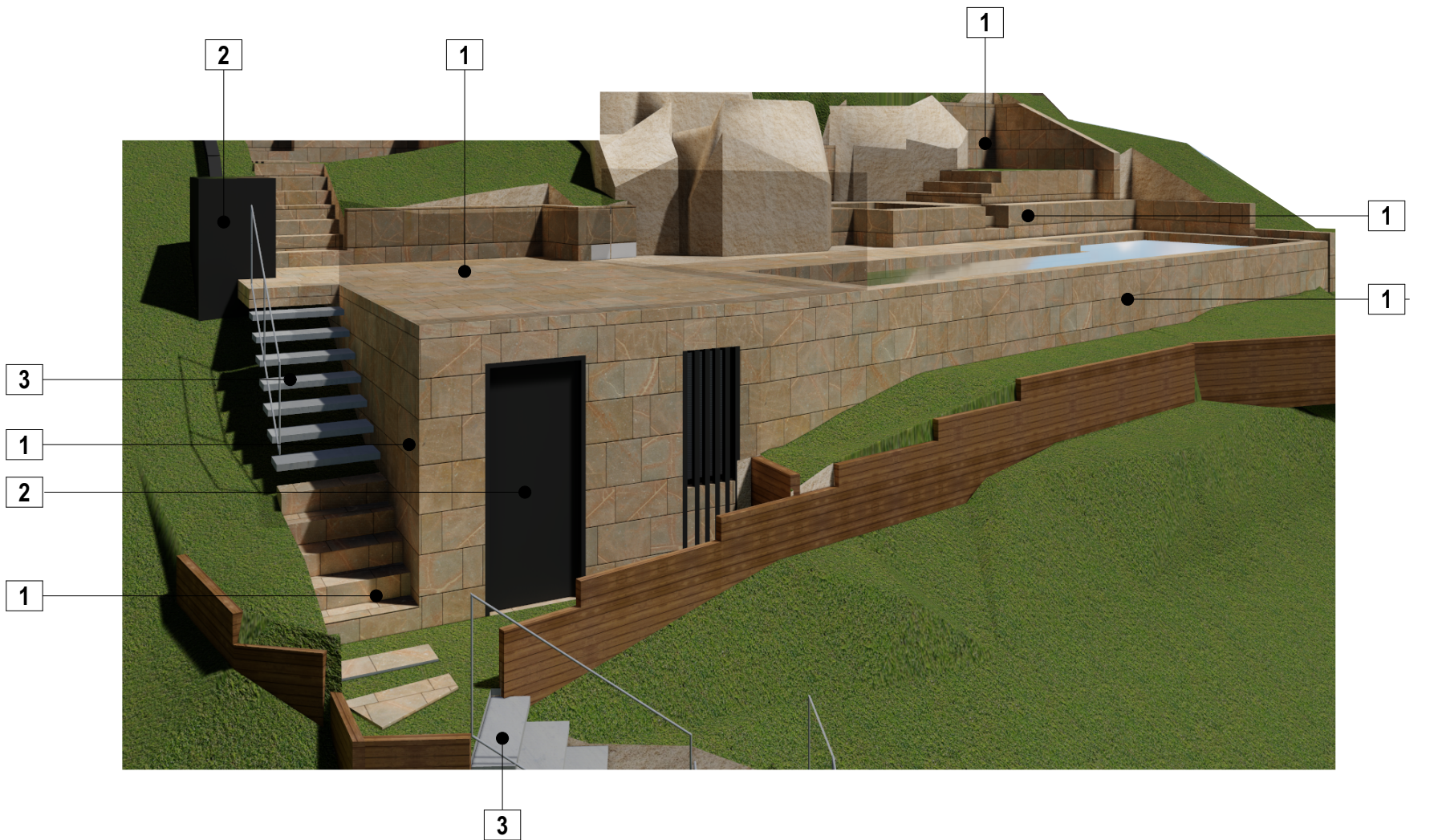
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LOT 1 / DP 121833	

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COLOUR SCHEME

1

SANDSTONE SALVAGED FROM SITE  
EXTERNAL WALL



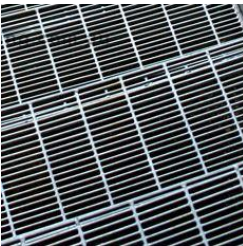
2

DARK COLOUR METAL  
INCLINATOR, PALISADE POOL FENCE,  
LOUVRED DOOR



3

STEEL MESH  
STAIRS



COMPLIANCE WITH DCP D12.3 (BUILDING COLOURS AND MATERIALS) :

- EARTHY TONES TO ALL EXTERNAL WALLS TO MATCH THE EXISTING ROCK
- DARK RECESSIVE METAL ELEMENTS



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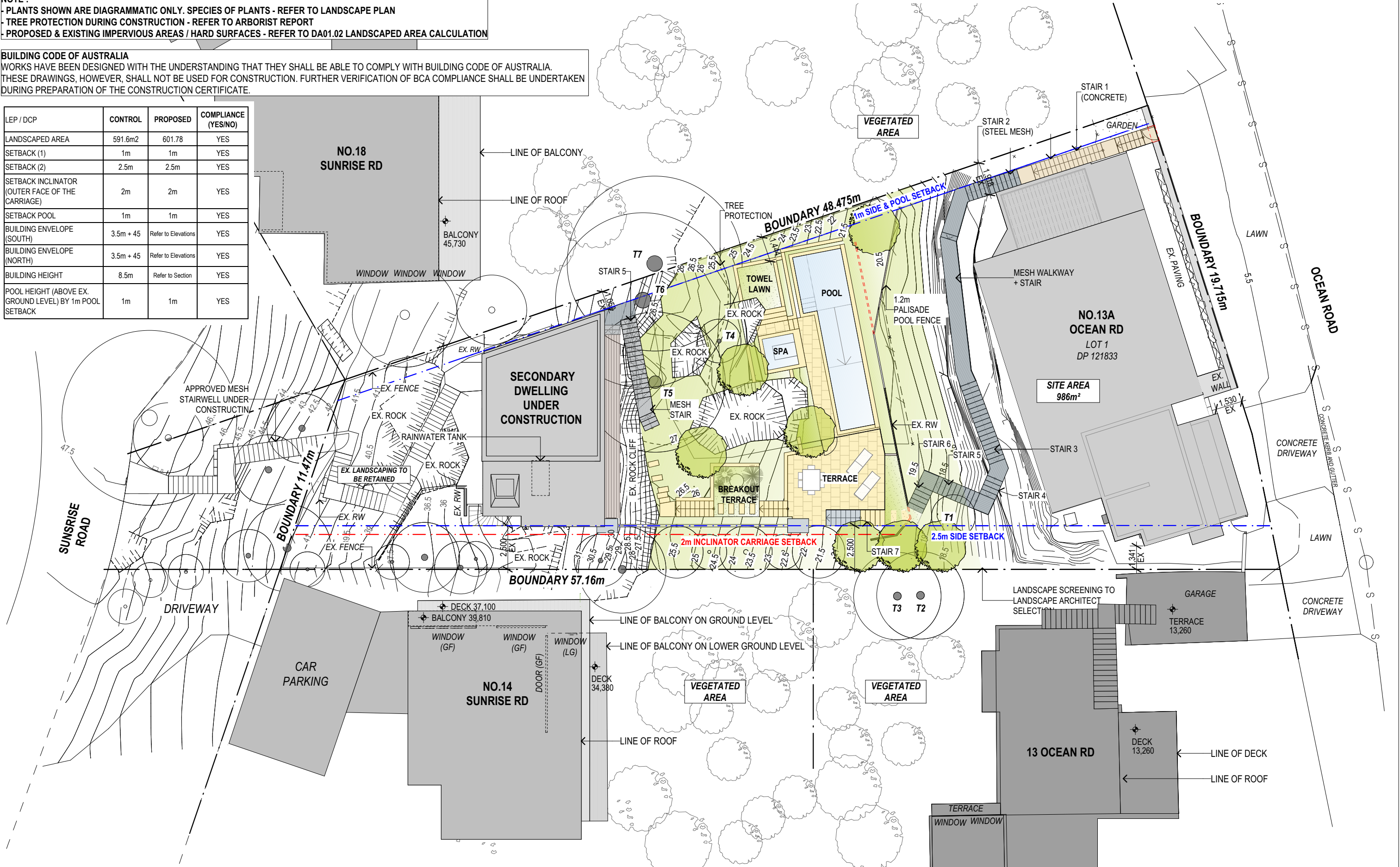
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NOTE :  
- PLANTS SHOWN ARE DIAGRAMMATIC ONLY. SPECIES OF PLANTS - REFER TO LANDSCAPE PLAN  
- TREE PROTECTION DURING CONSTRUCTION - REFER TO ARBORIST REPORT  
- PROPOSED & EXISTING IMPERVIOUS AREAS / HARD SURFACES - REFER TO DA01.02 LANDSCAPED AREA CALCULATION

**BUILDING CODE OF AUSTRALIA**  
WORKS HAVE BEEN DESIGNED WITH THE UNDERSTANDING THAT THEY SHALL BE ABLE TO COMPLY WITH BUILDING CODE OF AUSTRALIA. THESE DRAWINGS, HOWEVER, SHALL NOT BE USED FOR CONSTRUCTION. FURTHER VERIFICATION OF BCA COMPLIANCE SHALL BE UNDERTAKEN DURING PREPARATION OF THE CONSTRUCTION CERTIFICATE.

LEP / DCP	CONTROL	PROPOSED	COMPLIANCE (YES/NO)
LANDSCAPED AREA	591.6m2	601.78	YES
SETBACK (1)	1m	1m	YES
SETBACK (2)	2.5m	2.5m	YES
SETBACK INCLINATOR (OUTER FACE OF THE CARRIAGE)	2m	2m	YES
SETBACK POOL	1m	1m	YES
BUILDING ENVELOPE (SOUTH)	3.5m + 45	Refer to Elevations	YES
BUILDING ENVELOPE (NORTH)	3.5m + 45	Refer to Elevations	YES
BUILDING HEIGHT	8.5m	Refer to Section	YES
POOL HEIGHT (ABOVE EX. GROUND LEVEL) BY 1m POOL SETBACK	1m	1m	YES



1 SITE PLAN  
1:200



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0 1 2 3

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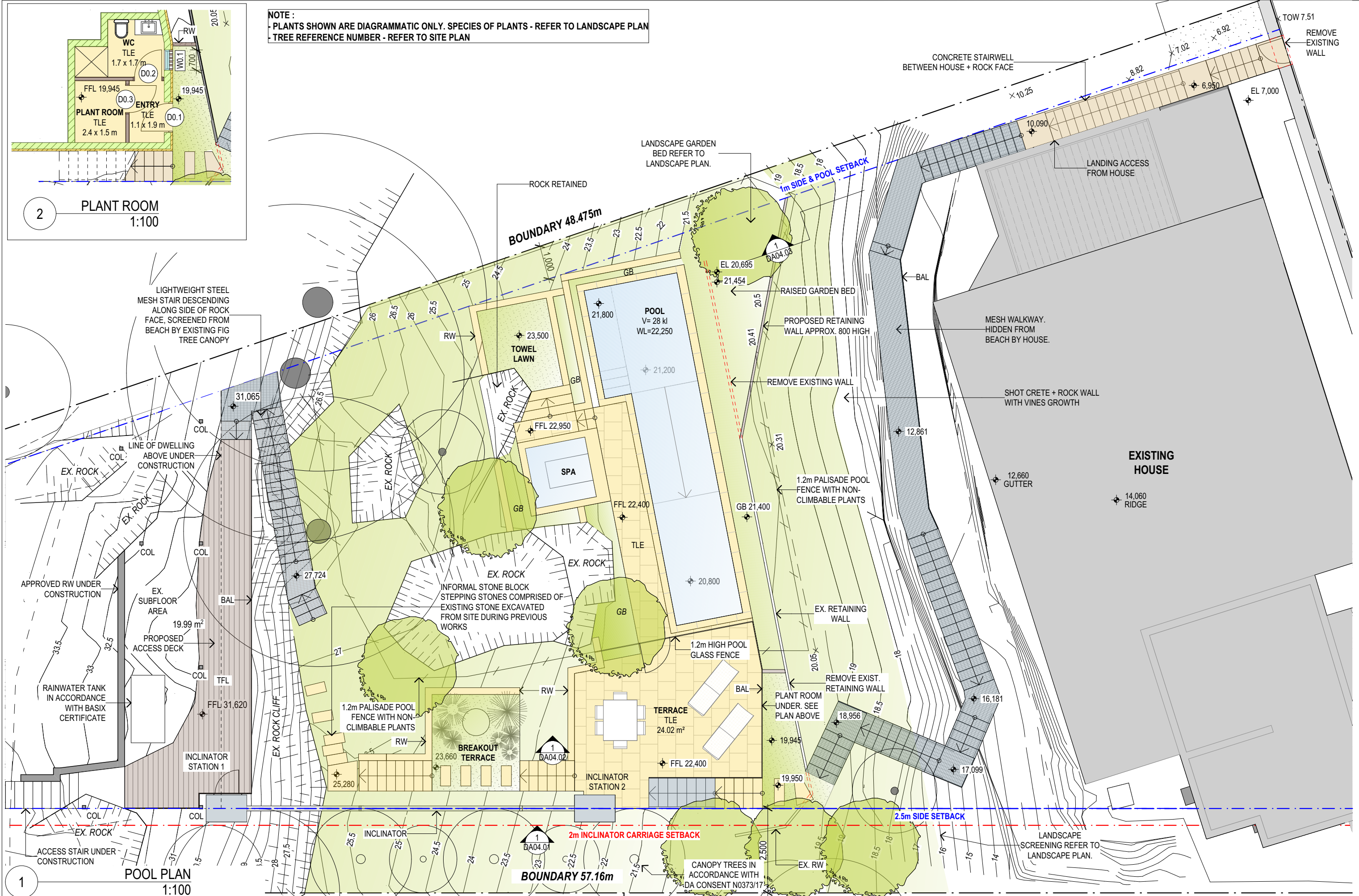
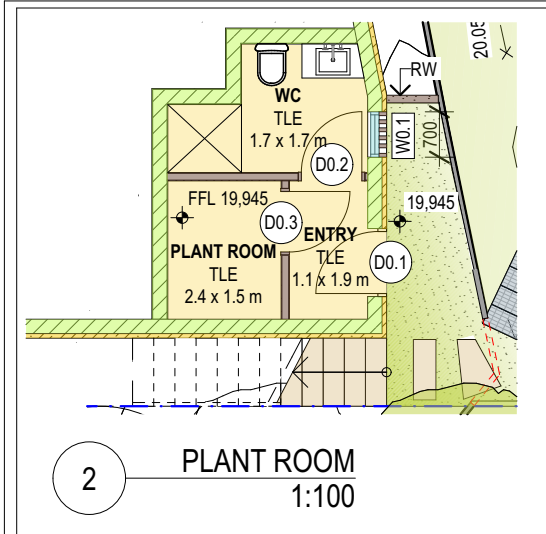


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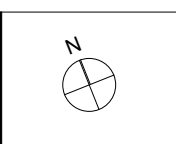


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- TREE REFERENCE NUMBER - REFER TO SITE PLAN

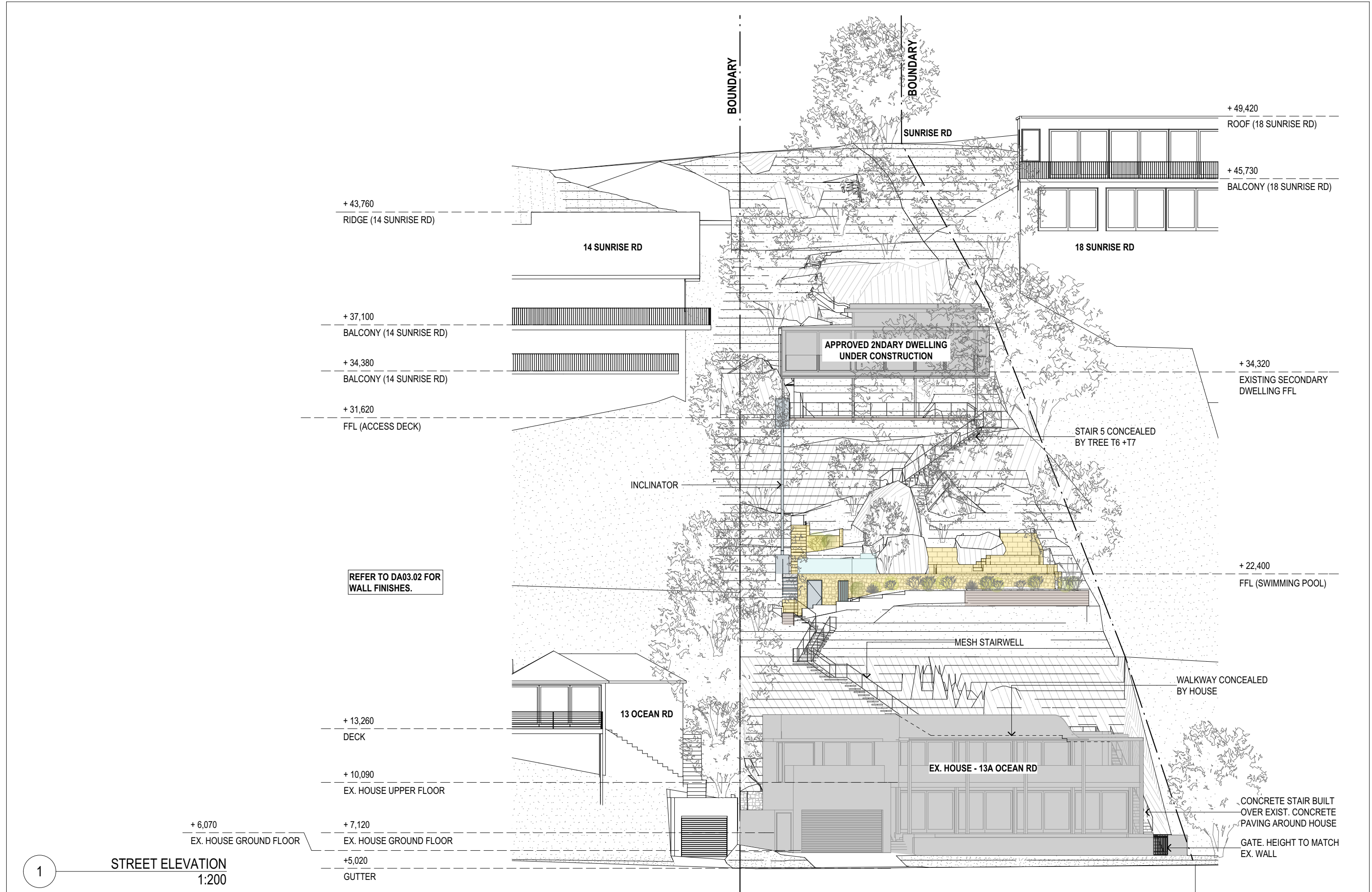


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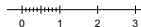




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1 SOUTH ELEVATION  
1:100

2 EAST ELEVATION  
1:100



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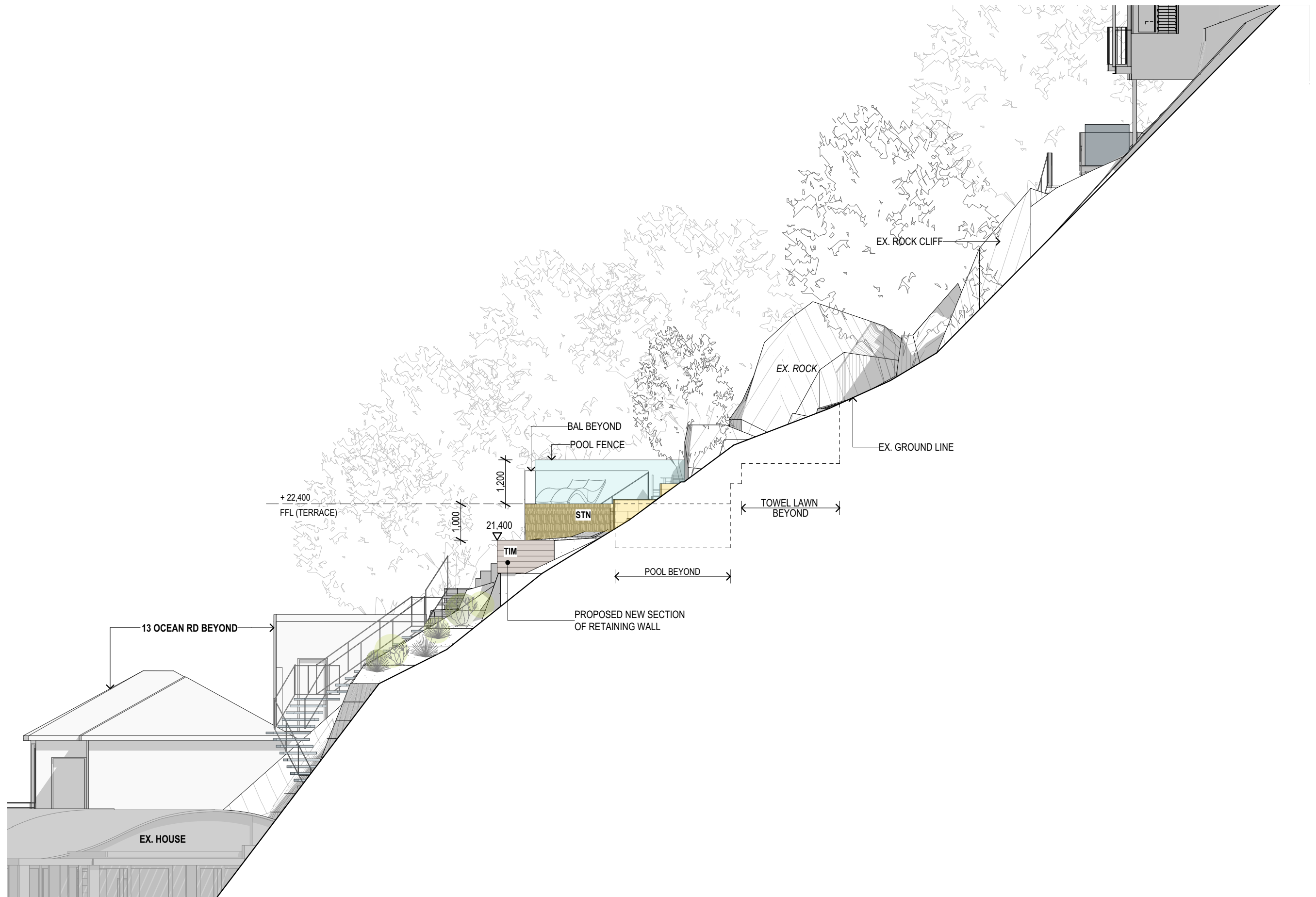
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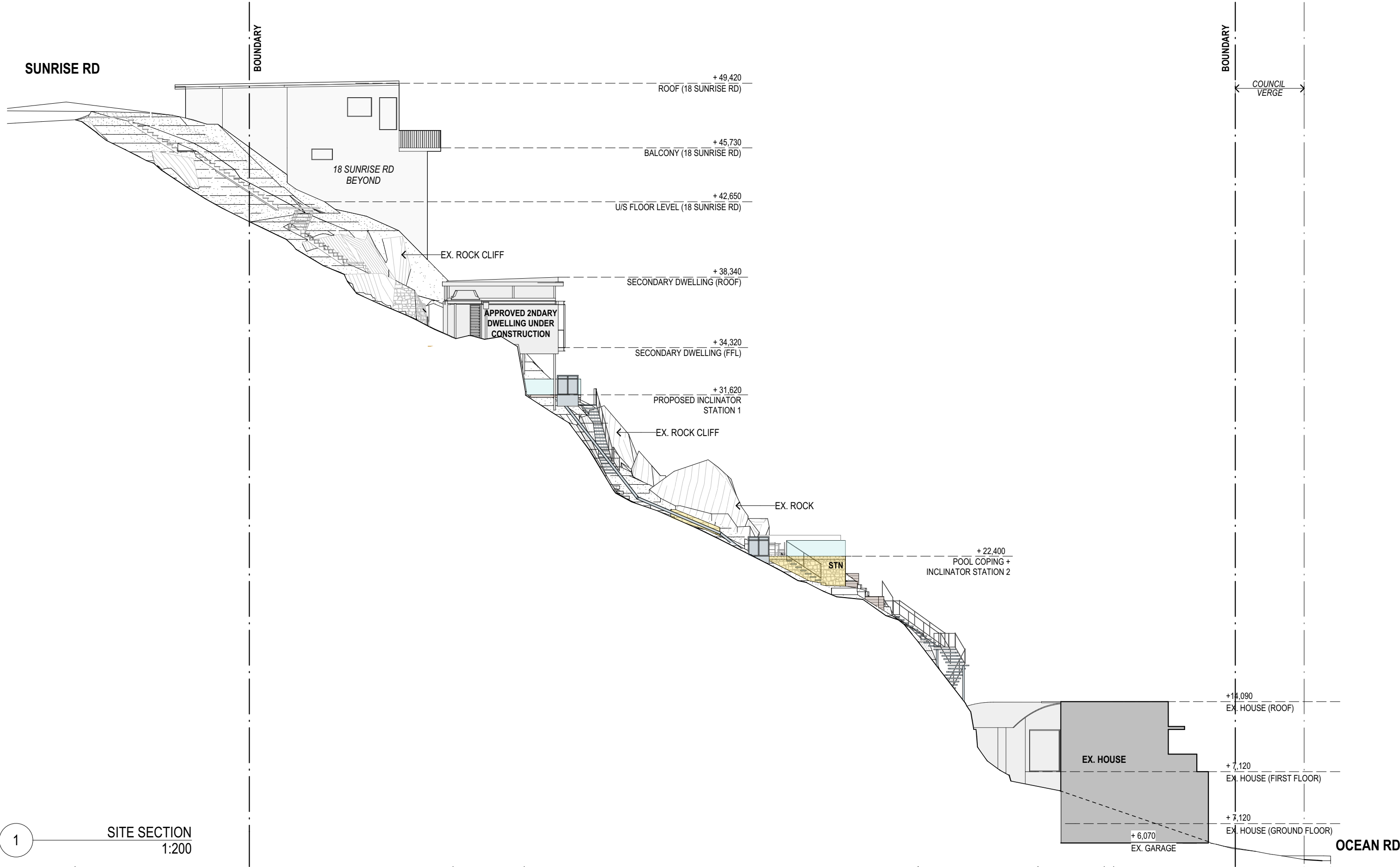
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Project Name	Owner
MATTHEWS POOL	MICHELE MATTHEWS
Address	
13A OCEAN ROAD PALM BEACH NSW	
LOT 1 / DP 121833	

Drawing Name:
NORTH ELEVATION
Drawing Status:
DEVELOPMENT APPLICATION

Paper Size: A3	Date Printed: 7/06/2019
Drawn By: ML	Checked By: MM
Project No: 1408	Drawing #: Rev: DA03.03_B



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13 VICTORIA STREET QUEENS PARK NSW 2022  
T 9037 0437 E hello@macormickarchitects.com.au  
ACN 147 572 807 Architect Reg 6702

Rev.	Description	Date

NOT FOR CONSTRUCTION

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1\1408\_Matthews Palm Beach\_Pool\_220519.pln

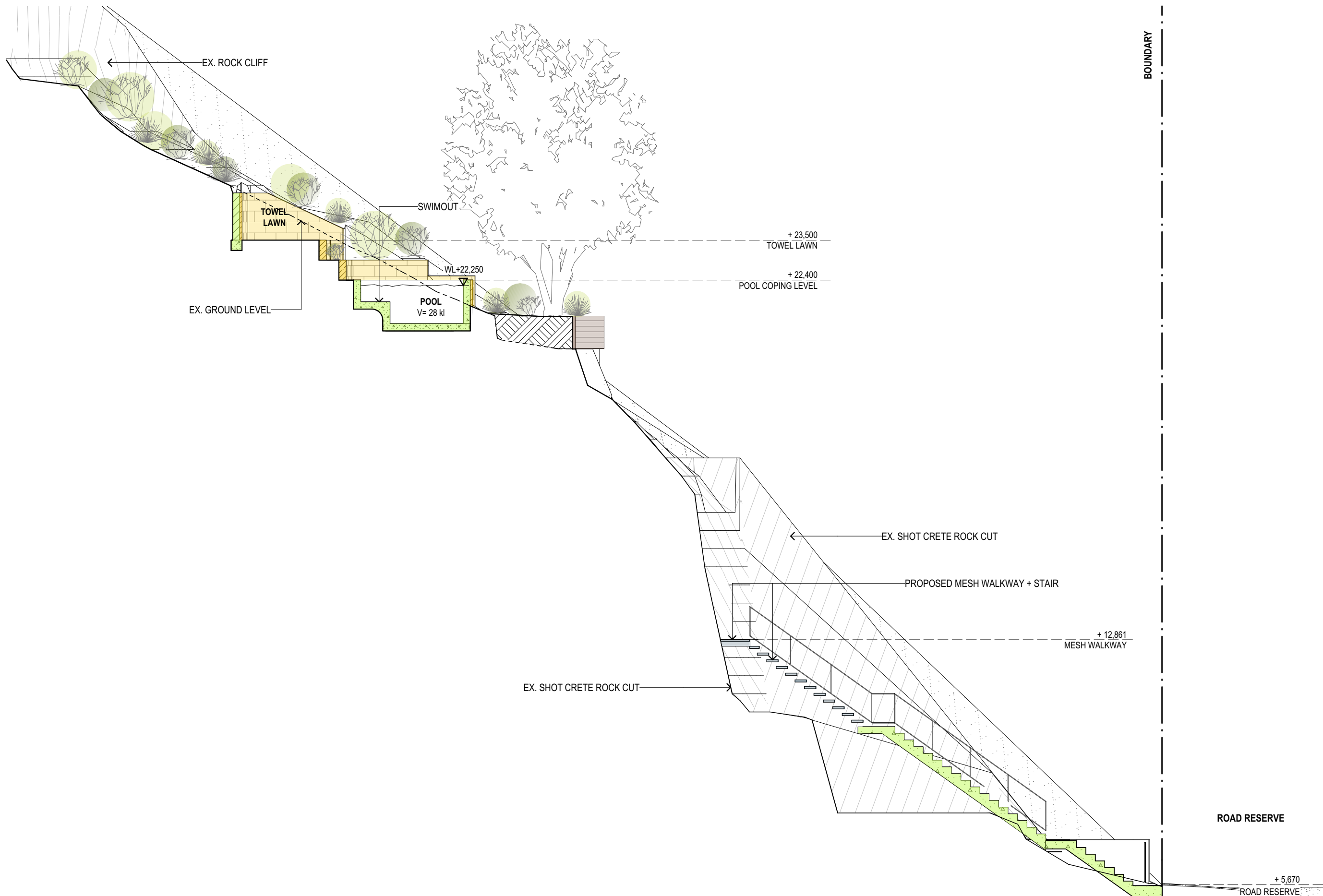
The builder shall check & verify all dimensions & verify all errors and omissions to the Architect. Contractor to report discrepancies immediately. This drawing is to be used in conjunction with all relevant contracts. Do not scale off the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction. This drawing is copyright and may not be used without written consent from the Architect.

Project Name	Owner
MATTHEWS POOL	MICHELE MATTHEWS
Address	
13A OCEAN ROAD PALM BEACH NSW	
LOT 1 / DP 121833	

Drawing Name:	
SECTION - SITE	
Drawing Status:	
DEVELOPMENT APPLICATION	

Paper Size: A3	Date Printed: 7/06/2019
Drawn By: ML	Checked By: MM
Project No: 1408	Drawing #: Rev: DA04.01_B





1

SECTION - STAIR TO OCEAN RD  
1:100



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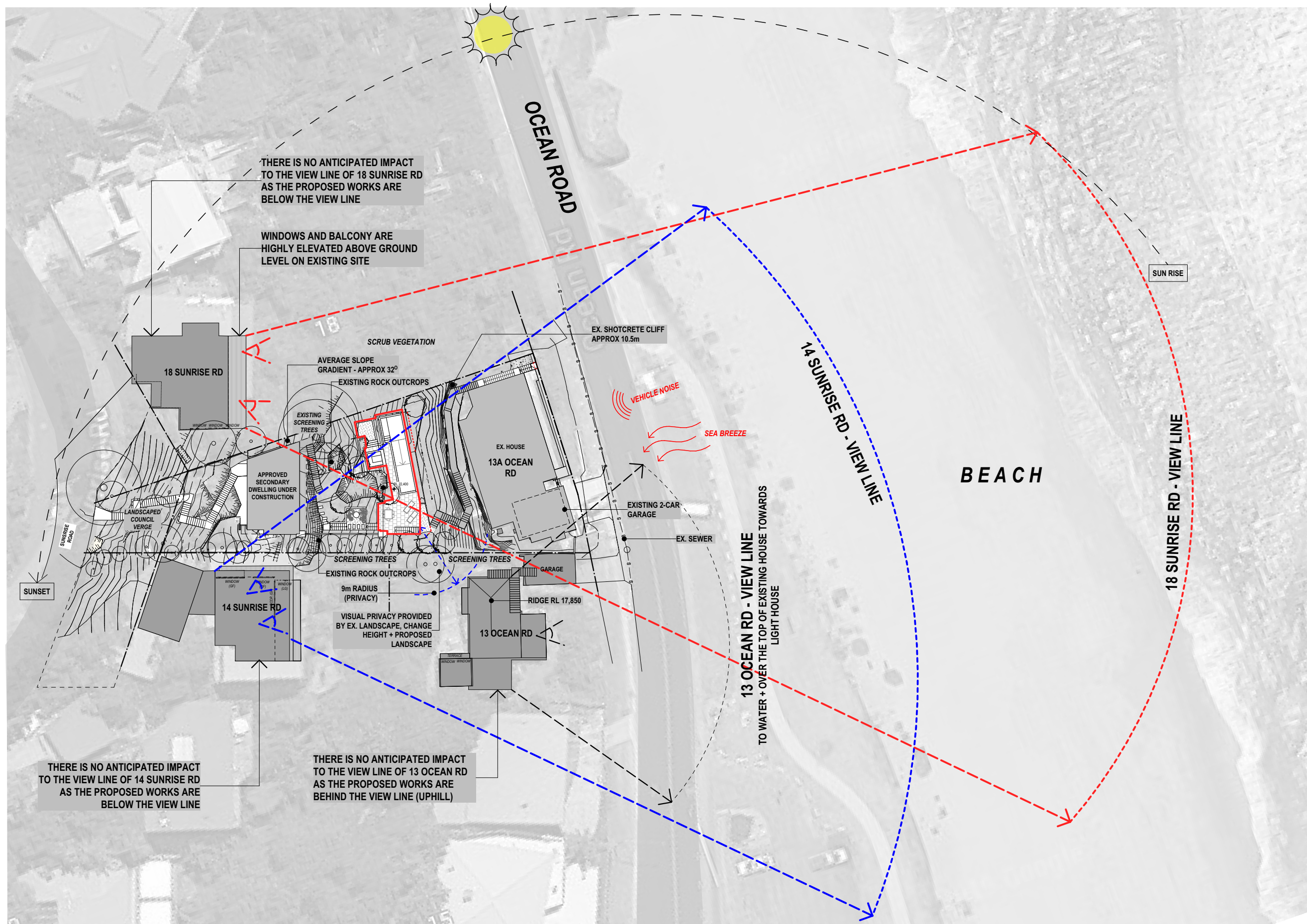
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Project Name	Owner
MATTHEWS POOL	MICHELE MATTHEWS
Address	
13A OCEAN ROAD PALM BEACH NSW	
LOT 1 / DP 121833	

Drawing Name:	
SECTION - POOL & STAIR	
Drawing Status:	
DEVELOPMENT APPLICATION	

Paper Size: A3	Date Printed: 7/06/2019
Drawn By: ML	Checked By: MM
Project No: 1408	Drawing #: Rev:
	DA04.03_B





PROPOSED WORKS

1 SITE ANALYSIS PLAN AND VIEW DIAGRAM  
1:500



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Rev.	Description	Date

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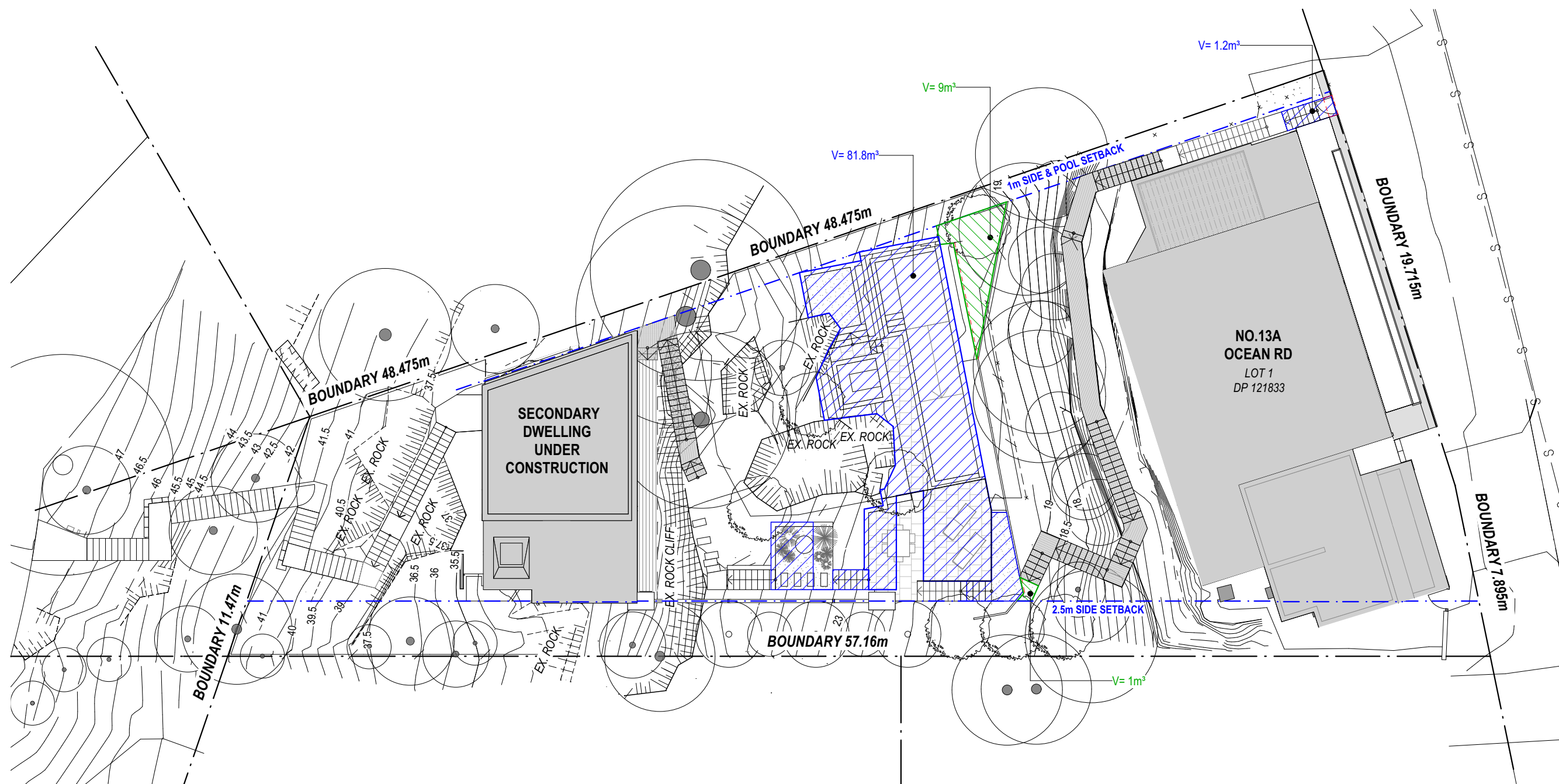
Project Name  
**MATTHEWS POOL MICHELE MATTHEWS**  
Owner  
**MICHELE MATTHEWS**  
Address  
**13A OCEAN ROAD PALM BEACH NSW  
LOT 1 / DP 121833**



Drawing Name:  
**SITE ANALYSIS PLAN + VIEW DIAGRAM (PLAN)**  
Drawing Status:  
**DEVELOPMENT APPLICATION**

Paper Size: A3	Date Printed: 7/06/2019
Drawn By: ML	Checked By: MM
Project No: <b>1408</b>	Drawing #: <b>DA06.1_B</b>





1



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1408\_Matthews Palm Beach Pool 220519.pln

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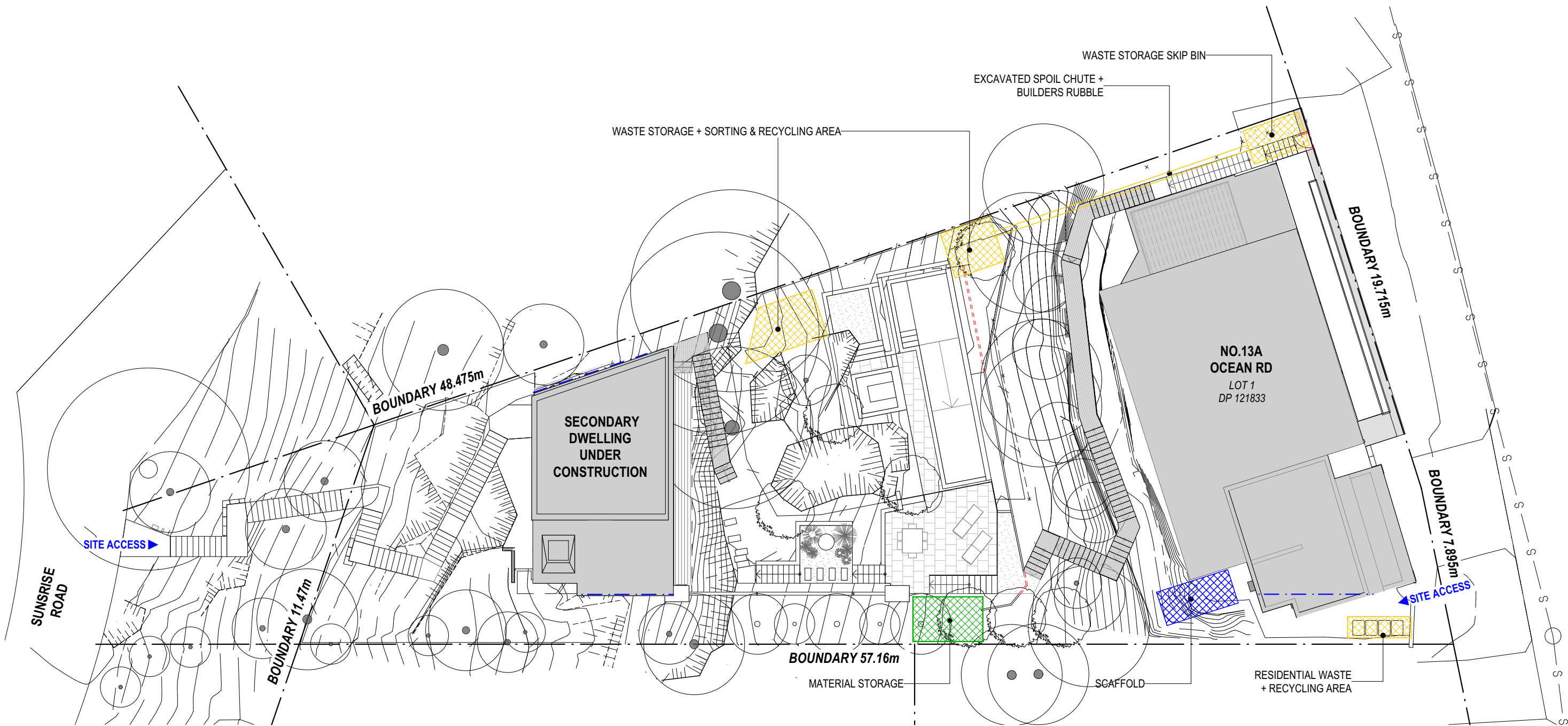
Project Name	Owner
<b>MATTHEWS POOL</b>	<b>MICHELE MATTHEWS</b>
Address	
<b>13A OCEAN ROAD PALM BEACH NSW</b>	
<b>LOT 1 / DP 121833</b>	



Drawing Name:  
**EXCAVATION & FILL PLAN**

Drawing Status:  
**DEVELOPMENT APPLICATION**

Paper Size: A3	Date Printed: 7/06/2019
Drawn By: ML	Checked By: MM
Project No: <b>1408</b>	Drawing #: Rev: <b>DA06.2_B</b>



1 WASTE MANAGEMENT SITE PLAN  
1:200



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ACN 147 572 807 Architect Reg 6702

Rev.	Description	Date

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Project Name  
**MATTHEWS POOL** Owner  
**MICHELE MATTHEWS**  
Address  
**13A OCEAN ROAD PALM BEACH NSW**  
**LOT 1 / DP 121833**



Drawing Name:  
**WASTE MANAGEMENT SITE PLAN**  
Drawing Status:  
**DEVELOPMENT APPLICATION**

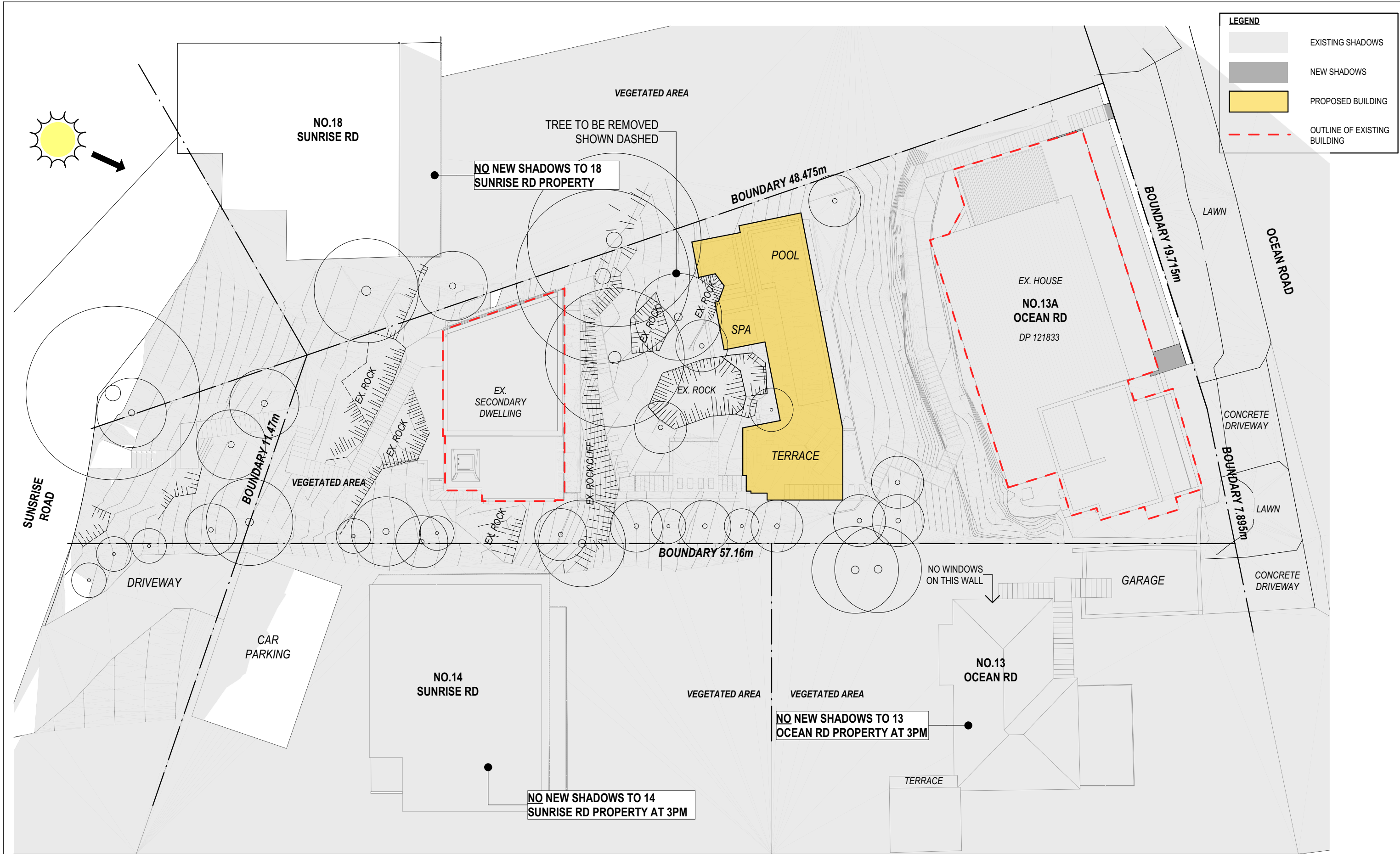
Paper Size: A3	Date Printed: 7/06/2019
Drawn By: ML	Checked By: MM
Project No: <b>1408</b>	Drawing #: <b>DA06.3_B</b>











1 PROPOSED 21 JUNE- 3PM  
1:200



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13 VICTORIA STREET QUEENS PARK NSW 2022  
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ACN 147 572 807 Architect Reg 6702

Rev.	Description	Date

NOT FOR CONSTRUCTION

0 1 2 3

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11408\_Matthews Palm Beach\_Pool\_220519.pln

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Project Name  
**MATTHEWS POOL** Owner  
**MICHELE MATTHEWS**

Address  
**13A OCEAN ROAD PALM BEACH NSW**  
**LOT 1 / DP 121833**



Drawing Name:  
**SHADOW DIAGRAM (21 JUNE - 3PM)**

Drawing Status:  
**DEVELOPMENT APPLICATION**

Paper Size: A3	Date Printed: 7/06/2019
Drawn By: ML	Checked By: MM
Project No: <b>1408</b>	Drawing #: <b>DA07.3_B</b>



