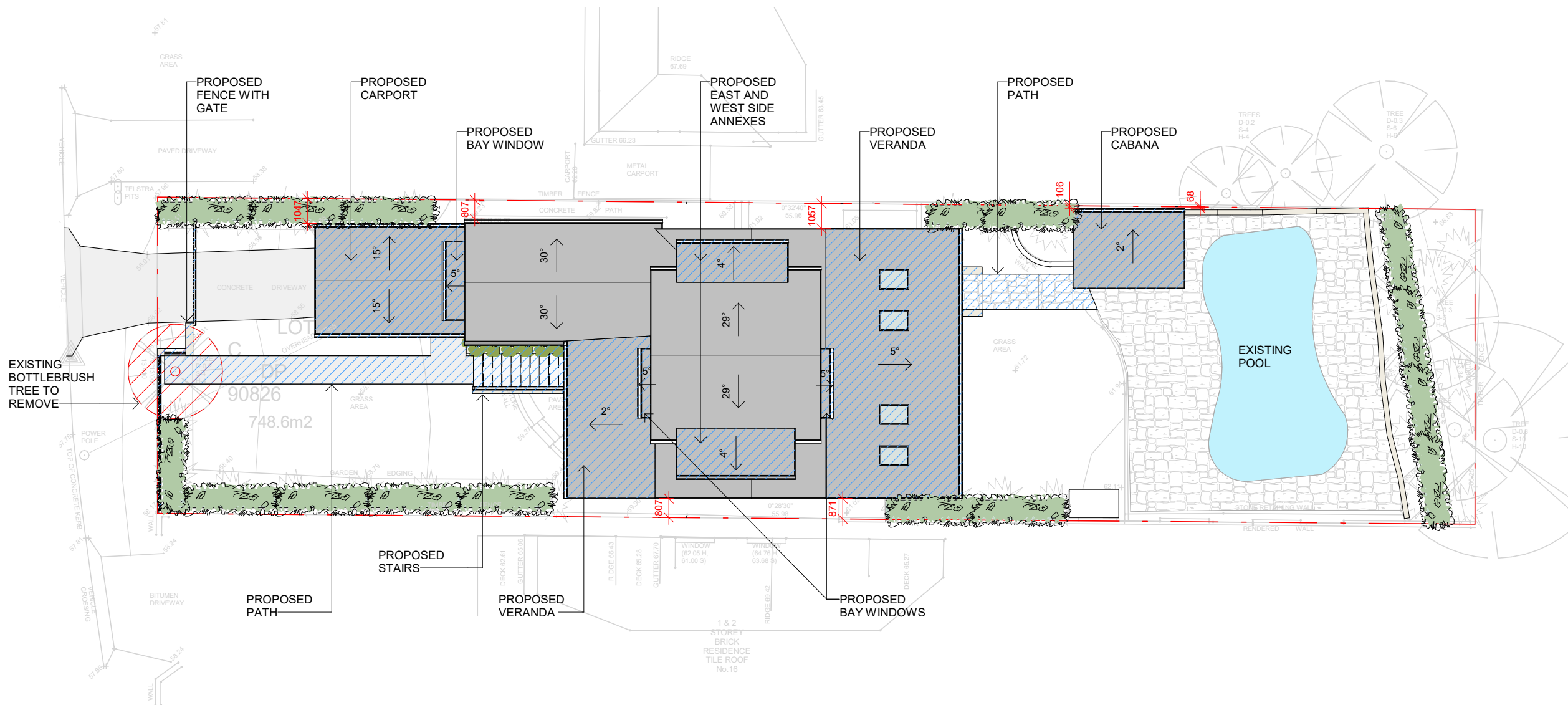


18 Jenner Street, Seaforth





## 1 SITE PLAN

A101 1 : 200

### NOTES:

- Demolition works to be carried out in accordance with the requirements of A2601-2001 The Demolition of Structures. Also in compliance with work cover authority of NSW requirements, including but not limited to:
  - Protection of site workers and the general public
  - Asbestos handling and disposal where applicable
- Termite protection to be in accordance with AS 3600.1
- All construction to comply with current BCA codes and Australian Standards.
- Stormwater system to be connected to existing.
- All timber framing shall comply with AS1684
- These documents must be read in conjunction with all the sub-consultants reports and recommendations. The architectural documents form part of the total construction set and are not to be taken as exclusively being the building construction documents
- Eaves within 900mm of allotment boundaries are to be constructed of non-combustible materials. eaves must not be within 450mm of allotment boundaries as required by part 3.7.1 of BCA
- Smoke alarms to be installed in accordance with BCA 3.7.5 vol.2 2019
- Sediment & Erosion control are to be installed and maintained during the life of the project

### POOL NOTES:

- Pool overflow to be connected to existing Sewer System
- Pool fencing to be designed, located and maintained in accordance with the swimming pools act 1992, Regulation Pools Act 1992, Regulation and Australian Standard 1926.1 & comply with BCA Vol.2, Housing Provisions, Part 3.9.3 and AS1926.1. The min H of pool fence balustrade is 1200mm and openings not grater than 105mm

ALL BUILDING WORKS MUST BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA (BCA) AND AUSTRALIAN STANDARDS

Do not scale from plans. All dimensions and levels shown on plan are subject to confirmation on site.

ISSUE	DATE	DESCRIPTION	DRWN	CHKD
-	26.08.2019	EXISTING	MN	KM
-	4.09.2019	CONCEPT DESIGN	MN	KM
-	10.09.2019	DA ISSUE	MN	KM

This drawing is copyright and remains the property of Blue Sky Building Designs P/L.



www.blueskybuildingdesigns.com.au

PROJECT TITLE: Alteration & Addition

PROJECT NO.: 2019043

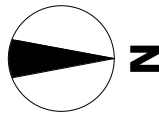
AT: 18 Jenner Street, Seaforth

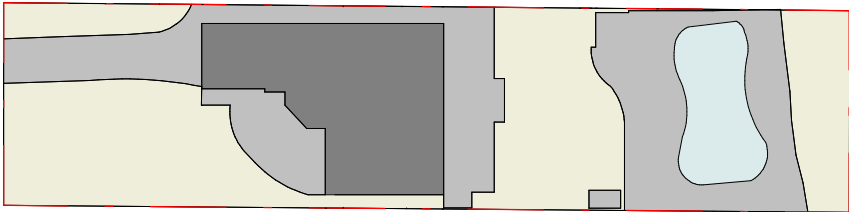
FOR: Kate & Matt Rae

SHEET TITLE: SITE PLAN

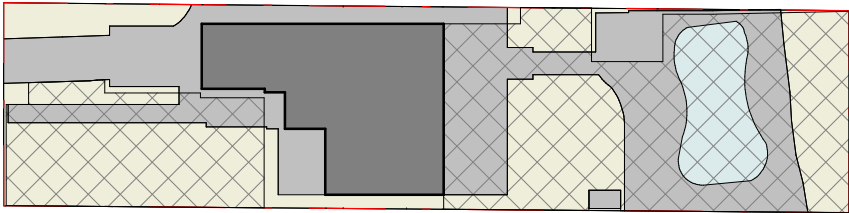
SHEET NO: A101

SCALE A3: As indicated





1 | SITE PLAN CALCULATIONS- EXISTING  
A102 | 1 : 500



2 | SITE PLAN CALCULATIONS- PROPOSED  
A102 | 1 : 500

- LANDSCAPED AREA
- HARD SURFACE
- SITE COVERAGE
- TOTAL OPEN SPACE AREA
- POOL

Site Plan Calculations Legend  
1 : 500

CALCULATION TABLE		
ZONE	R2 - LOW DENSITY RESIDENTIAL	
HAZARDS	-	
SITE AREA	748.2 m²	
MAX. BUILDING HEIGHT	Hmax = 8.5 m	
	EXISTING	PROPOSED
TOTAL FLOOR AREA	150.3m²	166.9m²
SITE COVERAGE:	130.0m² / 17.4%	131.1m² / 17.5%
HARD SURFACE	298.0m²	331.5m²
	PAVING & DRIVEWAY	222.7m²
	FRONT VERANDA	13.6m²
	BACK VERANDA	47.5m²
	CARPORT	24.4m²
	EXTERNAL STAIRS	13.0m²
	CABANA	10.3m²
LANDSCAPED AREA	320.2m² / 42.8%	285.6m² / 38.2%
FLOOR SPACE RATIO	0.20:1	0.22:1

TOTAL OPEN SPACE AREA (OS4) - 460.4m² / 61.5%  
SWIMMING POOL AREA - 49.6m² / 10.8%

DOOR SCHEDULE		
Mark	Width	Height
D1N	2920	2300
D2N	2920	2300
D3S	2000	2100

WINDOW SCHEDULE			
Mark	Width	Height	Sill Height
W16S	2000	1500	700
W5S	2400	1500	600
W4E	400	1500	600
W6W	400	1500	600
W11E	400	1500	700
W13W	400	1500	700
W10E	400	1500	700
W14W	400	1500	700
W15N	2000	1500	700
W12S	2000	1500	700
W9N	2000	1500	700
W3E	700	1300	800
W2E	700	1300	800
W1E	700	1300	800
W7W	700	1300	800
W8W	700	1300	800

Do not scale from plans. All dimensions and levels shown on plan are subject to confirmation on site.

ISSUE	DATE	DESCRIPTION	DRWN	CHKD
-	26.08.2019	EXISTING	MN	KM
-	4.09.2019	CONCEPT DESIGN	MN	KM
-	10.09.2019	DA ISSUE	MN	KM

This drawing is copyright and remains the property of Blue Sky Building Designs P/L.

BLUE SKY

BUILDING DESIGNS

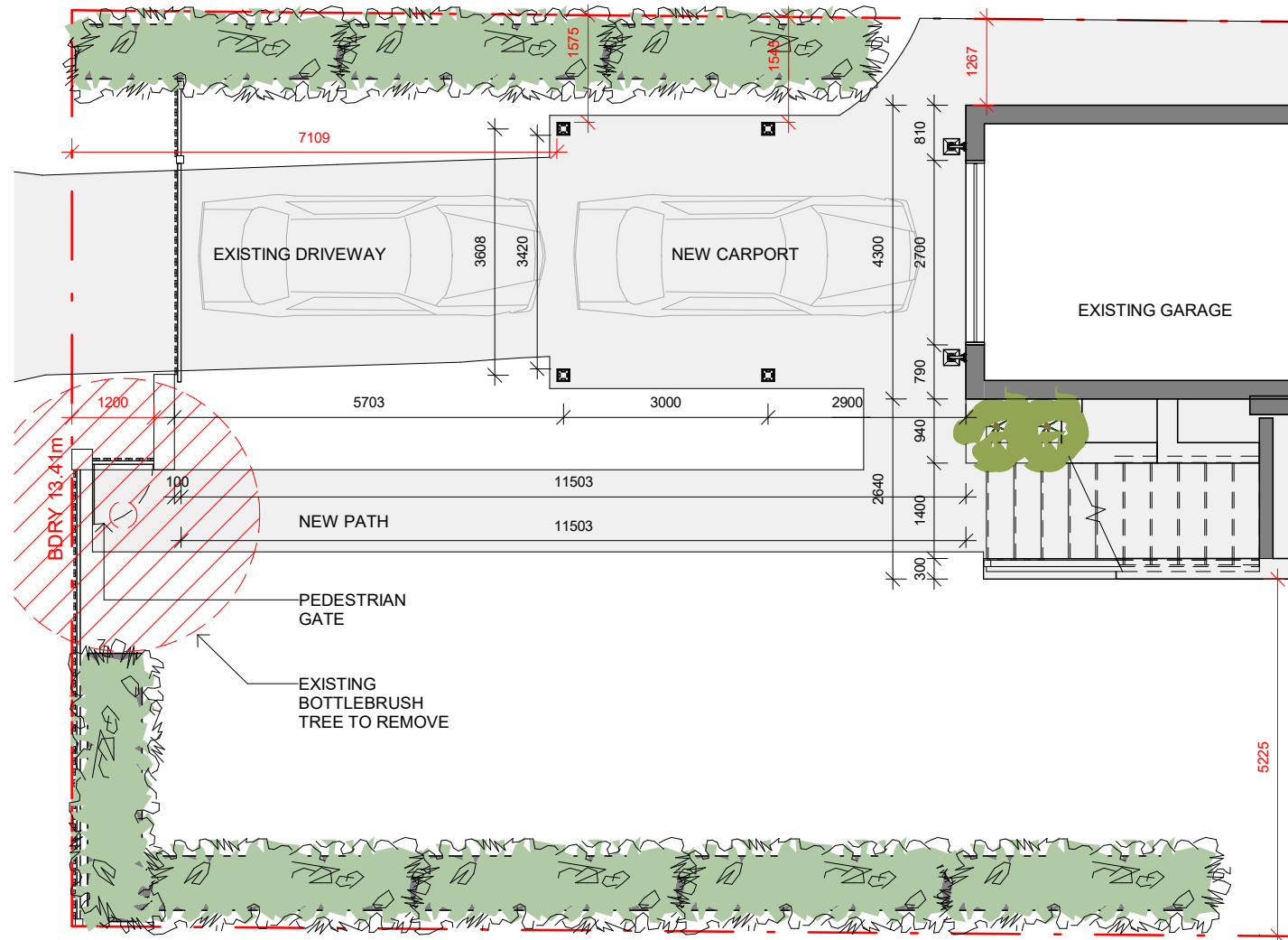
PO BOX 167  
Newport 2106

Mobile: 0 414 310 171  
E: info@bsbd.com.au

www.blueskybuildingdesigns.com.au

PROJECT TITLE:	Alteration & Addition
PROJECT NO.:	2019043
AT:	18 Jenner Street, Seaforth
FOR:	Kate & Matt Rae

SHEET TITLE:	SITE PLAN CALCULATIONS
SHEET NO:	A102
SCALE A3:	As indicated



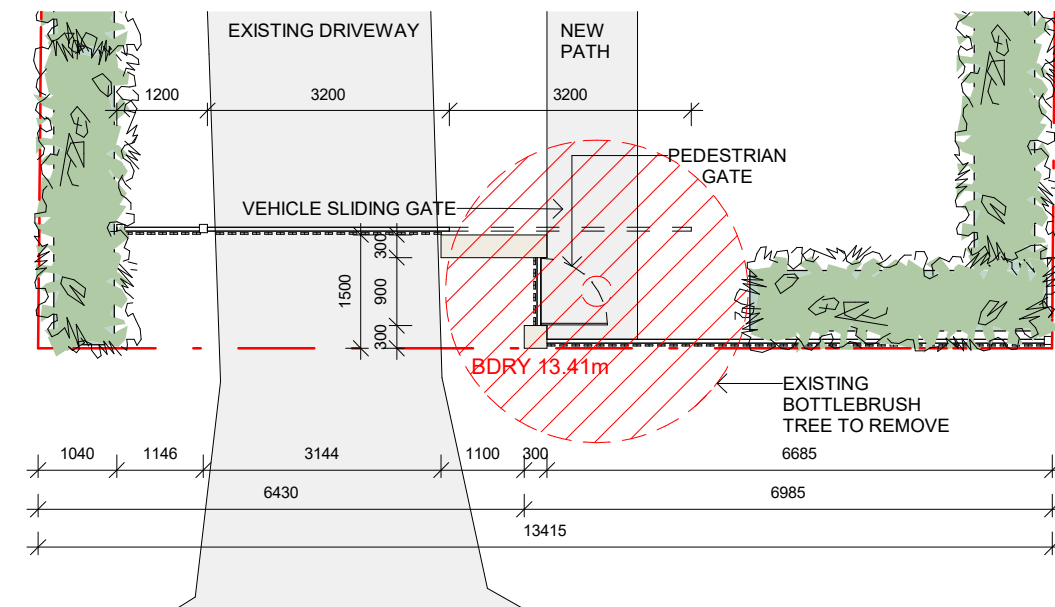
1 GARAGE FLOOR PLAN

A104 1 : 100



2 FRONT FENCE ELEVATION

A104 1 : 100



3 SITE PLAN - FENCE + GATE

A104 1 : 100

Do not scale from plans. All dimensions and levels shown on plan are subject to confirmation on site.

ISSUE	DATE	DESCRIPTION	DRWN	CHKD
-	26.08.2019	EXISTING	MN	KM
-	4.09.2019	CONCEPT DESIGN	MN	KM
-	10.09.2019	DA ISSUE	MN	KM

This drawing is copyright and remains the property of Blue Sky Building Designs P/L.

**BLUE SKY**  
BUILDING DESIGNS

PO BOX 167  
Newport 2106

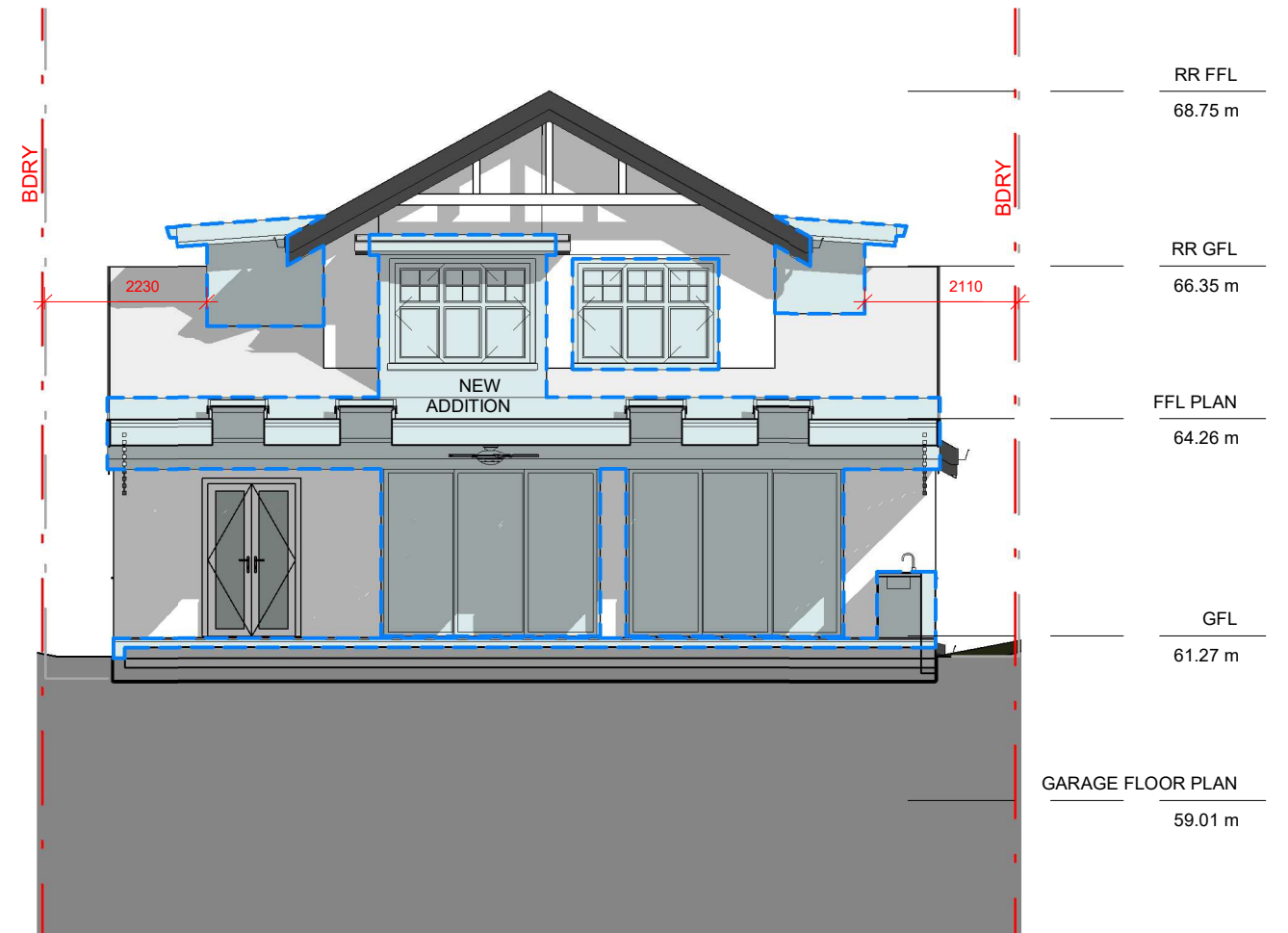
Mobile: 0 414 310 171  
E: info@bsbd.com.au

[www.blueskybuildingdesigns.com.au](http://www.blueskybuildingdesigns.com.au)

PROJECT TITLE:	Alteration & Addition
PROJECT NO.:	2019043
AT:	18 Jenner Street, Seaforth
FOR:	Kate & Matt Rae

SHEET TITLE:	GARAGE & FENCE FLOOR PLAN
SHEET NO:	A104
SCALE A3:	1 : 100





Do not scale from plans. All dimensions and levels shown on plan are subject to confirmation on site.

ISSUE	DATE	DESCRIPTION	DRWN	CHKD
-	26.08.2019	EXISTING	MN	KM
-	4.09.2019	CONCEPT DESIGN	MN	KM
-	10.09.2019	DA ISSUE	MN	KM

This drawing is copyright and remains the property of Blue Sky Building Designs P/L.

**BLUE SKY**  
BUILDING DESIGNS

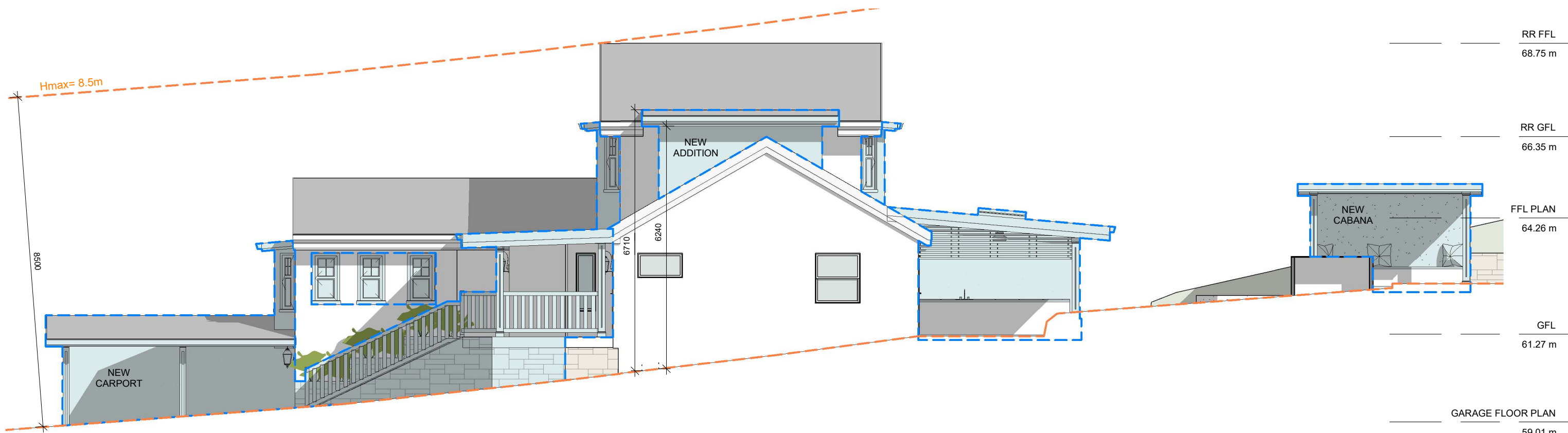
PO BOX 167  
Newport 2106

Mobile: 0 414 310 171  
E: info@bsbd.com.au

[www.blueskybuildingdesigns.com.au](http://www.blueskybuildingdesigns.com.au)

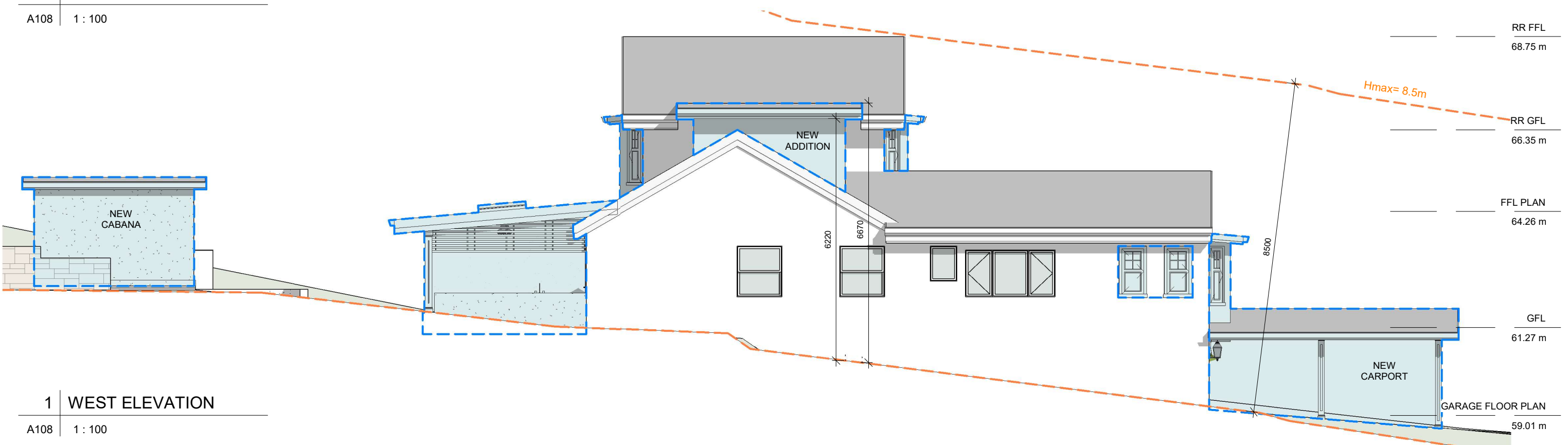
PROJECT TITLE:	Alteration & Addition
PROJECT NO.:	2019043
AT:	18 Jenner Street, Seaforth
FOR:	Kate & Matt Rae

SHEET TITLE:	ELEVATIONS
SHEET NO:	A107
SCALE A3:	1 : 100



2 EAST ELEVATION

A108 1 : 100



1 WEST ELEVATION

A108 1 : 100

Do not scale from plans. All dimensions and levels shown on plan are subject to confirmation on site.

ISSUE	DATE	DESCRIPTION	DRWN	CHKD
-	26.08.2019	EXISTING	MN	KM
-	4.09.2019	CONCEPT DESIGN	MN	KM
-	10.09.2019	DA ISSUE	MN	KM

This drawing is copyright and remains the property of Blue Sky Building Designs P/L.

BLUE SKY

BUILDING DESIGNS

PO BOX 167  
Newport 2106

Mobile: 0 414 310 171  
E: info@bsbd.com.au

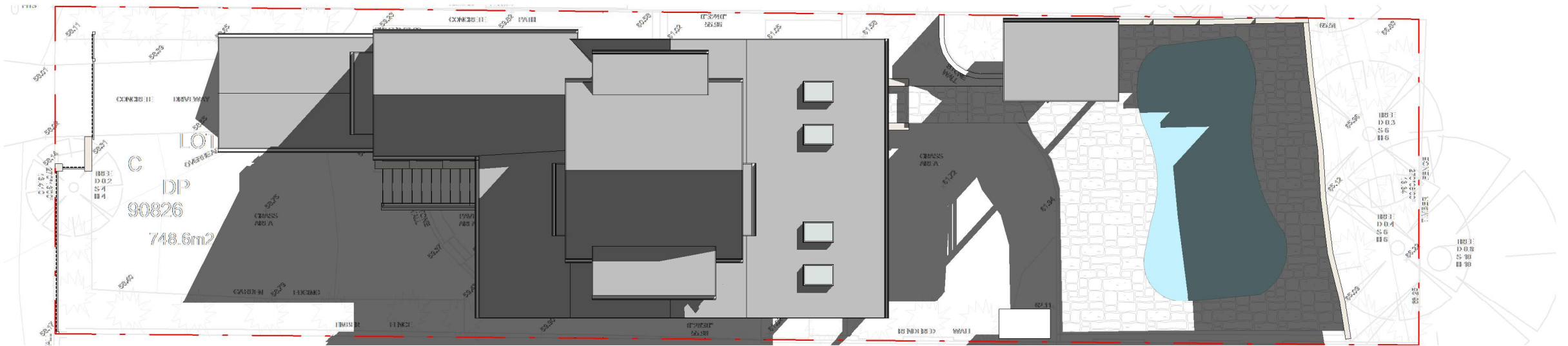
[www.blueskybuildingdesigns.com.au](http://www.blueskybuildingdesigns.com.au)

PROJECT TITLE:	Alteration & Addition
PROJECT NO.:	2019043
AT:	18 Jenner Street, Seaforth
FOR:	Kate & Matt Rae

SHEET TITLE:	ELEVATIONS
SHEET NO:	A108
SCALE A3:	1 : 100

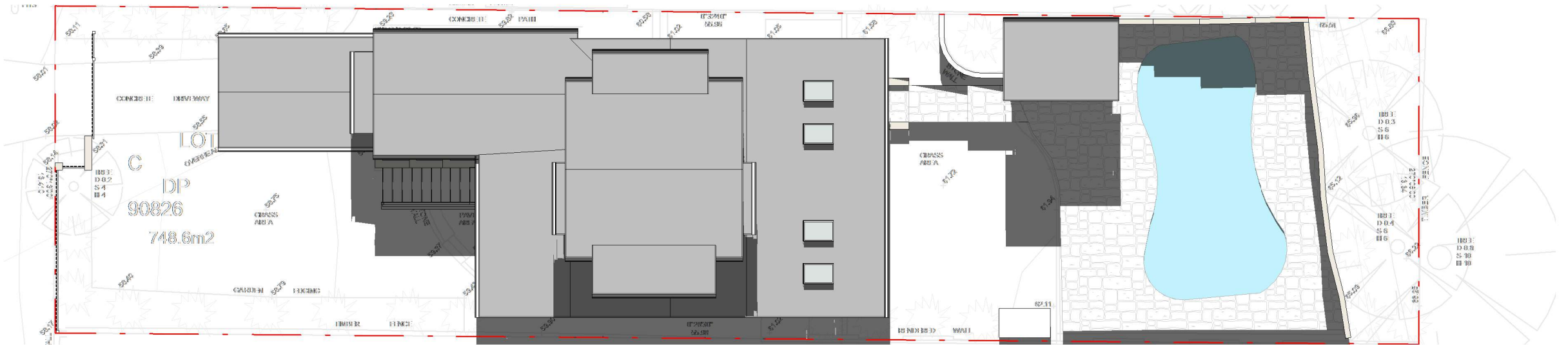
1 | 21 JUNE 9 am

A110 | 1 : 200



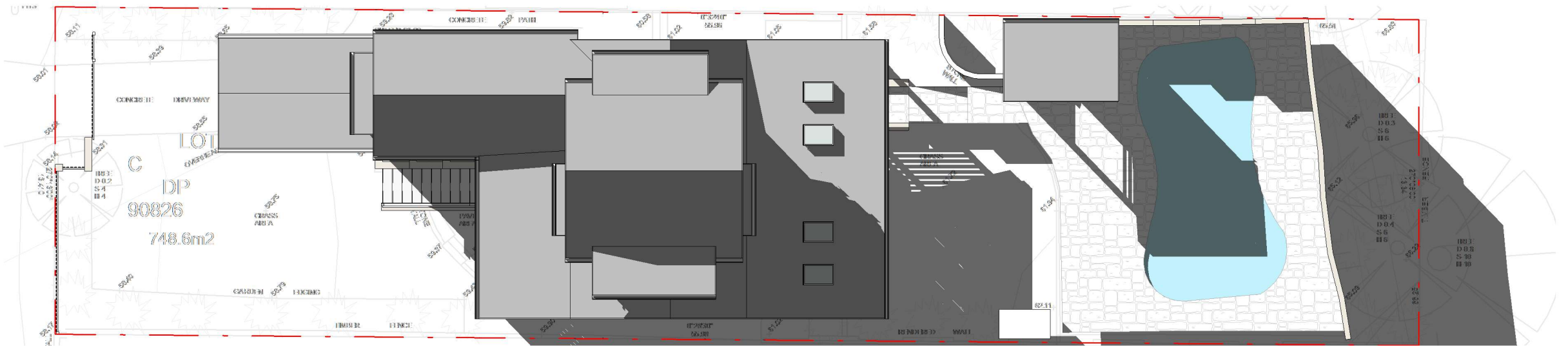
2 | 21 JUNE 12 pm

A110 | 1 : 200



3 | 21 JUNE 3 pm

A110 | 1 : 200



Do not scale from plans. All dimensions and levels shown on plan are subject to confirmation on site.

ISSUE	DATE	DESCRIPTION	DRWN	CHKD
-	26.08.2019	EXISTING	MN	KM
-	4.09.2019	CONCEPT DESIGN	MN	KM
-	10.09.2019	DA ISSUE	MN	KM

This drawing is copyright and remains the property of Blue Sky Building Designs P/L.

BLUE SKY

BUILDING DESIGNS

PO BOX 167

Newport 2106

Mobile: 0 414 310 171

E: info@bsbd.com.au

[www.blueskybuildingdesigns.com.au](http://www.blueskybuildingdesigns.com.au)

PROJECT TITLE: Alteration & Addition

PROJECT NO.: 2019043

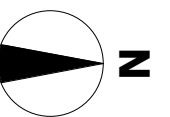
AT: 18 Jenner Street, Seaforth

FOR: Kate & Matt Rae

SHEET TITLE: SHADOW DIAGRAMS

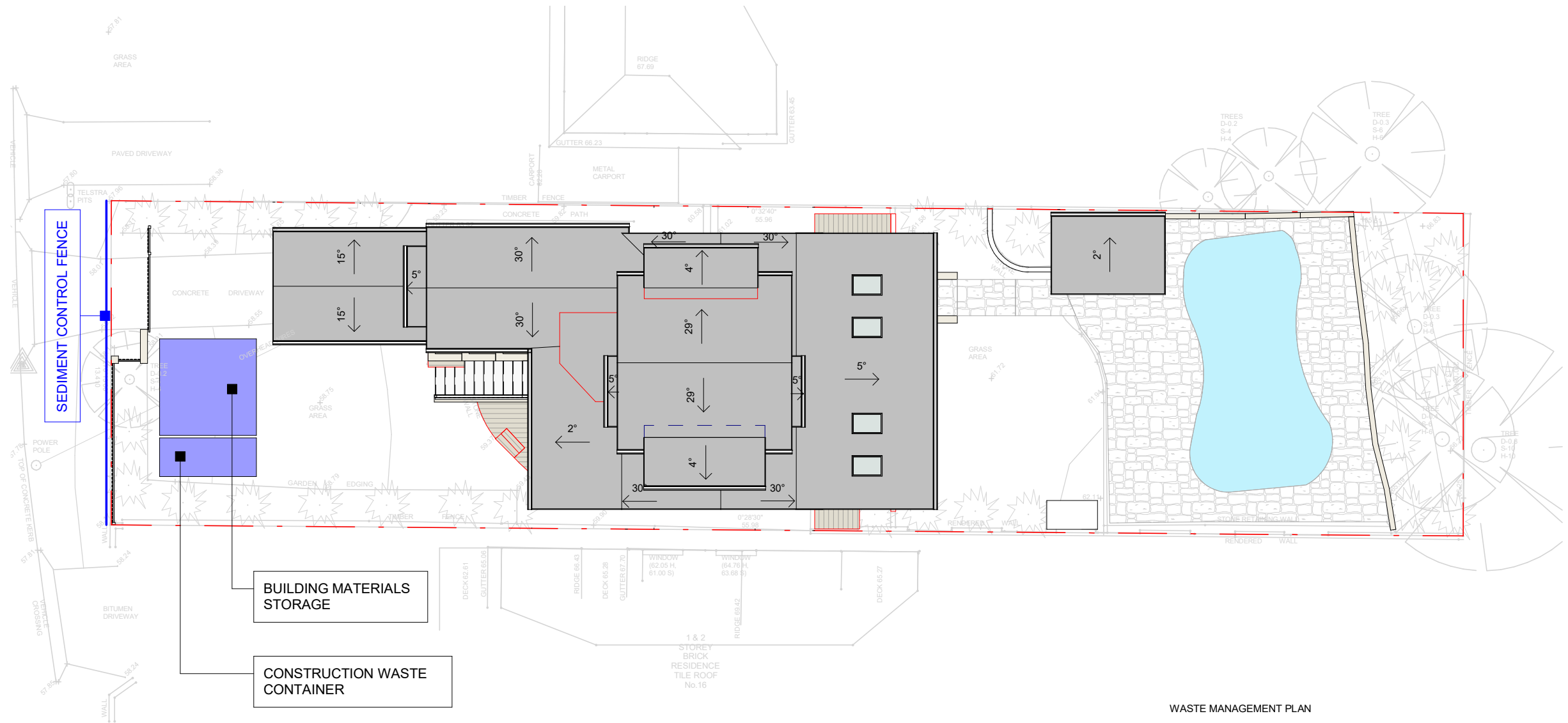
SHEET NO: A110

SCALE A3: 1 : 200





JENNER STREET



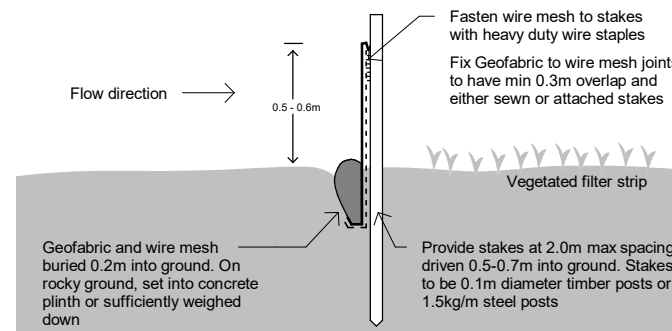
## 2 | SEDIMENT CONTROL & WASTE MANAGEMENT PLAN

A111 | 1 : 200

### SEDIMENT CONTROL FENCE DETAIL & NOTES:

1. Silt fences should be installed on a site as early as possible, ideally before excavation or other soil disturbance begins
2. Install a silt fence down-slope from the construction area, always along the contour (curve) of the slope you are protecting – don't install in straight lines
3. Significant downward slopes should use the curved installation method
4. Stockpiles of soil and building materials must be contained by a silt fence
5. Leave the silt fence in place until vegetation is established, or sediment is stabilised
6. Silt fencing requires frequent inspections, particularly after each runoff event (storm, rainfall etc.), to check for damage or clogging of the fence by silt and debris
7. Silt fences are best used for sites where the soil disturbance area is up to 0.5 of a hectare

### DISTURBED AREA



### UNDISTURBED AREA

## 1 | SEDIMENT CONTROL FENCE

A111 | 1 : 25

### WASTE MANAGEMENT PLAN

#### CONTRACTORS WILL BE RESPONSIBLE FOR ENSURING:

1. Dedicated safe pedestrian access is, at all times, to be provided in front of the site.
2. Demolition and construction will be minimised and separation, reuse and recycling of materials will be maximised.
3. Demolition will be managed to ensure air and water borne pollutants such as, dust, odour, liquids and the like are minimised.
4. Demolition will be managed to minimise site disturbance to the surrounding area.

#### KEY ACTIONS :

1. Install Sediment Barrier on downslope side of property
2. Stock pile demolition materials on level sections at rear and front of existing dwelling .Separate waste, from reuse and recycle materials.
3. Clean and Clear footpath and roadway as required
4. Limit Disturbance when clearing
5. Wash Equipment in Designated area
6. Store all hard waste & litter in a designed area
7. Restrict vehicle movements and use the driveway only when possible.
8. Preserve as much grassed area as possible.

Do not scale from plans. All dimensions and levels shown on plan are subject to confirmation on site.

ISSUE	DATE	DESCRIPTION	DRWN	CHKD
-	26.08.2019	EXISTING	MN	KM
-	4.09.2019	CONCEPT DESIGN	MN	KM
-	10.09.2019	DA ISSUE	MN	KM

This drawing is copyright and remains the property of Blue Sky Building Designs P/L.

**BLUE SKY**  
BUILDING DESIGNS

PO BOX 167  
Newport 2106

Mobile: 0 414 310 171  
E: info@bsbd.com.au

[www.blueskybuildingdesigns.com.au](http://www.blueskybuildingdesigns.com.au)

PROJECT TITLE: Alteration & Addition

PROJECT NO.: 2019043

AT: 18 Jenner Street, Seaforth

FOR: Kate & Matt Rae

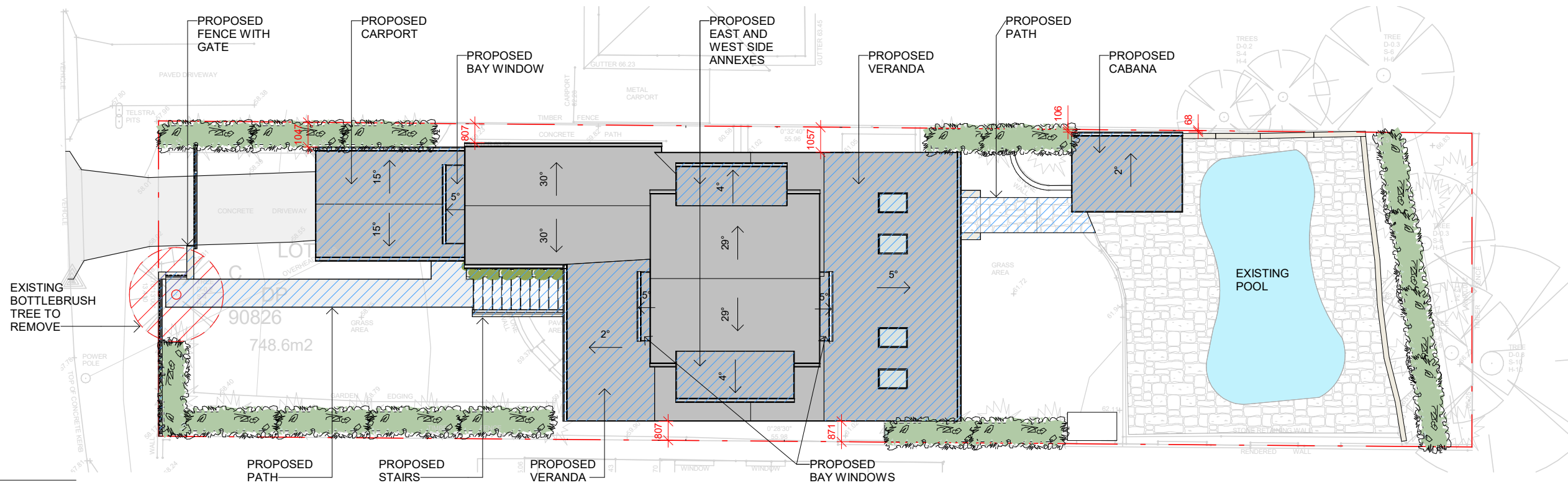
SHEET TITLE: SEDIMENT CONTROL & WASTE MNGM. PLANS

SHEET NO: A111

SCALE A3: As indicated







1 SITE PLAN NP

NP 1 : 200



2 EAST ELEVATION NP

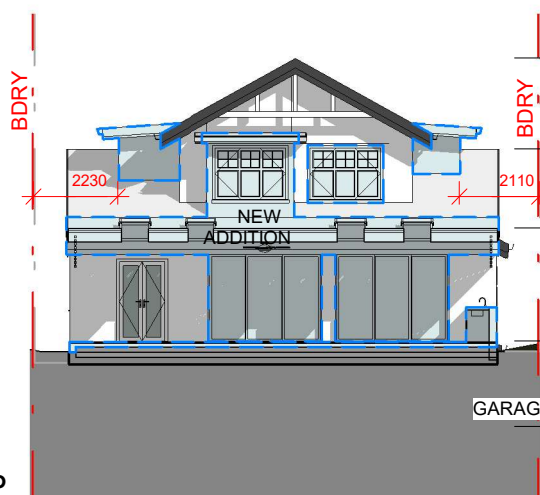
NP 1 : 200



5 WEST ELEVATION NP

NP 1 : 200

RR FFL	68.75 m
RR GFL	66.35 m
FFL PLAN	64.26 m
GFL	61.27 m
GARAGE FLOOR PLAN	59.01 m



3 NORTH ELEVATION NP

NP 1 : 200

RR FFL	68.75 m
RR GFL	66.35 m
FFL PLAN	64.26 m
GFL	61.27 m
GARAGE FLOOR PLAN	59.01 m



4 SOUTH ELEVATION NP

NP 1 : 200

RR FFL	68.75 m
RR GFL	66.35 m
FFL PLAN	64.26 m
GFL	61.27 m
GARAGE FLOOR PLAN	59.01 m

Do not scale from plans. All dimensions and levels shown on plan are subject to confirmation on site.

ISSUE	DATE	DESCRIPTION	DRWN	CHKD
-	26.08.2019	EXISTING	MN	KM
-	4.09.2019	CONCEPT DESIGN	MN	KM
-	10.09.2019	DA ISSUE	MN	KM

BLUE SKY

BUILDING DESIGNS

PO BOX 167  
Newport 2106  
  
Mobile: 0 414 310 171  
E: info@bsbd.com.au

www.blueskybuildingdesigns.com.au

PROJECT TITLE:	Alteration & Addition
PROJECT NO.:	2019043
AT:	18 Jenner Street, Seaforth
FOR:	Kate & Matt Rae

SHEET TITLE:	NOTIFICATION PLAN
SHEET NO:	NP
SCALE A3:	1 : 200

