

NEW HOUSE

1772 PITTWATER ROAD, BAYVIEW NSW



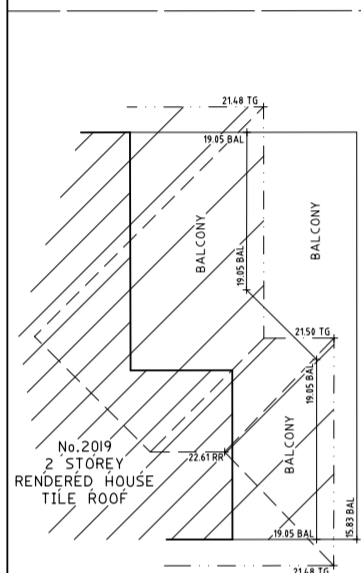
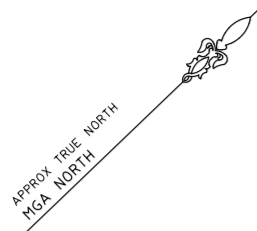
DEVELOPMENT APPLICATION DRAWING LIST	
No:	Drawing Name
DA-01	COVER SHEET
DA-02	EXISTING SITE PLAN
DA-03	SITE ANALYSIS + SITE PLAN
DA-04	GROUND FLOOR PLAN
DA-05	LEVEL 1 FLOOR PLAN
DA-06	LEVEL 2 FLOOR PLAN
DA-06	LOWER ROOF PLAN
DA-07	NORTH + EAST ELEVATIONS
DA-08	SOUTH + WEST ELEVATIONS
DA-09	SECTION B + C
DA-10	SECTION A
DA-11	SHADOW DIAGRAMS
DA-12	LANDSCAPED AREA
DA-13	EXTERNAL FINISHES
DA-14	3D VIEWS A
DA-15	3D VIEWS B
DA-16	3D VIEWS C
DA-17	3D VIEWS D
DA-18	3D VIEWS E
DA-19	LANDSCAPE PLAN



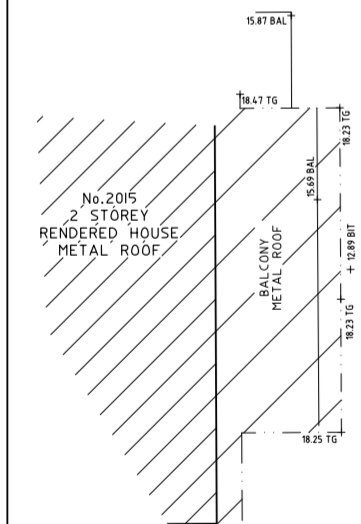
GARTNERTROVATO

Plot Date: 20/12/2019

**DEVELOPMENT APPLICATION
NEW HOUSE**
1772 PITTWATER ROAD, BAYVIEW



2
D.P.536451



1
D.P.536451

ROAD

PITTWATER

(BITUMEN FORMATION)

1
D.P.114923

85
D.P.752046

51
D.P.740538
TITLE: 717m²

52
D.P.740538

No.1770
2 & 3 STOREY
RENDERED HOUSE
METAL ROOF

No.1772
2 & 3 STOREY
BRICK & CLAD HOUSE
METAL ROOF

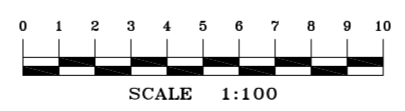
No.1778
2 & 3 STOREY
RENDERED HOUSE
METAL ROOF

PITTWATER

- Notes:**
- BOUNDARIES HAVE NOT BEEN DEFINED (TITLE DIMENSIONS ONLY) - BOUNDARY DEFINITION IS SUBJECT TO FURTHER SURVEY.
 - A BASIC BOUNDARY SURVEY HAS BEEN UNDERTAKEN SUITABLE FOR COUNCIL DA SUBMISSION (TITLE DIMENSIONS ONLY) - BOUNDARY DEFINITION IS SUBJECT TO FURTHER SURVEY.
 - IF CONSTRUCTION OR NEAR BOUNDARIES IS REQUIRED IT IS RECOMMENDED THAT THE BOUNDARIES OF THE LAND BE MARKED.
 - AREA IS APPROXIMATE ONLY AND HAS BEEN CALCULATED BY TITLE DIMENSIONS. ALL TITLE DIMENSIONS OF THE LAND HAVE NOT BEEN CONFIRMED BY SURVEY. IF AREAS ARE CRITICAL WE RECOMMEND A BOUNDARY SURVEY FOR PUBLIC RECORD.
 - THIS SIZES ARE ESTIMATES ONLY.
 - THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF ANDREW BURSILL.
 - RELATIONSHIP OF IMPROVEMENTS TO BOUNDARIES IS DIAGRAMMATIC ONLY. WHERE OFFSETS ARE CRITICAL THEY SHOULD BE CONFIRMED BY FURTHER SURVEY.
 - EXCEPT WHERE SHOWN BY DIMENSION LOCATION OF DETAIL WITH RESPECT TO BOUNDARIES IS INDICATIVE ONLY.
 - ONLY VISIBLE SERVICES HAVE BEEN LOCATED. UNDERGROUND SERVICES HAVE NOT BEEN LOCATED. DIAL BEFORE YOU DIG SERVICES (IN THIS STATE) SHOULD BE USED AND A FULL UTILITY INVESTIGATION INCLUDING A UTILITY LOCATION SURVEY SHOULD BE UNDERTAKEN BEFORE CARRYING OUT ANY CONSTRUCTION ACTIVITY IN OR NEAR THE SURVEYED AREA.
 - SEWER MAIN PLOTTED FROM SONEY WATER SEWER DIAGRAM. LOCATION SHOULD BE MARKED ON SITE IF CRITICAL.
 - CRITICAL SPOT LEVELS SHOULD BE CONFIRMED WITH SURVEYOR.
 - THIS PLAN IS ONLY TO BE USED FOR THE PURPOSE OF DESIGNING NEW CONSTRUCTION.
 - CONTOURS SHOWN DEPICT THE TOPOGRAPHY. THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. ONLY SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION.
 - CONTOUR INTERVAL - 0.5 metre. SPOT LEVELS SHOULD BE ADDED.
 - POSITION OF RIDGE LINES ARE DIAGRAMMATIC ONLY (NOT TO SCALE).
 - THE INFORMATION IS ONLY TO BE USED AT A SCALE ACCURACY OF 1:500.
 - DO NOT SCALE OFF THIS PLAN / FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED READINGS.
 - COPYRIGHT © C.M.S. SURVEYORS 2019.
 - NO PART OF THIS SURVEY MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM OR TRANSMITTED IN ANY FORM, WITHOUT THE WRITTEN PERMISSION OF THE COPYRIGHT OWNER EXCEPT AS PERMITTED BY THE COPYRIGHT ACT 1968.
 - ANY PERMITTED DOWNLOADING, ELECTRONIC STORAGE, DISPLAY, PRINT, COPY OR REPRODUCTION OF THIS SURVEY SHOULD CONTAIN NO ALTERATION OR ADDITION TO THE ORIGINAL SURVEY.
 - THIS NOTICE MUST NOT BE ERASED.

LEGEND:

- AW = AWNING
- BAL = BALCONY
- BAR = BARBECUE
- BIT = BITUMEN
- BLD = EXTERNAL BUILDING
- BW = BOTTOM WALL
- CHI = CHIMNEY
- CL = CENTRELINE
- CON = CONCRETE
- DRN = DRAIN
- DS = DDOOR SILL LEVEL
- GR = GAS METER
- GRT = GRATE
- HL = HOOD LEVEL
- IL = INVERT LEVEL
- JET = JETTY
- NS = NATURAL SURFACE
- PAR = PARAPET
- PAT = PATIO
- PAV = PAVING
- POOL = POOL
- PP = POWER POLE
- RET = RETAINING
- RF = TOP OF ROOF
- RR = ROOF RIDGE
- SL = SILL LEVEL
- SMH = SEWER MAN HOLE
- STR = STAIRS
- TG = TOP OF GUTTER
- TIL = TILE
- TOP = TOP OF PIPE
- TRP = TELSTRA PIT
- TR = TREE
- TW = TOP OF WALL
- WM = WATER METER
- WT = WATER TANK
- EO = ELECTRICITY OVERHEAD
- EU = SEWER UNDERGROUND



TITLE INDICATES THAT LOT 51 IN D.P.740538 IS SUBJECT TO:
- RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S).

HORIZONTAL DATUM: CO-ORDINATE SYSTEM: MGA MARKS ADOPTED: PM 27882 - PM 27883 L.G.A. NORTHERN BEACHES		VERTICAL DATUM: DATUM: AUSTRALIAN HEIGHT DATUM (AHD) B.M. ADOPTED: PM 27882 R.L. 12.826 (ORDER L2) SOURCE: S.C.I.M.S. (28/06/19)		CLIENT: ANDREW BURSILL 20 BURRAWONG AVENUE MOSMAN NSW 2088		SURVEY PLAN SHOWING DETAIL & LEVELS OVER LOT 51 IN D.P.740538 No. 1772 PITTWATER ROAD BAYVIEW NSW 2104		C.M.S. Surveyors Pty Limited ACN: 096 240 201 PO Box 463 Dee Why NSW 2099 2/99A South Creek Road, Dee Why NSW 2099 Telephone: (02) 9971 4802 Facsimile: (02) 9971 4822 E-mail: info@cmsurveyors.com.au		<table border="1"> <tr> <th>SURVEYED</th> <th>DRAWN</th> <th>CHECKED</th> <th>APPROVED</th> </tr> <tr> <td>PB</td> <td>MC</td> <td>PB</td> <td>BS</td> </tr> <tr> <td colspan="2">SURVEY INSTRUCTION</td> <td>SCALE</td> <td>DATE OF SURVEY</td> </tr> <tr> <td colspan="2">186640</td> <td>1:50 @ A0</td> <td>05/07/19</td> </tr> <tr> <td colspan="2">DRAWING NAME</td> <td>SHEET</td> <td>ISSUE</td> </tr> <tr> <td colspan="2">186640detail</td> <td>1 OF 1</td> <td>1</td> </tr> <tr> <td colspan="2">CAD FILE</td> <td colspan="2">DRAWING TITLE</td> </tr> <tr> <td colspan="2">186640detail_186640</td> <td colspan="2">EXISTING SITE PLAN</td> </tr> </table>		SURVEYED	DRAWN	CHECKED	APPROVED	PB	MC	PB	BS	SURVEY INSTRUCTION		SCALE	DATE OF SURVEY	186640		1:50 @ A0	05/07/19	DRAWING NAME		SHEET	ISSUE	186640detail		1 OF 1	1	CAD FILE		DRAWING TITLE		186640detail_186640		EXISTING SITE PLAN	
SURVEYED	DRAWN	CHECKED	APPROVED																																								
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GARTNERTROVATO
ARCHITECTS

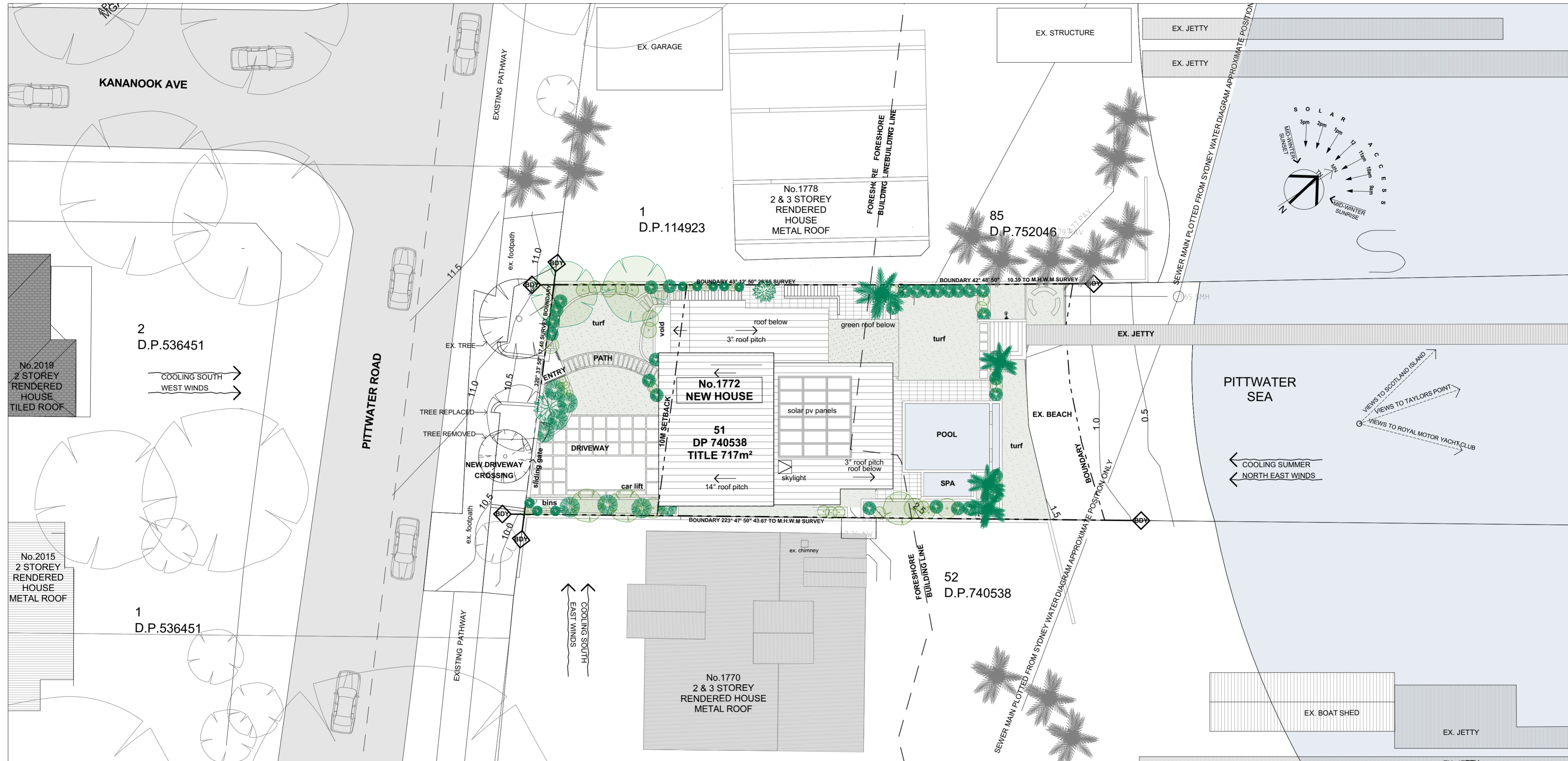
A 17/13 10 PARK STREET
PO BOX 1122
MONA VALE, NSW 2103
P +61 2 9979 4411
F +61 2 9979 4422
E STA@G-T.COM.AU



Issue Date	Rev	Description	Drawn	Checked
20/12/2019	A	ISSUE FOR DA		

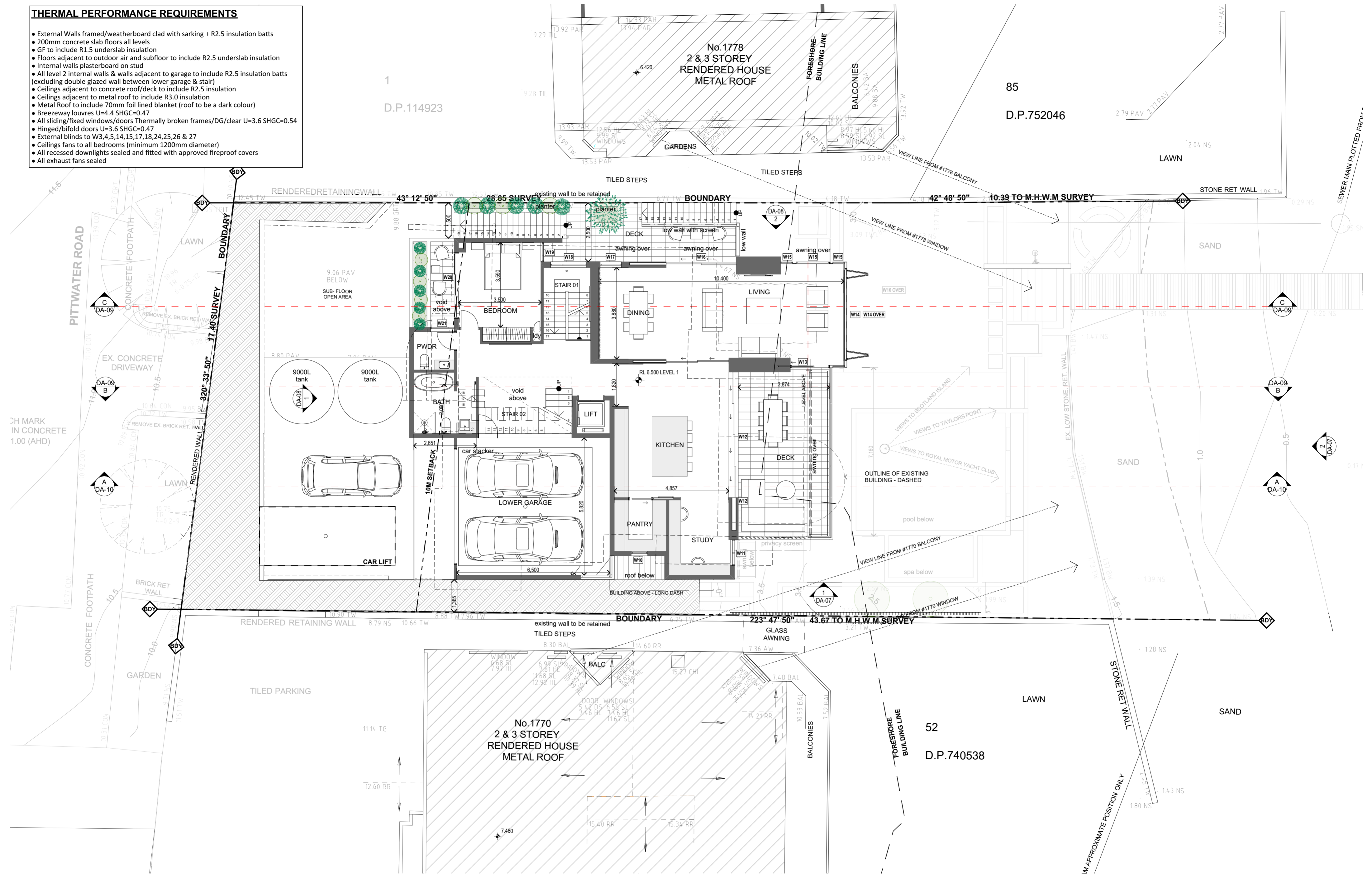
PROJECT	PROJECT NO.	DATE
NEW HOUSE 1772 PITTWATER ROAD BAYVIEW NSW	1925	20/12/2019

SCALE	DRAWN BY	PLOT DATE
1:2.10 @ A2	JR	20/12/2019
REVISION	DRAWING NO.	ISSUE
FOR ANDREW BURSILL & GEORGIE TORRES	DA-02	A



Issue Date	Rev	Description	Drawn	Checked
20/12/2019	A	ISSUE FOR DA		

- THERMAL PERFORMANCE REQUIREMENTS**
- External Walls framed/weatherboard clad with sarking + R2.5 insulation batts
 - 200mm concrete slab floors all levels
 - GF to include R1.5 underslab insulation
 - Floors adjacent to outdoor air and subfloor to include R2.5 underslab insulation
 - Internal walls plasterboard on stud
 - All level 2 internal walls & walls adjacent to garage to include R2.5 insulation batts (excluding double glazed wall between lower garage & stair)
 - Ceilings adjacent to concrete roof/deck to include R2.5 insulation
 - Ceilings adjacent to metal roof to include R3.0 insulation
 - Metal Roof to include 70mm foil lined blanket (roof to be a dark colour)
 - Breezeway louvres U=4,4 SHGC=0.47
 - All sliding/fixed windows/doors Thermally broken frames/DG/clear U=3.6 SHGC=0.54
 - Hinged/bifold doors U=3.6 SHGC=0.47
 - External blinds to W3,4,5,14,15,17,18,24,25,26 & 27
 - Ceilings fans to all bedrooms (minimum 1200mm diameter)
 - All recessed downlights sealed and fitted with approved fireproof covers
 - All exhaust fans sealed

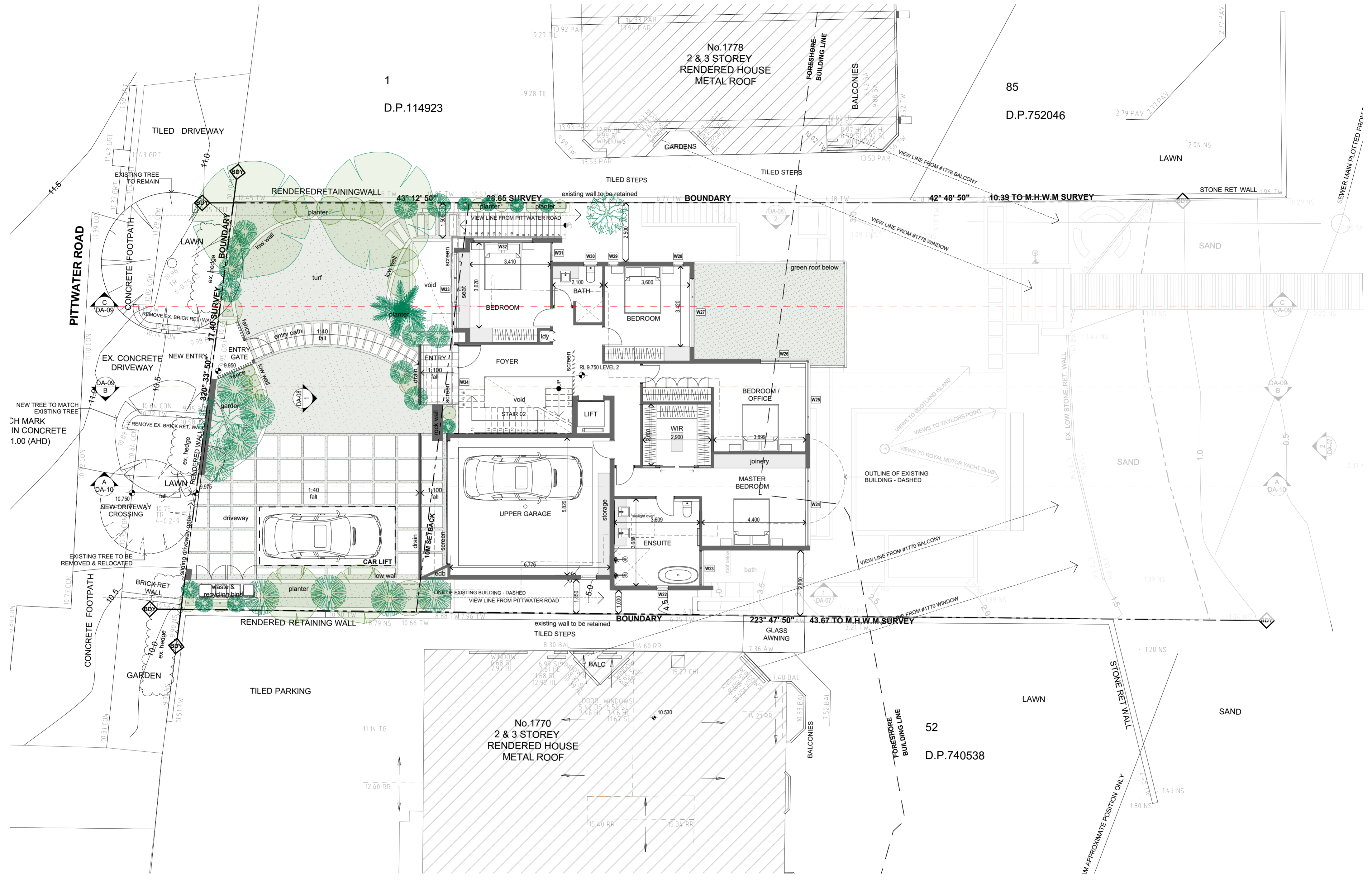


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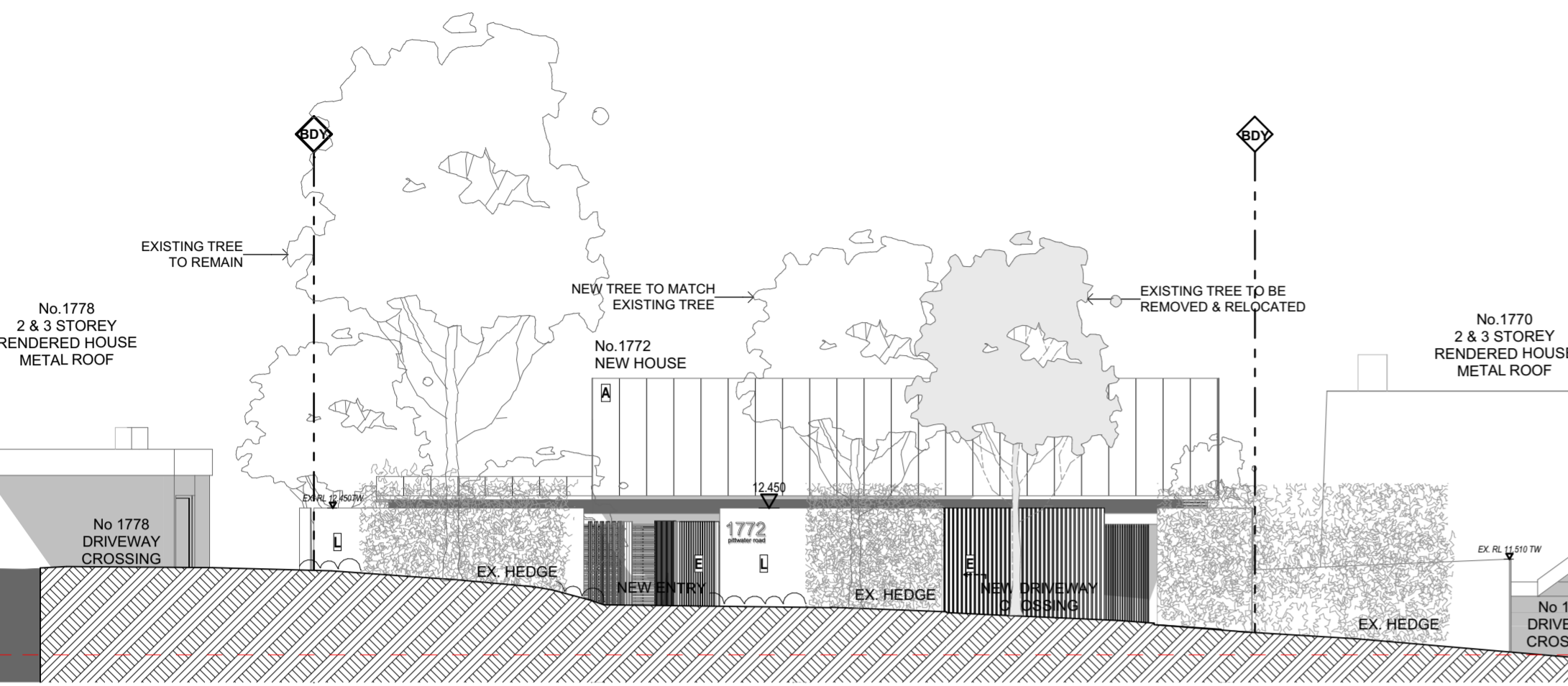
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D.P.114923

85
D.P.752046

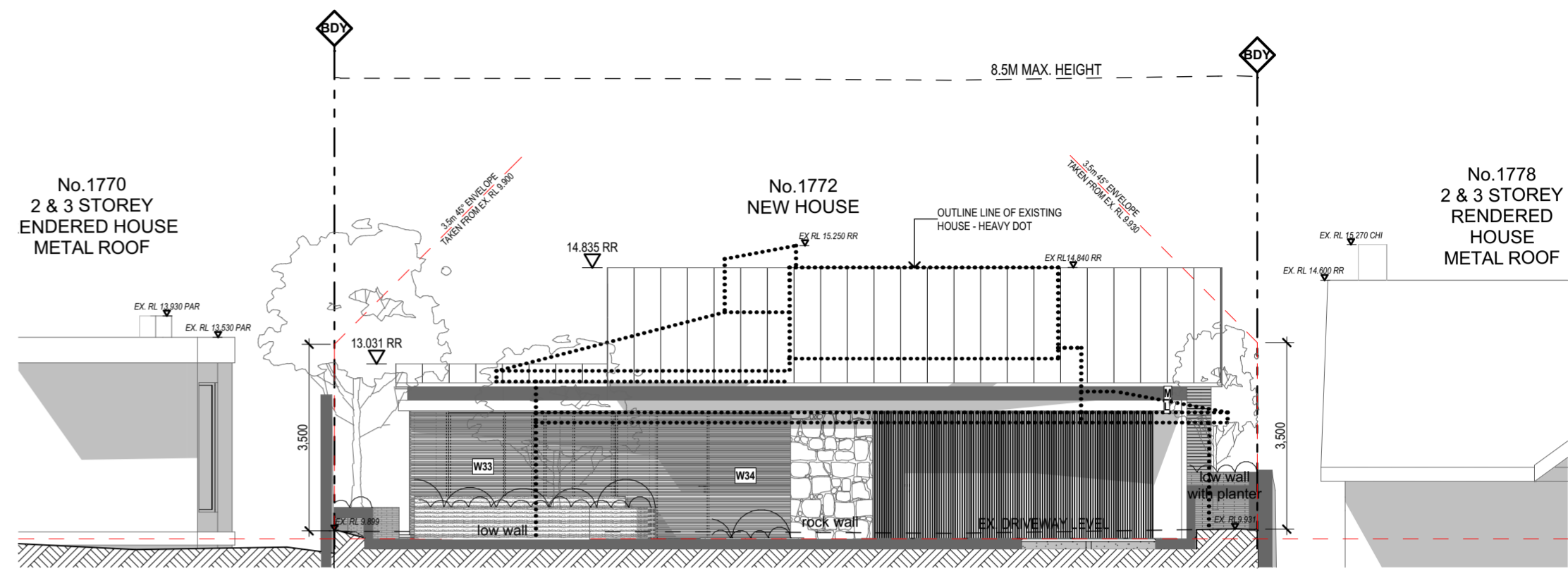
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D.P.740538



Issue Date	Rev	Description	Drawn	Checked
20/12/2019	A	ISSUE FOR DA		

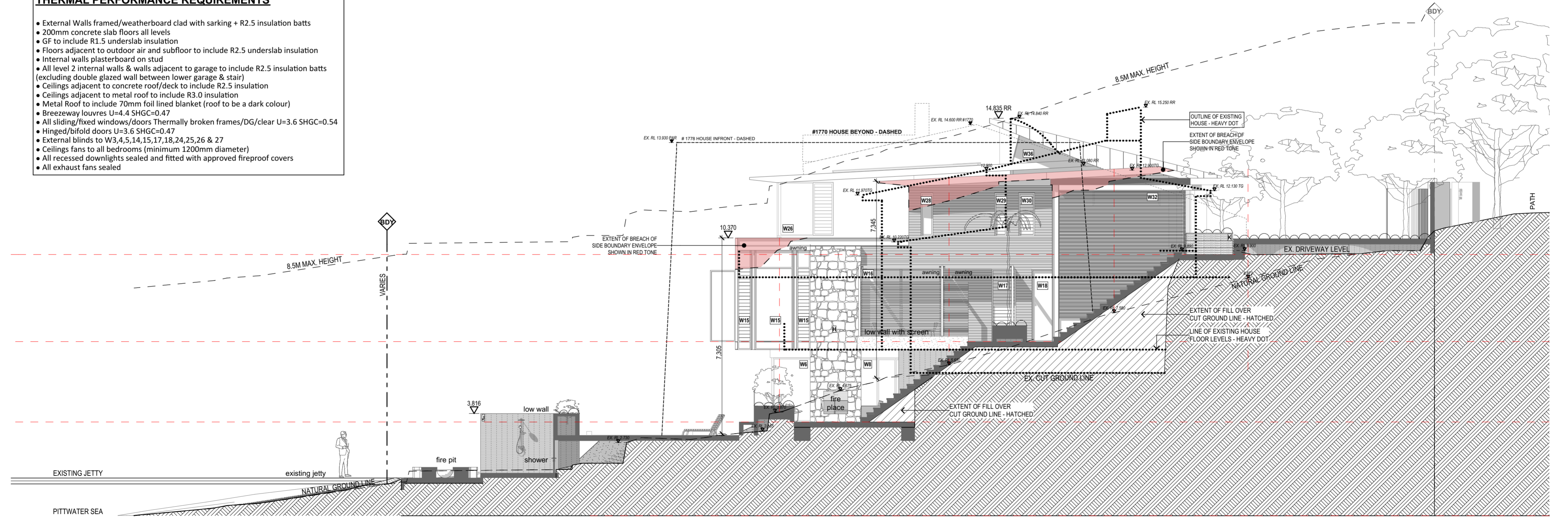


SOUTH ELEVATION (FROM PITTWATER ROAD)



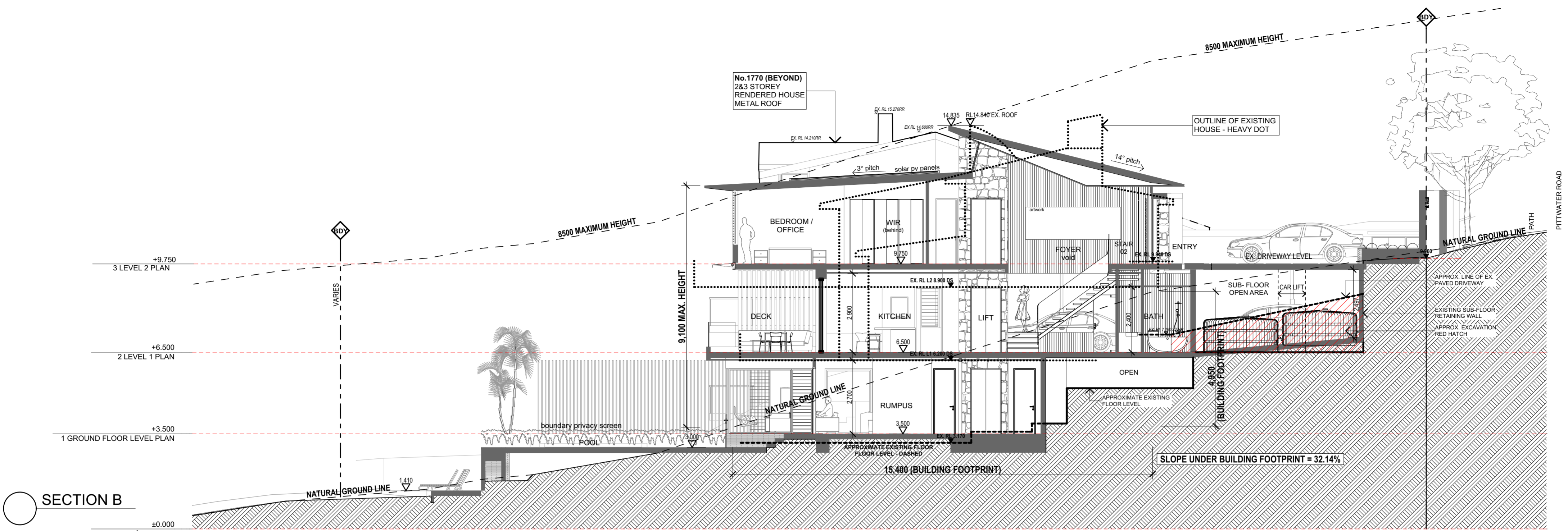
SOUTH ELEVATION ENTRY

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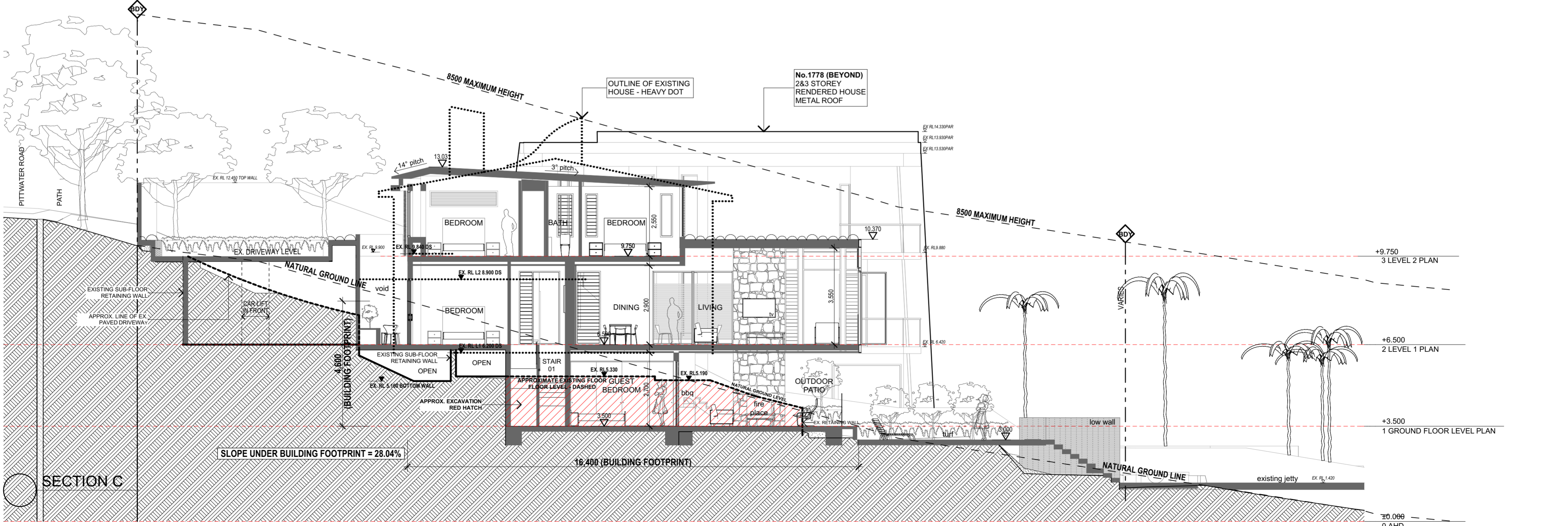


WEST ELEVATION

Issue Date	Rev	Description	Drawn	Checked
20/12/2019	A	ISSUE FOR DA		

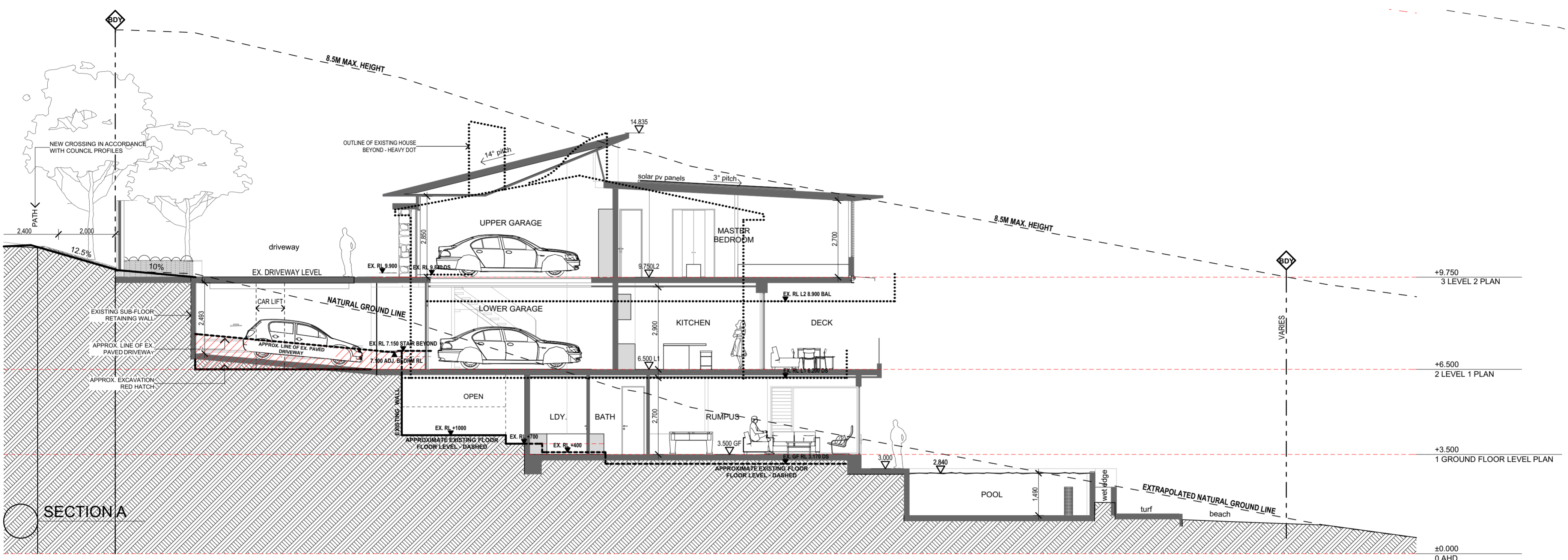


SECTION B

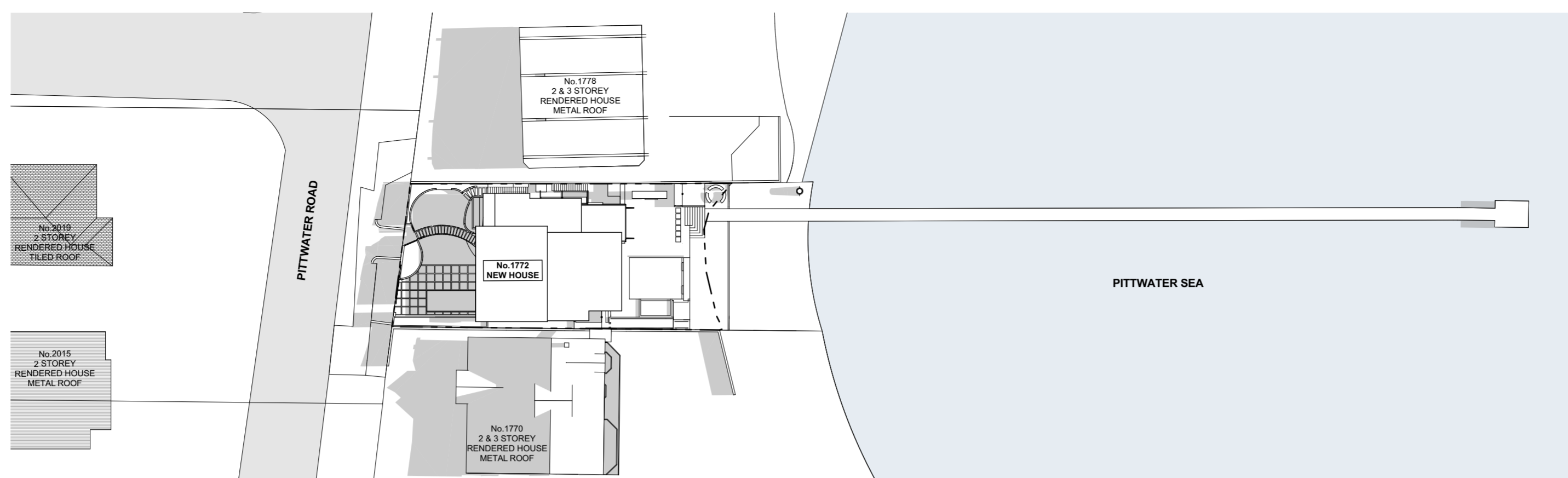


SECTION C

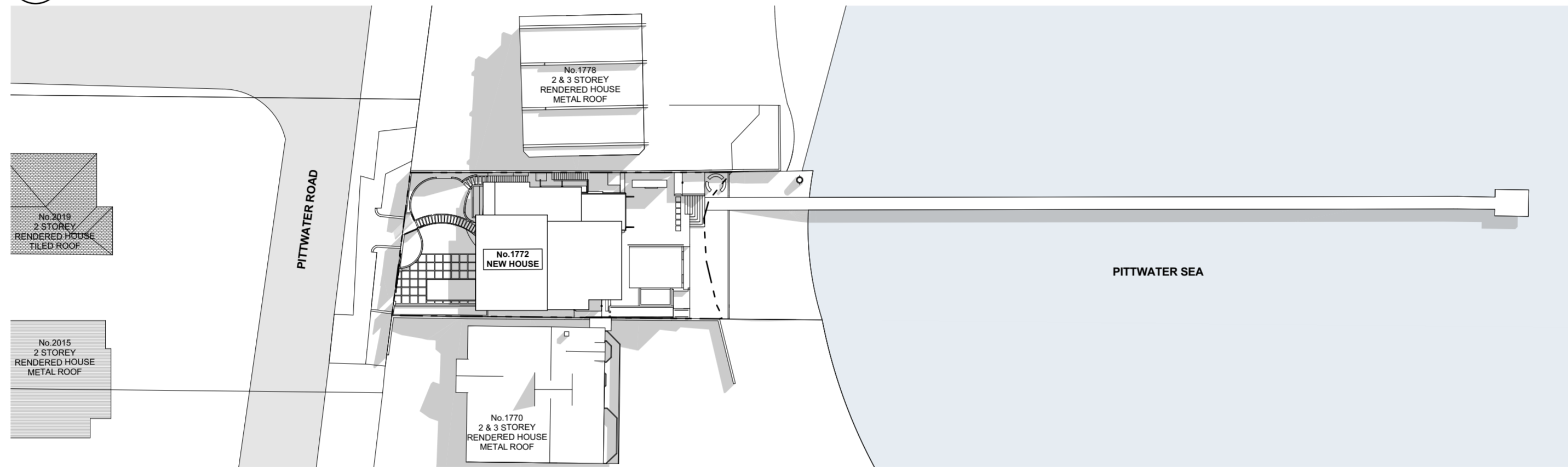
Issue Date	Rev	Description	Drawn	Checked
20/12/2019	A	ISSUE FOR DA		



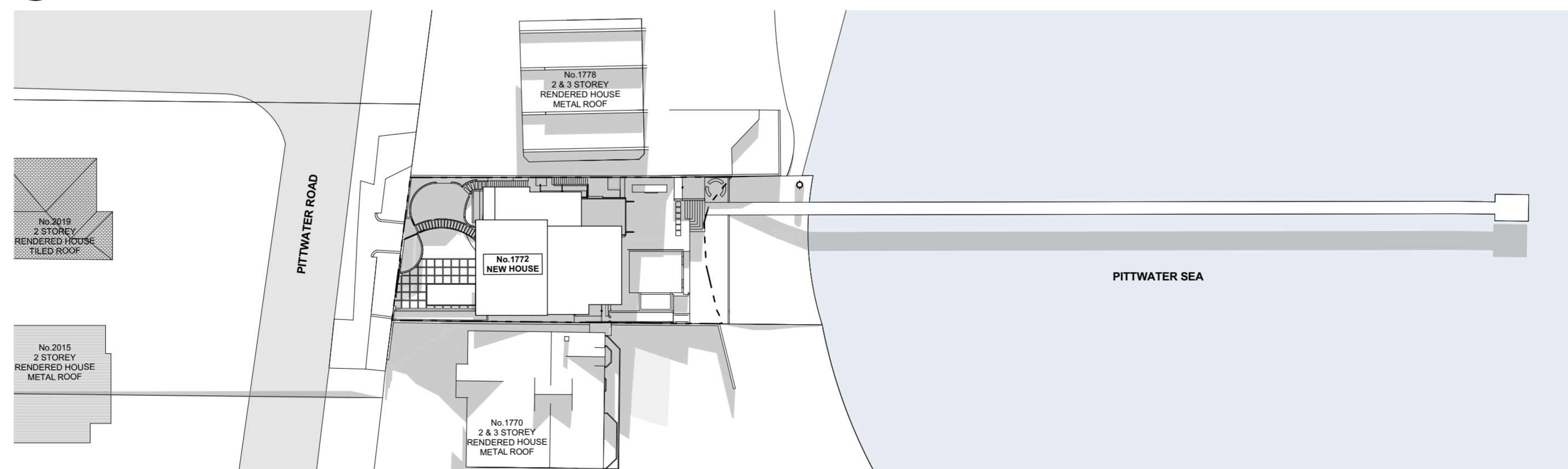
Issue Date	Rev	Description	Drawn	Checked
20/12/2019	A	ISSUE FOR DA		



SHADOW DIAGRAM 9am June 21st

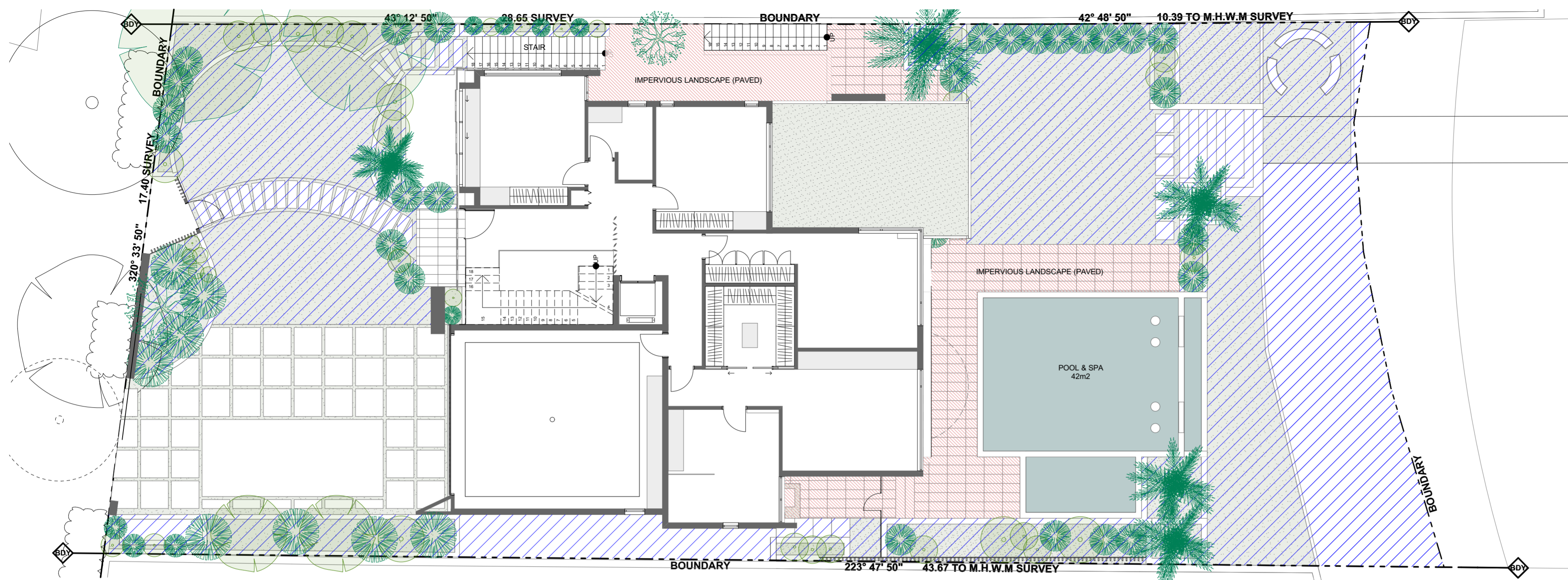


SHADOW DIAGRAM 12pm June 21st

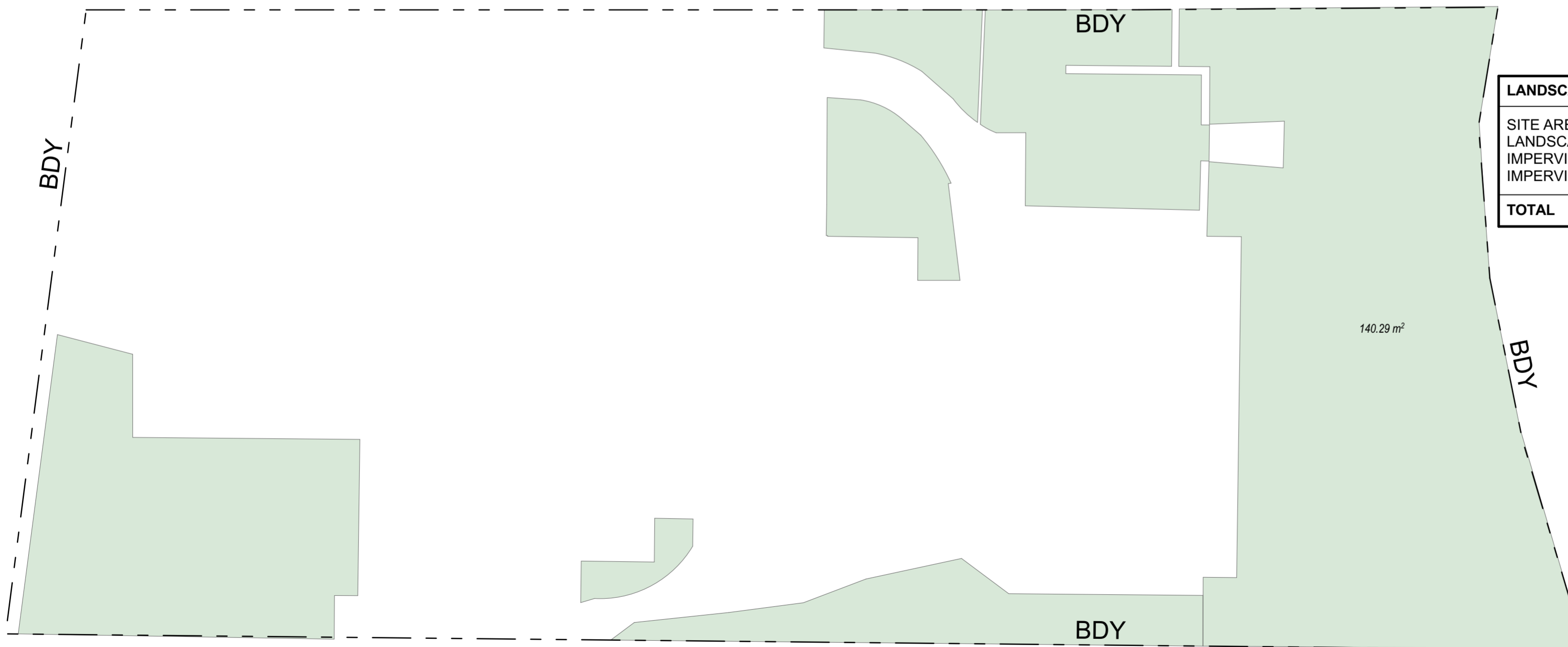


SHADOW DIAGRAM 3pm June 21st

Issue Date	Rev	Description	Drawn	Checked
20/12/2019	A	ISSUE FOR DA		



LANDSCAPE PLAN



EXISTING LANDSCAPE AREA

LANDSCAPE AREA CALCULATIONS	
SITE AREA	= 717m ²
LANDSCAPE AREA	= 333m ² (46.4%)
IMPERVIOUS LANDSCAPE (PAVED)	= 45m ² (6.3%)
IMPERVIOUS AREAS (PATH/STAIR 1M WIDE)	= 7m ² (1%)
TOTAL	= 385m² (53.7%)

GARTNERTROVATO

ARCHITECTS

A PITTWATER PLACE
 L1/13 10 PARK STREET
 PO BOX 1122
 MONA VALE, NSW 2103
 +61 2 9979 4411
 +61 2 9979 4422
 STA@G-T.COM.AU

Issue Date	Rev	Description	Drawn	Checked
20/12/2019	A	ISSUE FOR DA		

PROJECT
 NEW HOUSE
 1772 PITTWATER ROAD
 BAYVIEW NSW

FOR ANDREW BURSILL & GEORGIE TORRENS

DRAWING TITLE
 LANDSCAPED AREA

SCALE
 1:100 @ A2
 PROJECT NO.
 1925

DRAWN BY
 JR
 DRAWING NO.
 DA-12

PLOT DATE
 20/12/2019
 REVISION
 A



NORTH ELEVATION 3D



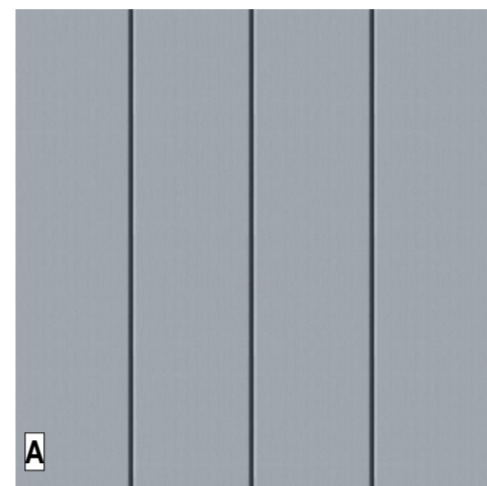
SOUTH ELEVATION 3D

EXTERIOR FINISHES LEGEND

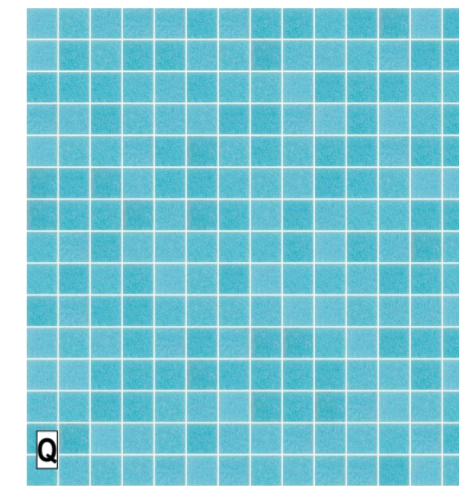
- A** ZINC STANDING SEAM ROOF ON METAL FRAMING - R-VALUE = 2.7 - QUARTZ-ZINC MATTE GREY
- B** STEEL PAINT FINISH - DULUX MONUMENT
- C** EXTERNAL CHARRED TIMBER CLADDING ON METAL FRAMING - R-VALUE = 2.7 - NATURAL FINISH
- D** VERTICAL TIMBER "THIN" CLADDING ON METAL FRAMING - R-VALUE = 2.7 - NATURAL CLEAR FINISH
- E** VERTICAL TIMBER "THIN" CLADDING/ SCREEN ON METAL FRAMING - R-VALUE = 2.7 - NATURAL CLEAR FINISH
- F** CEDAR CLADDING - STAINED ON METAL FRAMING - R-VALUE = 2.7 - STAINED DARK GREY
- G** HONED LIMESTONE TILE
- H** WAMBERAL NATURAL STONE WALL CLADDING
- J** NATURAL LIMESTONE SPLIT STONE CLADDING
- K** NATURAL LIMESTONE SPLIT STONE CLADDING

- L** PAINT FINISH
- M** PAINT FINISH - DULUX MONUMENT
- N** VERTICAL TIMBER LOUVRE BLADES PRIVACY SCREEN - NATURAL CLEAR FINISH
- P** V JOINT FIBRE CEMENT "V JOINT" PAINT FINISH
- Q** GLAZED MOSAIC TILES TO POOL
- R** CLEAR GLASS WINDOW / BALUSTRADE

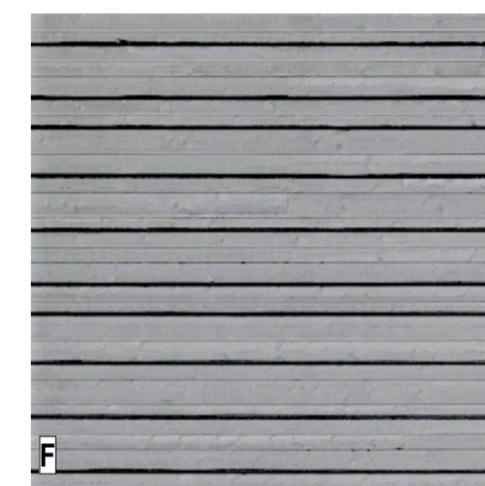
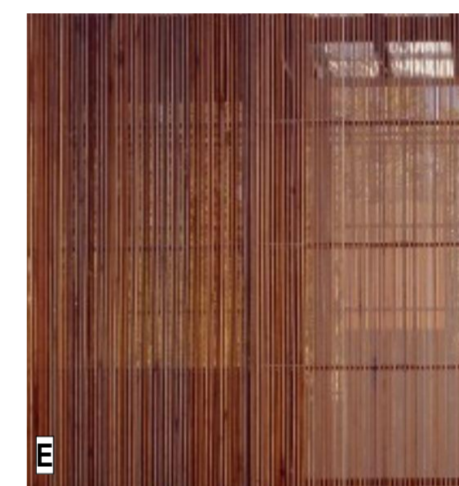
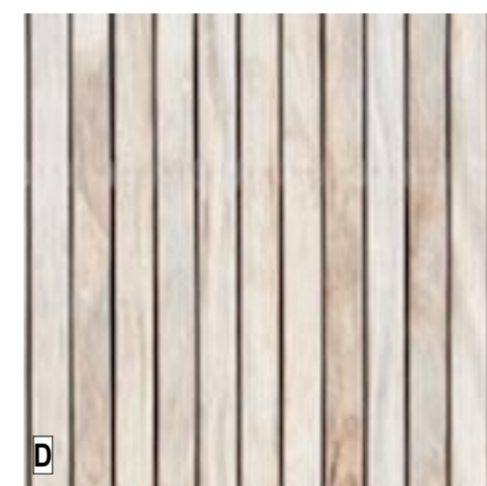
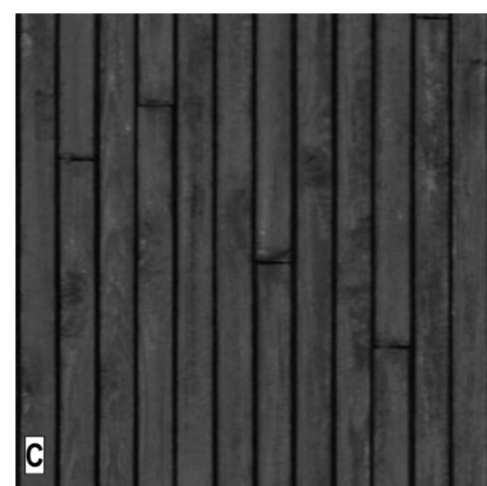
METAL



POOL TILES



TIMBER



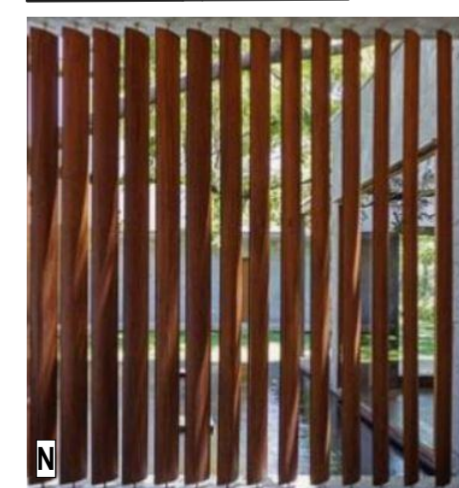
STONE



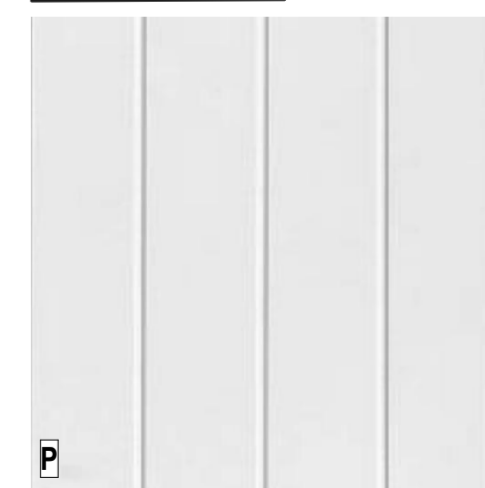
RENDER & PAINT



LOUVRE / SCREEN



SOFFIT LINING



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20/12/2019	A	ISSUE FOR DA		

PROJECT
 NEW HOUSE
 1772 PITTSWATER ROAD
 BAYVIEW NSW
 FOR ANDREW BURSILL & GEORGIE TORRENS

DRAWING TITLE
EXTERNAL FINISHES
 SCALE 1:100, 1:1192.02, 1:238.40 @R2
 PROJECT NO. 1925
 DRAWING NO. DA-13
 REVISION A
 DRAWN BY
 PLOT DATE 20/12/2019



3D NORTH ELEVATION



3D NORTH ELEVATION B



AERIAL NW



AERIAL NE

Issue Date	Rev	Description	Drawn	Checked
20/12/2019	A	ISSUE FOR DA		



AERIAL SW



AERIAL SE



REAR EAST BOUNDARY



REAR WEST BOUNDARY

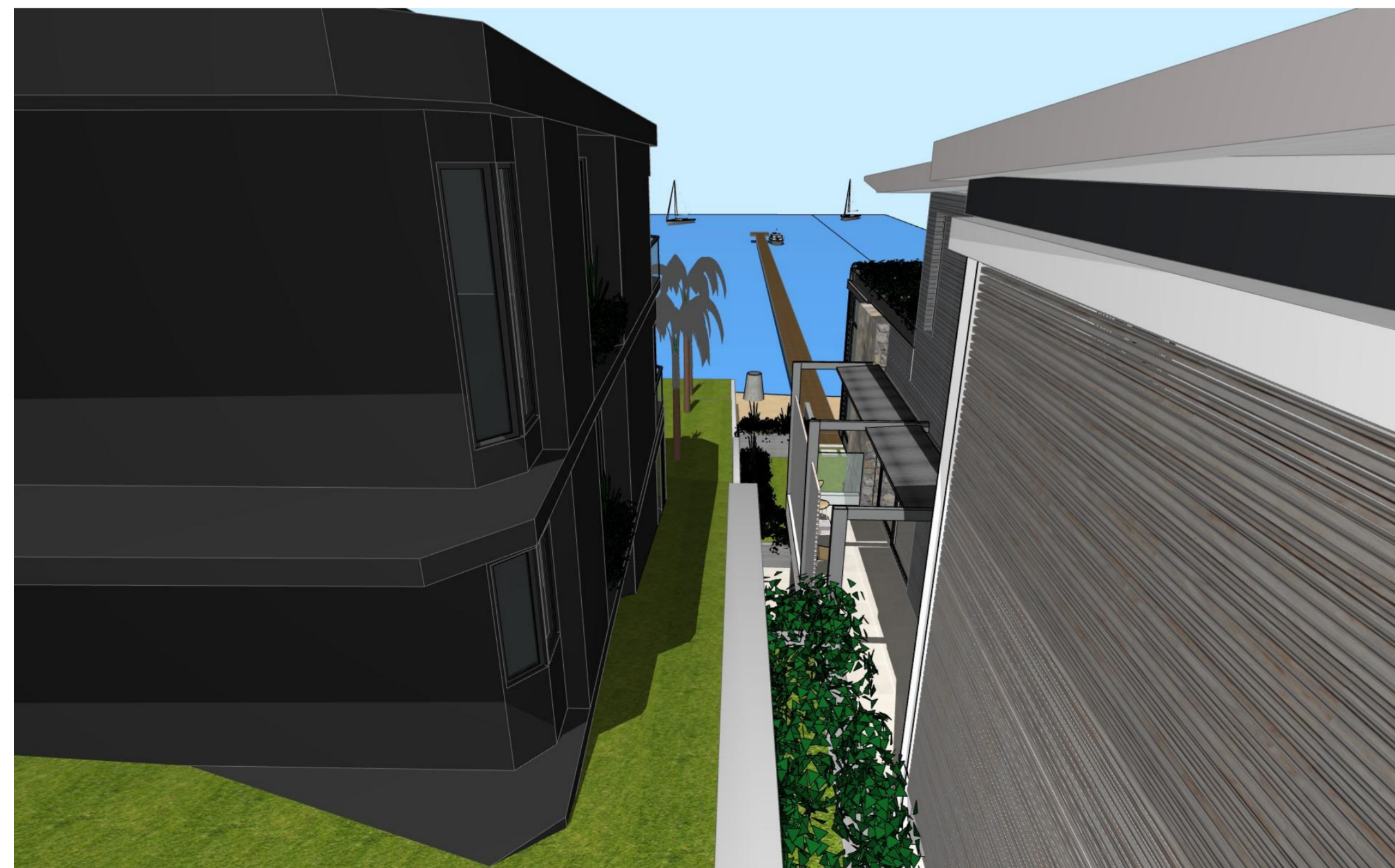
Issue Date	Rev	Description	Drawn	Checked
20/12/2019	A	ISSUE FOR DA		



REAR PITTWATER RD



DRIVEWAY



BOUNDARY WEST



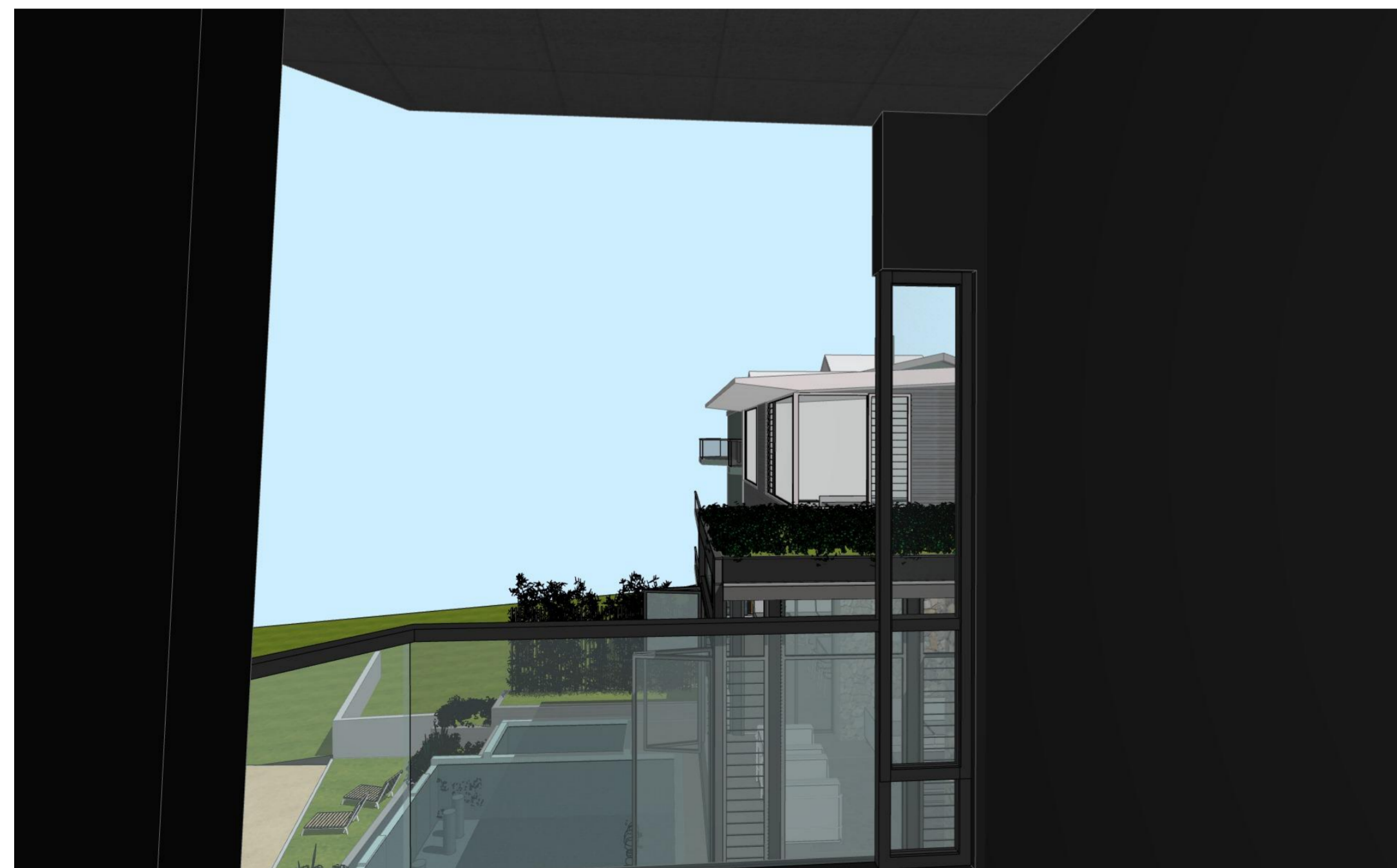
BOUNDARY EAST



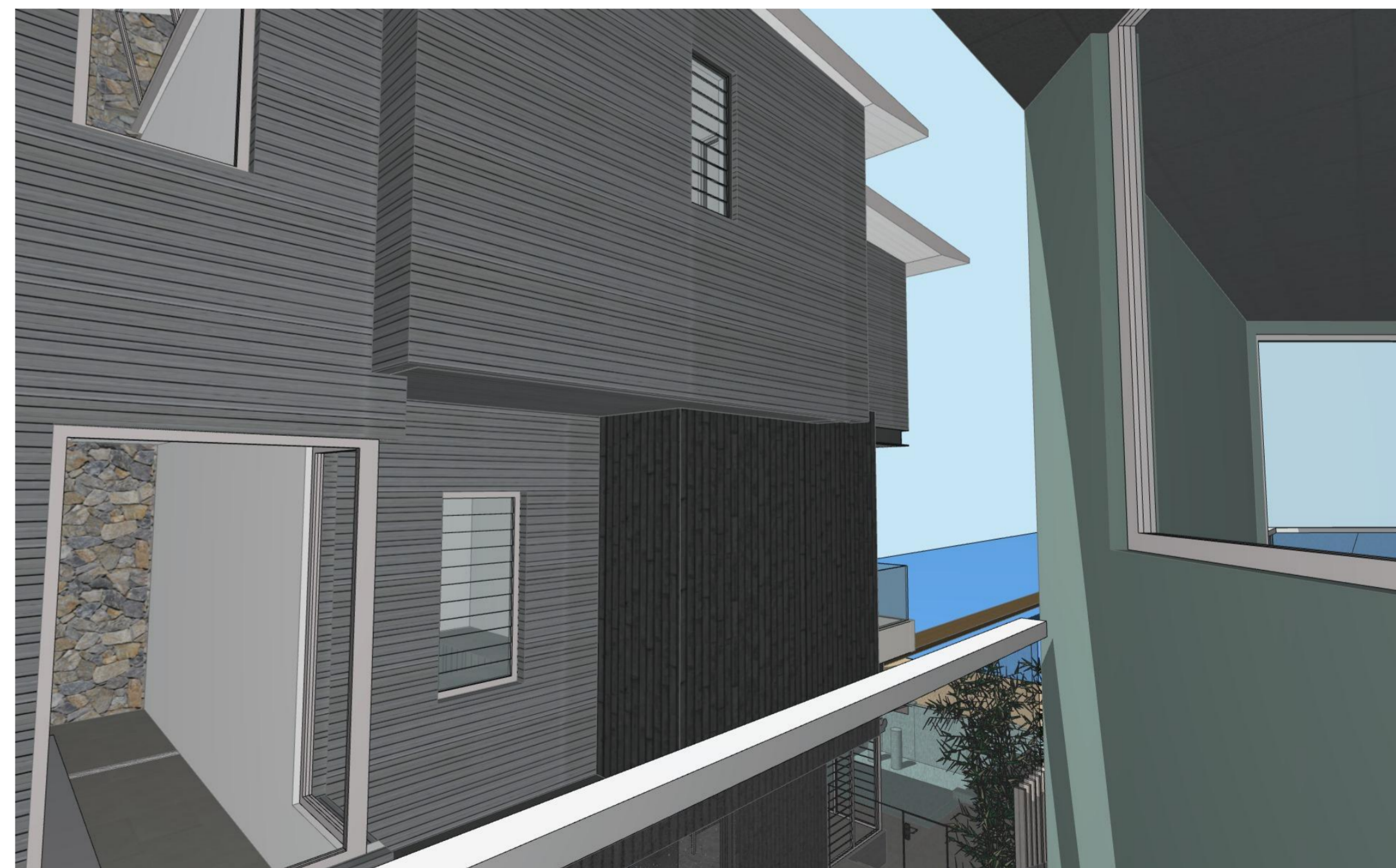
ENTRY



1778 WINDOW

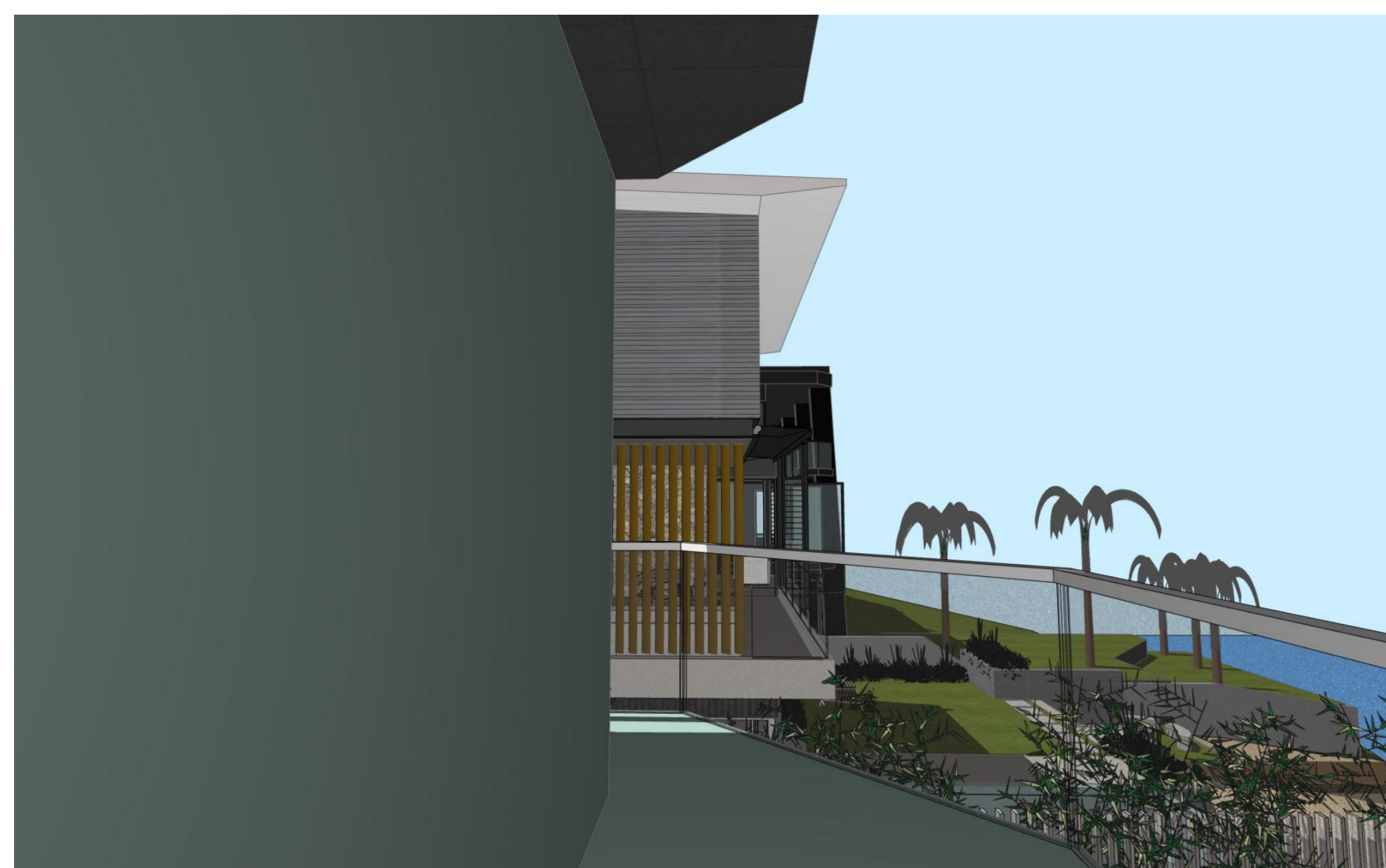


1778 BALCONY



1770 WINDOW

Issue Date	Rev	Description	Drawn	Checked
20/12/2019	A	ISSUE FOR DA		



1770 BALCONY



NORTH LOOKING TOWARDS 1778



NORTH LOOKING TOWARDS 1770

Issue Date	Rev	Description	Drawn	Checked
20/12/2019	A	ISSUE FOR DA		

