



1+3  
CAREEL HEAD ROAD,  
AVALON BEACH  
NSW, AUSTRALIA



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DESIGN INTENT STATEMENT

Situated in the picturesque locale of Avalon Beach, our mixed-use development endeavors to redefine coastal living by seamlessly integrating community-centric amenities with modern design sensibilities. At its heart, the project features a dynamic blend of outdoor and indoor childcare facilities, alongside retail spaces and Dan Murphy’s occupying the ground floor.

To address parking needs efficiently, the development encompasses both basement and ground-level parking facilities, ensuring convenience for residents and visitors alike.

Architecturally, the project embraces a distinctive aesthetic characterized by a harmonious blend of curved facades, sweeping arches, and angular features. Contemporary tones and carefully curated color palettes imbue the structure with a sense of sophistication, while materials such as white brick and concrete contribute to its timeless appeal.

The design ethos of the development extends beyond mere aesthetics to prioritize functionality and sustainability. Each aspect of the design is meticulously crafted to optimize natural light, ventilation, and spatial efficiency, enhancing the overall living experience for residents.

Landscaping elements play a pivotal role in softening the built environment and fostering a connection with nature. Green spaces are strategically integrated throughout the development, providing residents with serene outdoor retreats and contributing to the overall ecological sensitivity of the project.

Our vision for the Avalon Beach Mixed-Use Development is to create a vibrant and inclusive community hub that not only meets the needs of its residents but also enriches the fabric of the surrounding neighborhood. By blending innovative design with a commitment to sustainability, we aim to set a new benchmark for contemporary coastal living in this idyllic setting.



**References**

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A 15-07-2024 DA Submission

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Project

**PROPOSED RESIDENTIAL  
DEVELOPMENT**

1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107

Drawing Title

**PROJECT DESCRIPTION**

Project Stage

**DA Submission**

Job no.	Drawing no.	Rev.
<b>J23587D</b>	<b>DA1001</b>	<b>A</b>

Drawn by	Checked by	Approved by	Date
CS	RJ	LE	JULY. 2024



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LEGEND

- TREES TO BE RETAINED
- TREES TO BE REMOVED
- TREES TPZ

A 15/07/2024 DA SUBMISSION

m 1 2 4 6 8

0 1:100 at A1 1:200 at A3



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Project

**PROPOSED MIXED USE DEVELOPMENT**

1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107

Drawing Title

**SITE PLAN**

Project Stage

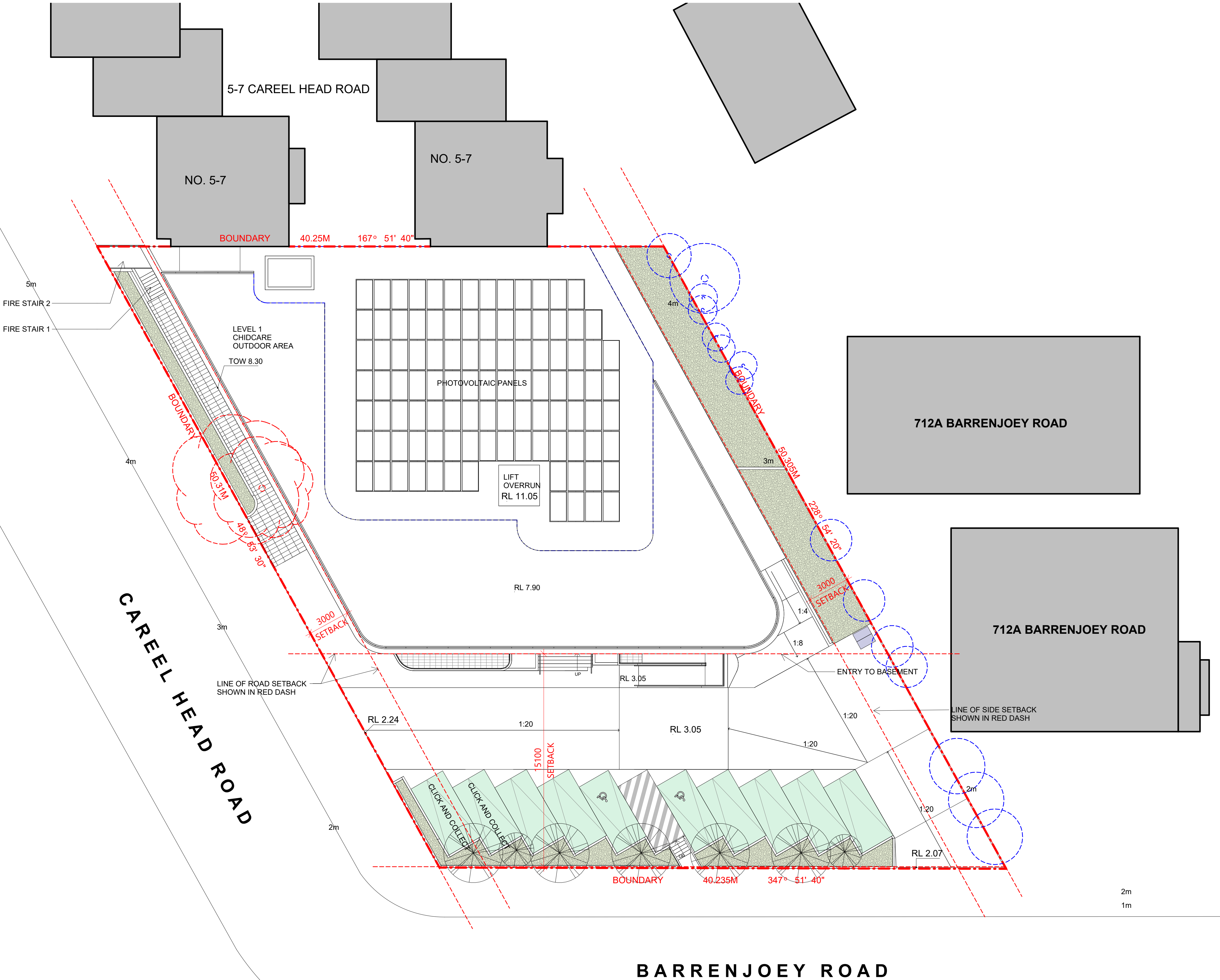
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Job no. Drawing no. Rev.

J23587D DA1005 A

Drawn by Checked by Approved by Date

GH RJ ZC JULY, 2024





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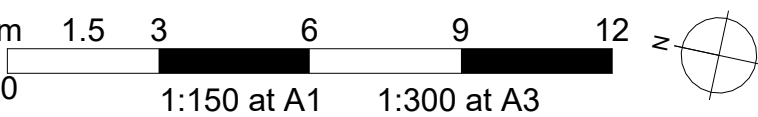
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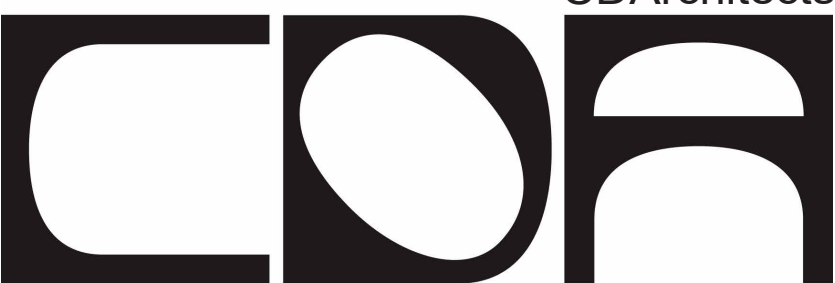
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PROPOSED MIXED USE  
DEVELOPMENT

1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107

Drawing Title

DEMOLITION PLAN

Project Stage

DA Submission

Job no. Drawing no. Rev.

J23587D DA1006 A

Drawn by Checked by Approved by Date  
GH RJ ZC JULY, 2024

REMOVE ENTIRE BUILDING, FLOOR  
SLAB, COLUMNS, STAIRS, WALLS &  
ROOFING MATERIAL IN PREPARATION  
FOR NEW EXCAVATION. SUITABLE  
MATERIAL TO BE SET ASIDE FOR  
RECYCLING IN DESIGNATED HOLDING  
AREA.

REMOVE EXISTING CONCRETE  
STRIPS

REMOVE TREES SHOWN IN RED  
DASHED. REFER TO ARBORIST  
REPORT FOR INFORMATION.

REMOVE EXISTING PLANTER BOXES

REMOVE ENTIRE BUILDING, FLOOR  
SLAB, COLUMNS, STAIRS, WALLS &  
ROOFING MATERIAL IN PREPARATION  
FOR NEW EXCAVATION. SUITABLE  
MATERIAL TO BE SET ASIDE FOR  
RECYCLING IN DESIGNATED HOLDING  
AREA.

EXISTING BITUMEN PAVING AND BRICK  
FLOOR TO BE DEMOLISHED AND  
REMOVED

EXISTING PLANTER WALL TO BE  
REMOVED

EXISTING TREES TO REMAIN /  
PROTECT TREE ROOTS DURING  
DEMOLITION OF PLANTER WALLS

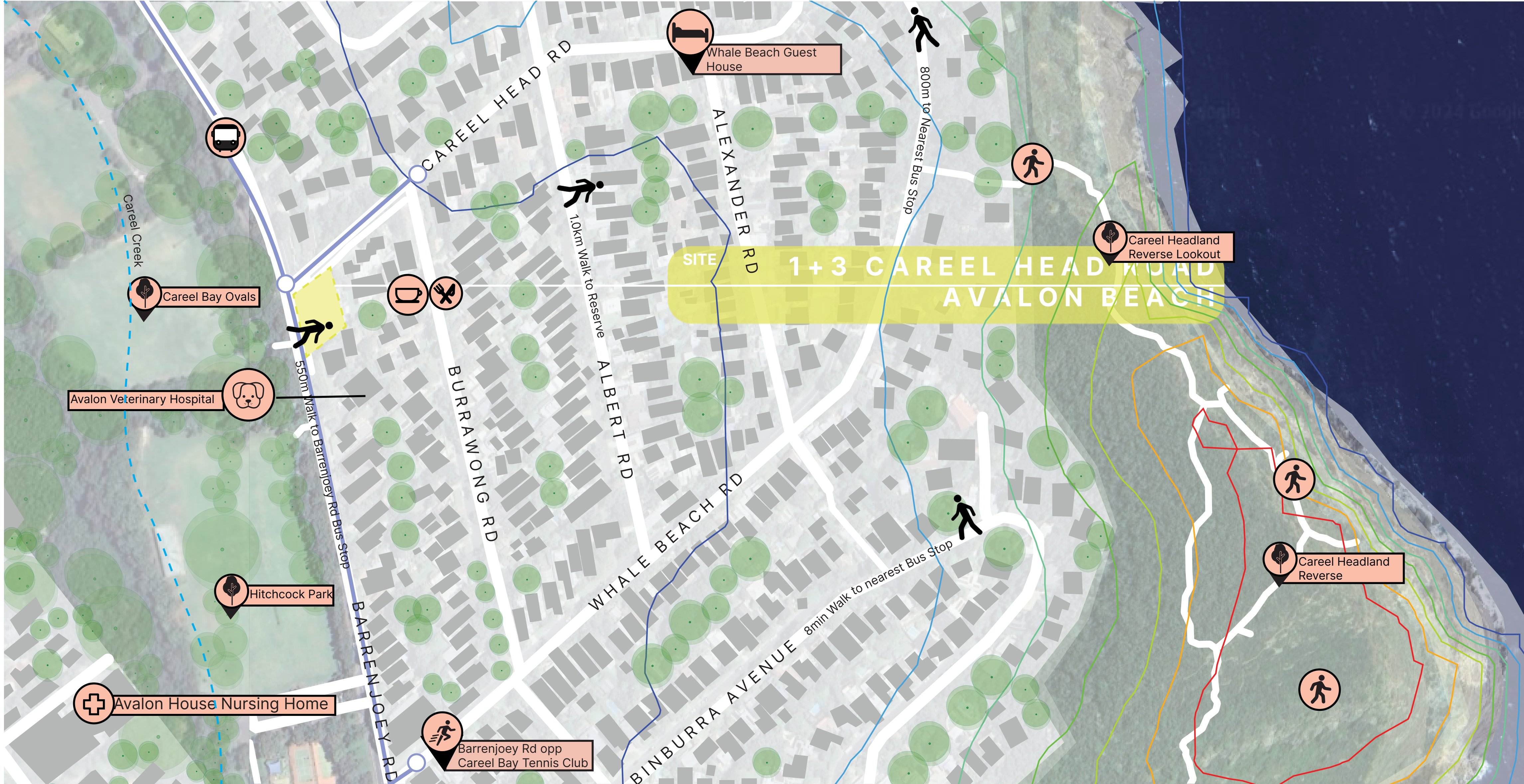


DEMOLITION PLAN

1 : 150 at A1 1:300 at A3

BARRENJOEY ROAD





SITE ANALYSIS - TRANSPORT, AMENITY & NETWORK ANALYSIS

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**PROPOSED RESIDENTIAL  
DEVELOPMENT**

1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107

Drawing Title

**SITE ANALYSIS - TRANSPORT,  
AMENITY & NETWORK**

Project Stage

**DA Submission**

Job no.

Drawing no.

Rev.

**J23587D DA1011 A**

Drawn by

Checked by

Approved by

Date

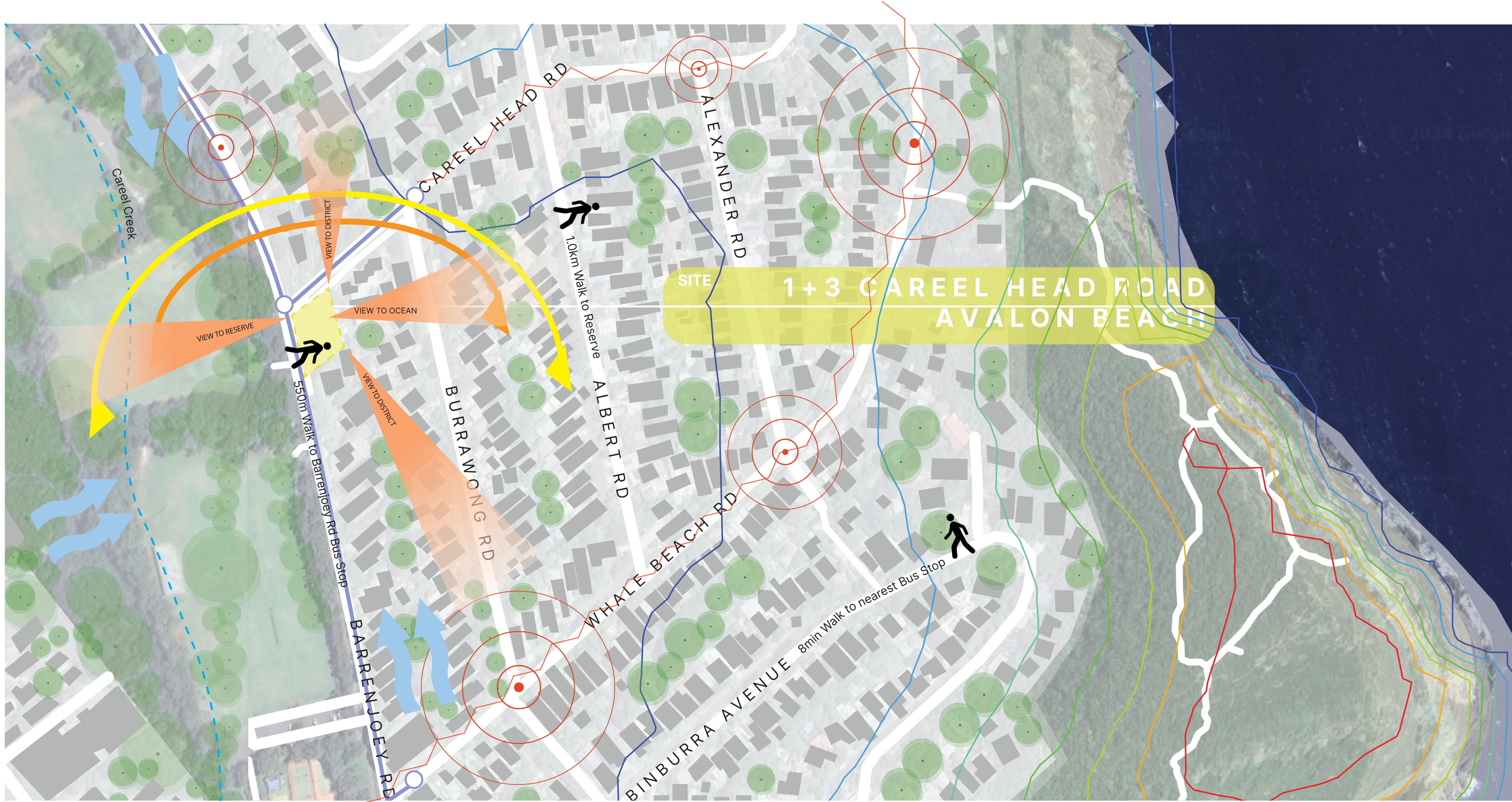
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RJ

LE

JULY, 2024





SITE ANALYSIS PLAN

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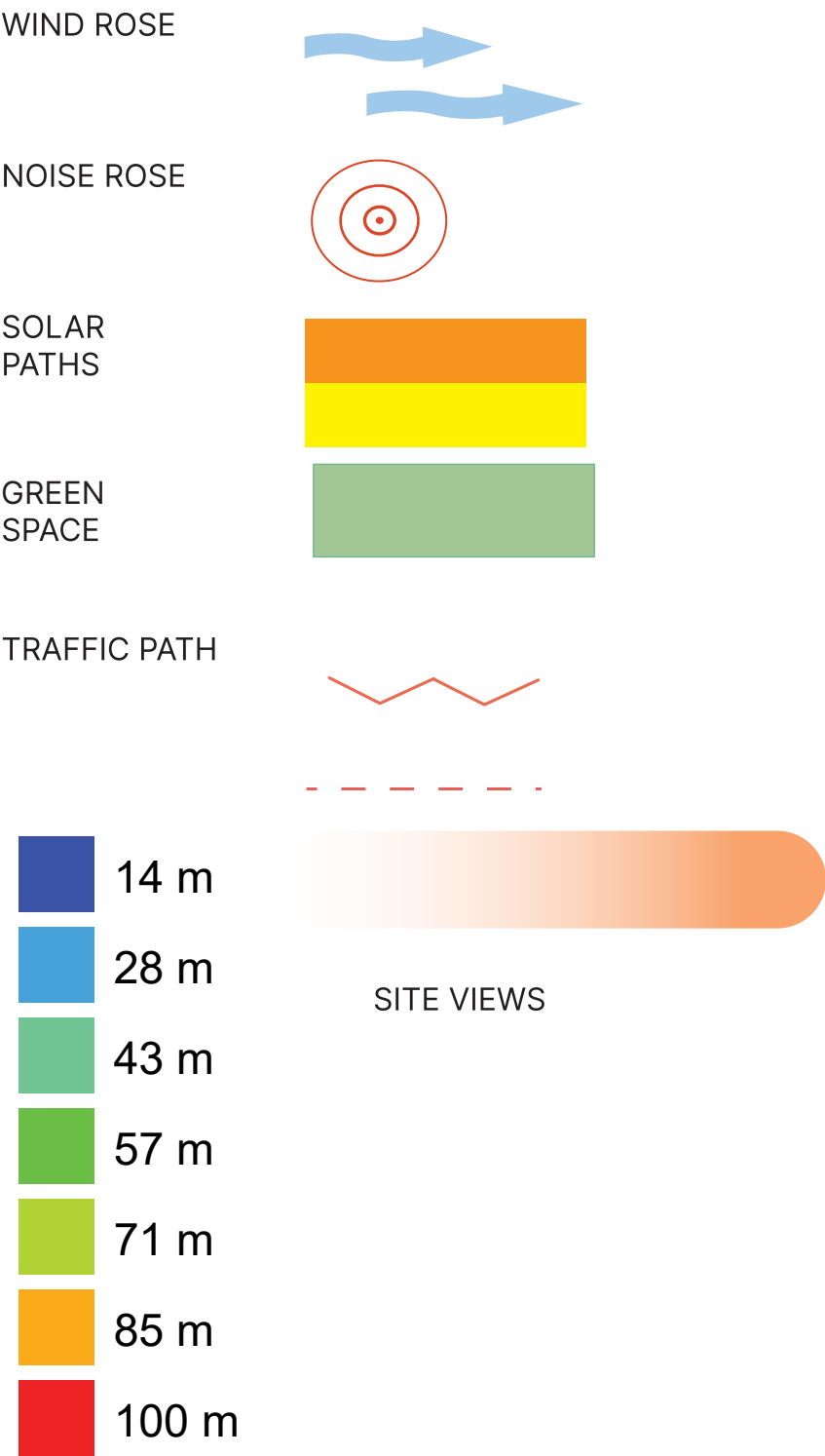
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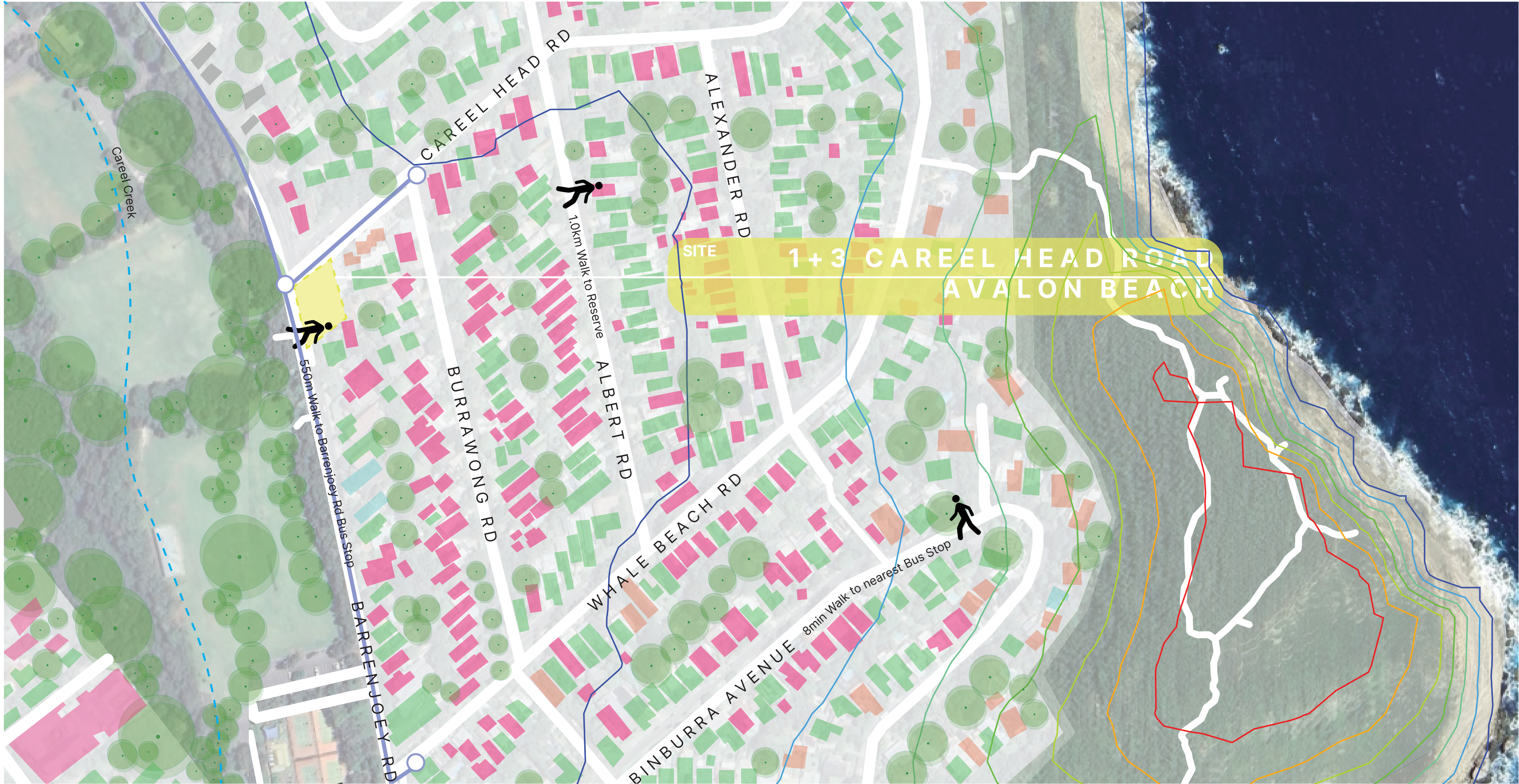
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1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107  
Drawing Title  
**SITE ANALYSIS PLAN**

Project Stage  
**DA Submission**

Job no.	Drawing no.	Rev.
J23587D	DA1012	A

Drawn by	Checked by	Approved by	Date
CS	RJ	LE	JULY. 2024





## SITE ANALYSIS - BUILT FORM

### References

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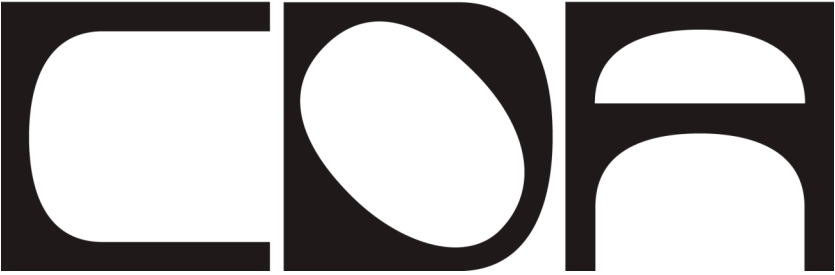
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## PROPOSED RESIDENTIAL DEVELOPMENT

1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107

Drawing Title

## SITE ANALYSIS - BUILT FORM

Project Stage

### DA Submission

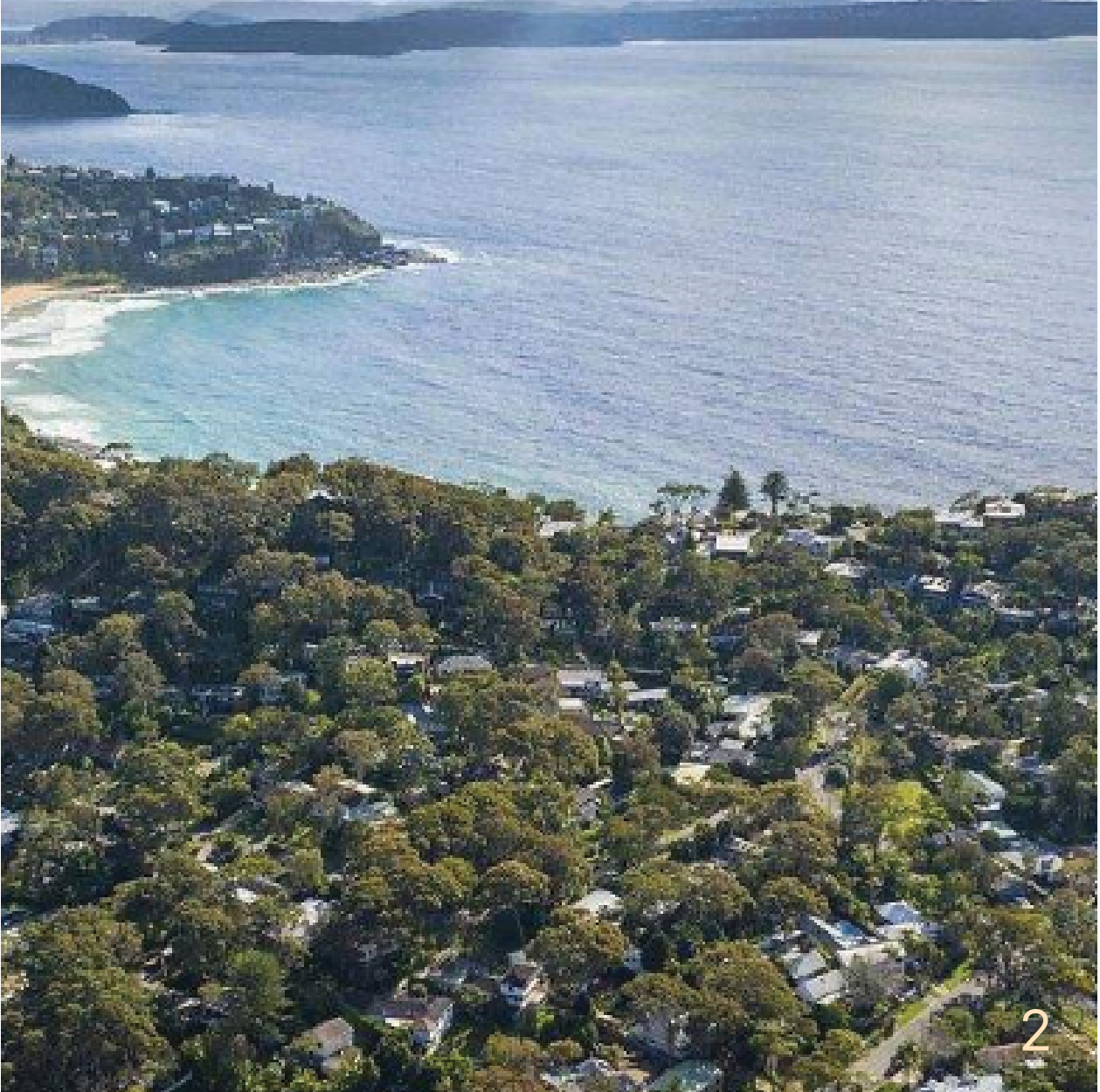
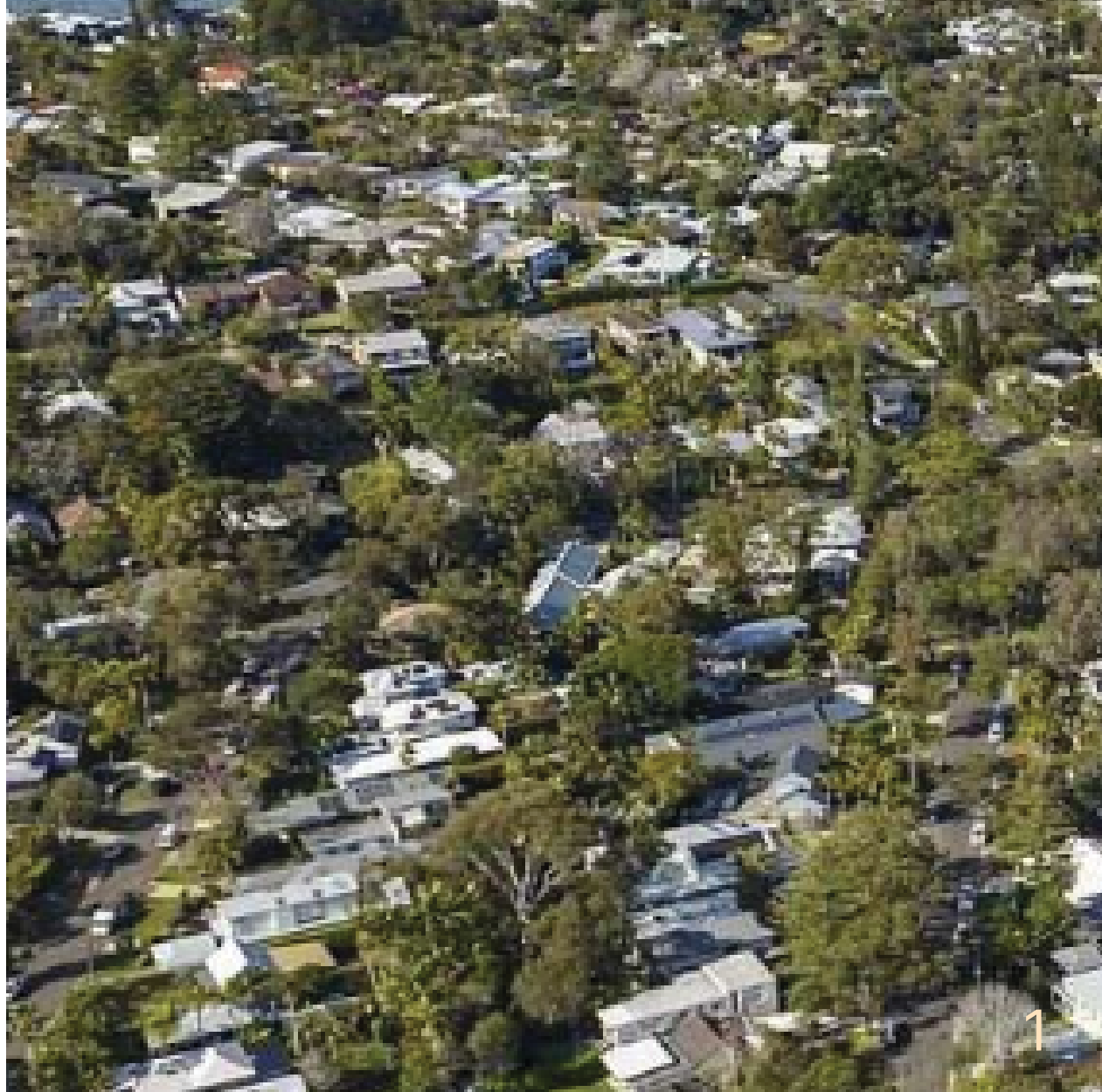
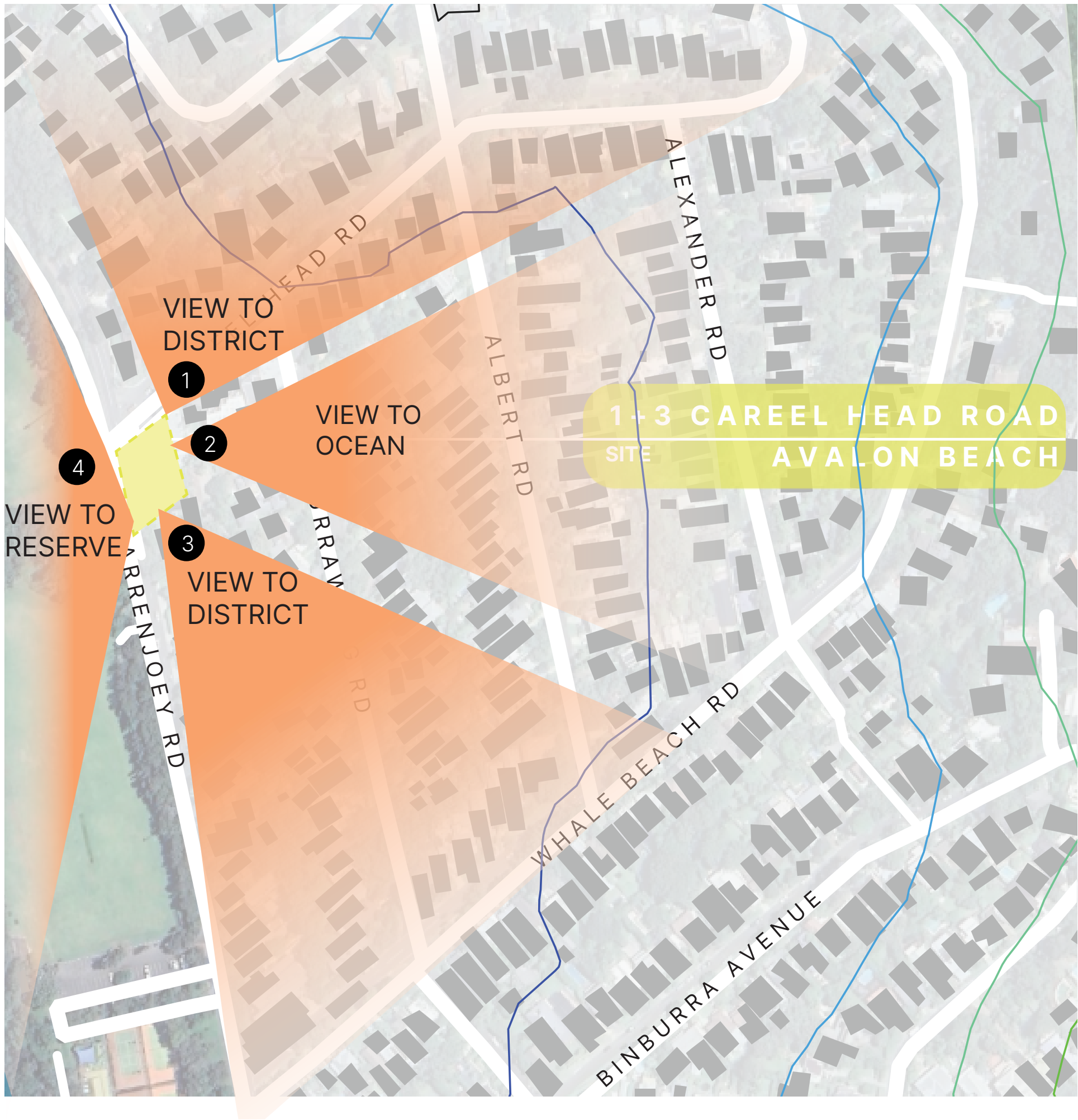
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PROPOSED SITE VIEWS

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PROPOSED RESIDENTIAL  
DEVELOPMENT

1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107

Drawing Title

SITE ANALYSIS- ISOMETRIC  
VIEWS

Project Stage

DA Submission

Job no. Drawing no. Rev.

J23587D DA1014 A

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BARRENJOEY RD



CAREEL HEAD RD

CAREEL HEAD RD



BURAWONG RD

## SITE ANALYSIS- STREETScape

A 15-07-2024 DA Submission



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## PROPOSED RESIDENTIAL DEVELOPMENT

1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107

Drawing Title

## SITE ANALYSIS- EXISTING STREETScape

Project Stage

### DA Submission

Job no. Drawing no. Rev.

J23587D DA1015 A

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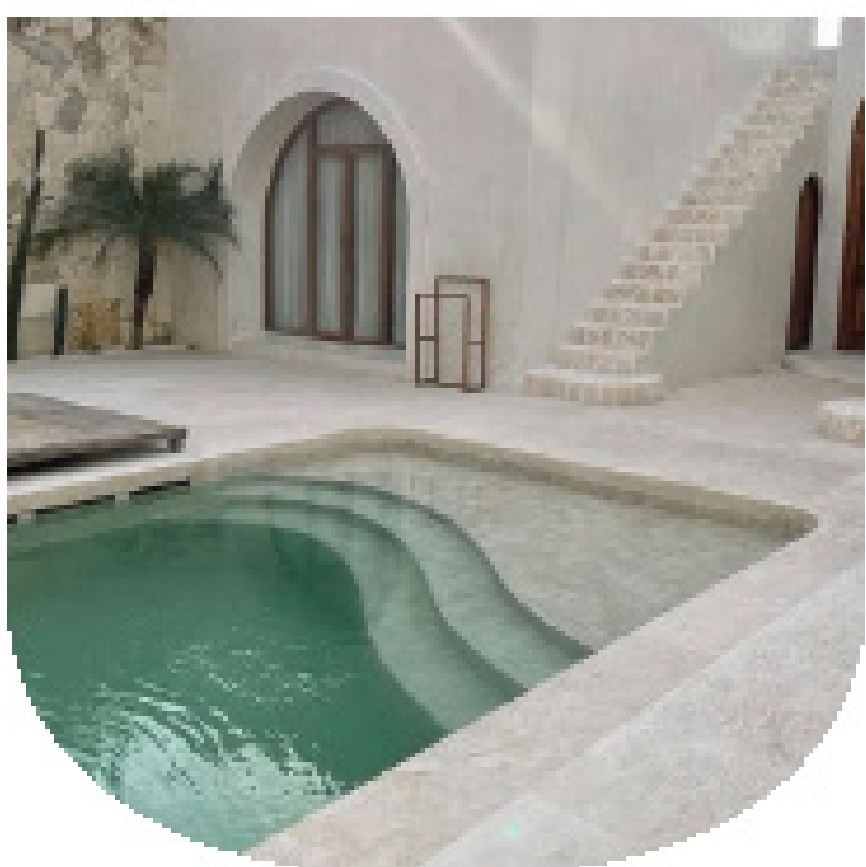
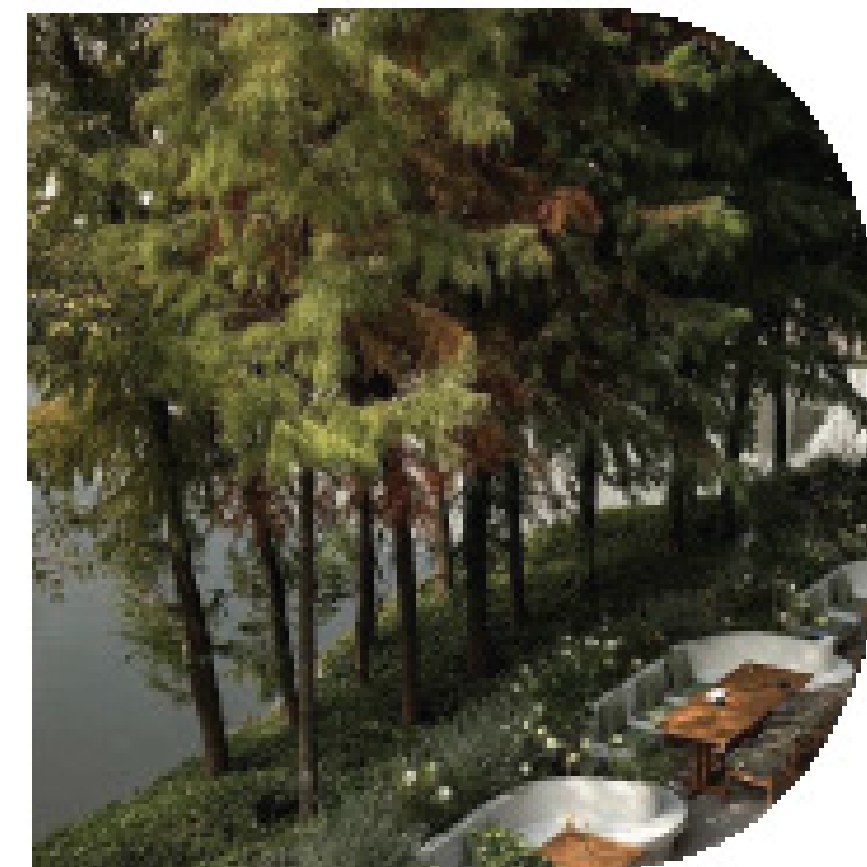
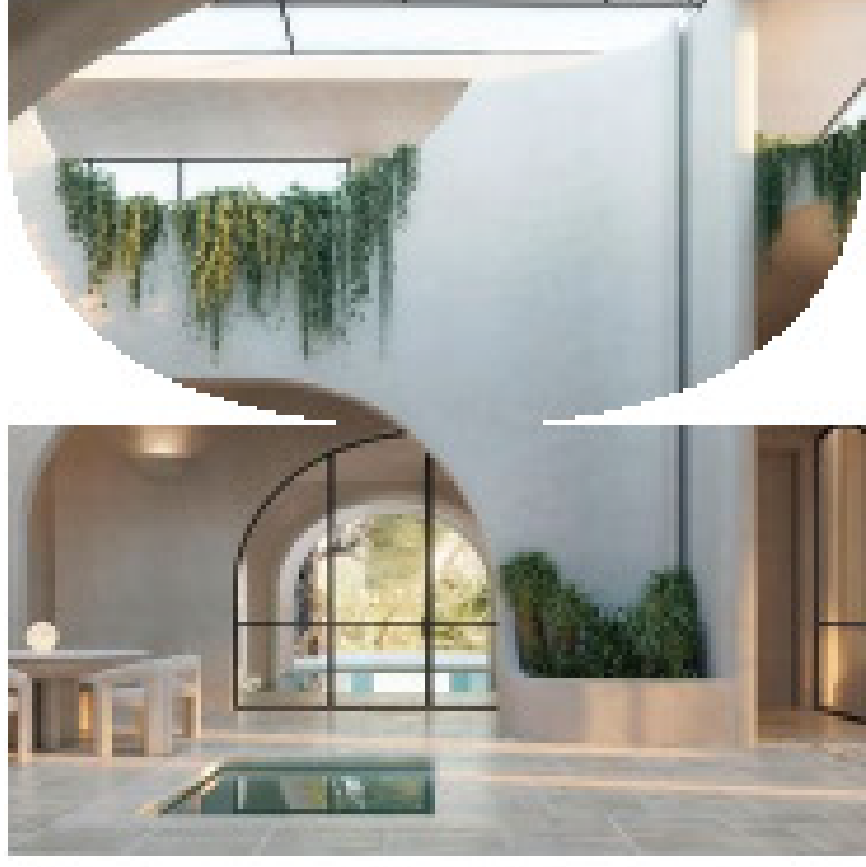
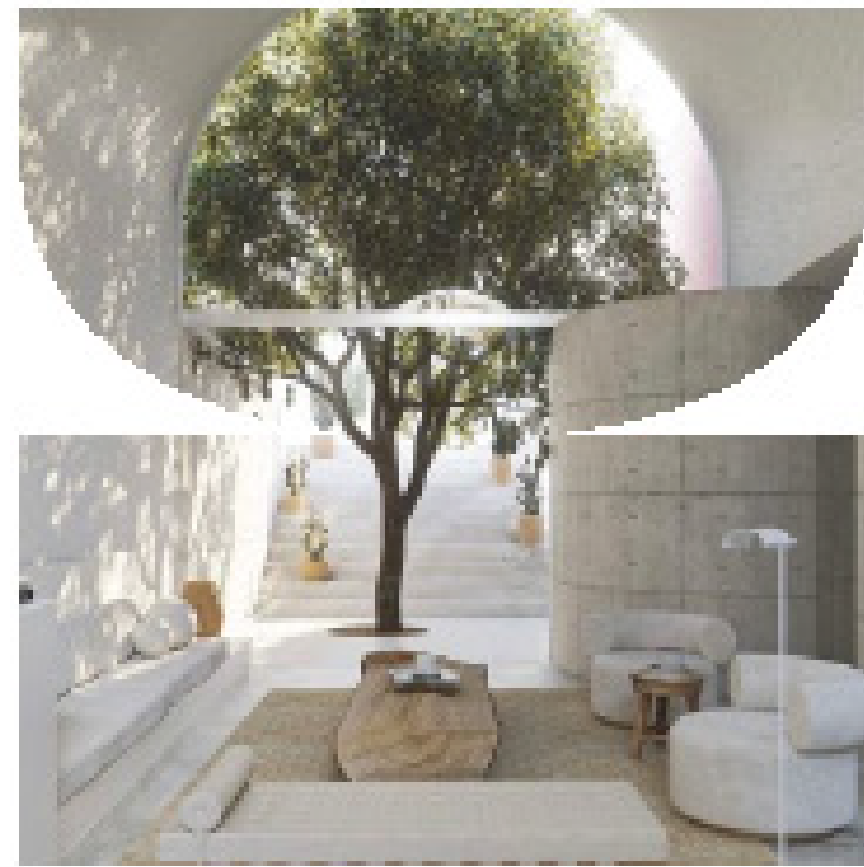
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**PROPOSED RESIDENTIAL DEVELOPMENT**  
1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107

Drawing Title

**SITE ANALYSIS- DESIGN SCHEME/ VISION**

Project Stage

**DA Submission**

Job no.      Drawing no.      Rev.

**J23587D   DA 1016   A**

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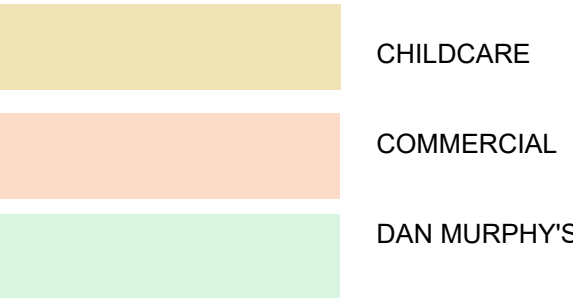
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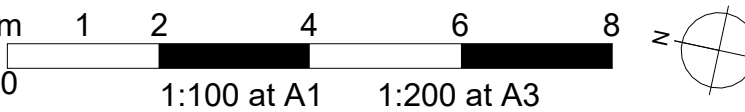
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**PARKING LEGEND**



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Project

**PROPOSED MIXED USE DEVELOPMENT**

1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107

Drawing Title

**BASEMENT 1 FLOOR PLAN**

Project Stage

**DA Submission**

Job no. Drawing no. Rev.

J23587D DA1100 A

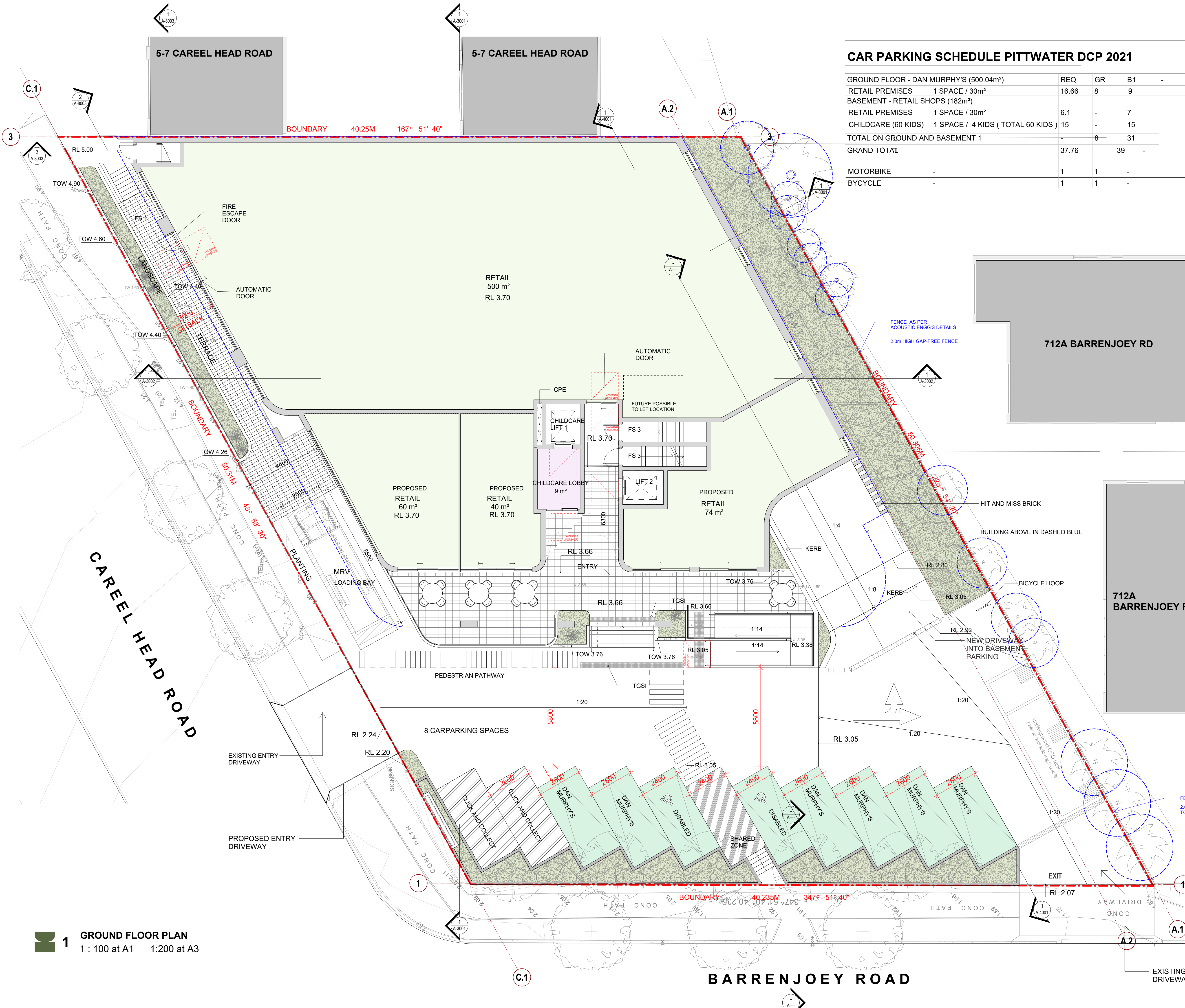
Drawn by Checked by Approved by Date  
GH RJ ZC JULY, 2024

**CAR PARKING SCHEDULE PITTWATER DCP 2021**

GROUND FLOOR - DAN MURPHY'S (500.04m <sup>2</sup> )	REQ	GR	B1	-
RETAIL PREMISES 1 SPACE / 30m <sup>2</sup>	16.66	8	9	-
BASEMENT - RETAIL SHOPS (182m <sup>2</sup> )				
RETAIL PREMISES 1 SPACE / 30m <sup>2</sup>	6.1	-	7	
CHILDCARE (60 KIDS) 1 SPACE / 4 KIDS ( TOTAL 60 KIDS )	15	-	15	
TOTAL ON GROUND AND BASEMENT 1	-	8	31	
GRAND TOTAL	37.76		39	-
MOTORBIKE -	1	1	-	
BYCYCLE -	1	1	-	

**1 BASEMENT 1**  
1 : 100 at A1 1 : 200 at A3





### CAR PARKING SCHEDULE PITTWATER DCP 2021

GROUND FLOOR - DAN MURPHY'S (500.04m²)	REQ	GR	B1	-
RETAIL PREMISES 1 SPACE / 30m²	16.66	8	9	
BASEMENT - RETAIL SHOPS (182m²)				
RETAIL PREMISES 1 SPACE / 30m²	6.1	-	7	
CHILDCARE (60 KIDS) 1 SPACE / 4 KIDS ( TOTAL 60 KIDS )	15	-	15	
TOTAL ON GROUND AND BASEMENT 1	-	8	31	
GRAND TOTAL	37.76	39	-	
MOTORBIKE -	1	1	-	
BYCYCLE -	1	1	-	

#### References

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Nominated Architect: Lijana Ermilova 7887, ABN 24 243 205 327

#### PARKING LEGEND

	CHILDCARE
	COMMERCIAL
	DAN MURPHY'S

#### LEGEND

- TREES TO BE RETAINED
- TREES TO BE REMOVED
- TREES TPZ

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m 1 2 4 6 8  
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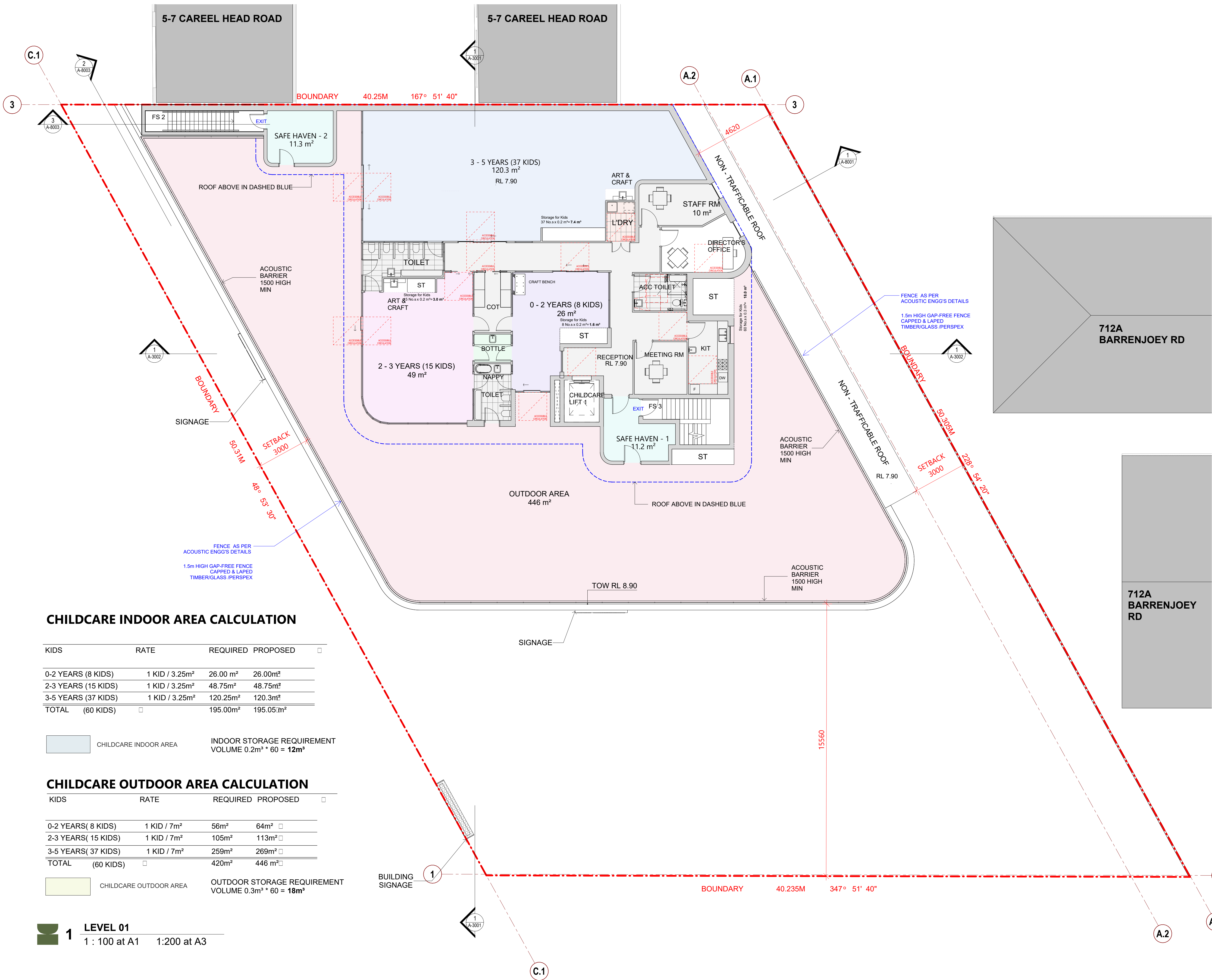
Project  
**PROPOSED MIXED USE DEVELOPMENT**  
1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107

Drawing Title  
**GROUND FLOOR PLAN**

Project Stage  
**DA Submission**

Job no.	Drawing no.	Rev.
J23587D	DA1101	A
Drawn by	Checked by	Approved by
GH	RJ	ZC
		Date
		JULY, 2024





CHILDCARE INDOOR AREA CALCULATION

KIDS	RATE	REQUIRED	PROPOSED	
0-2 YEARS (8 KIDS)	1 KID / 3.25m²	26.00 m²	26.00m²	
2-3 YEARS (15 KIDS)	1 KID / 3.25m²	48.75m²	48.75m²	
3-5 YEARS (37 KIDS)	1 KID / 3.25m²	120.25m²	120.3m²	
TOTAL (60 KIDS)		195.00m²	195.05m²	

CHILDCARE INDOOR AREA INDOOR STORAGE REQUIREMENT  
VOLUME 0.2m³ \* 60 = 12m³

CHILDCARE OUTDOOR AREA CALCULATION

KIDS	RATE	REQUIRED	PROPOSED	
0-2 YEARS( 8 KIDS)	1 KID / 7m²	56m²	64m²	
2-3 YEARS( 15 KIDS)	1 KID / 7m²	105m²	113m²	
3-5 YEARS( 37 KIDS)	1 KID / 7m²	259m²	269m²	
TOTAL (60 KIDS)		420m²	446 m²	

CHILDCARE OUTDOOR AREA OUTDOOR STORAGE REQUIREMENT  
VOLUME 0.3m³ \* 60 = 18m³

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Nominated Architect: Liljana Emilova 7887, ABN 24 243 205 327

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m 1 2 4 6 8  
0 1:100 at A1 1:200 at A3



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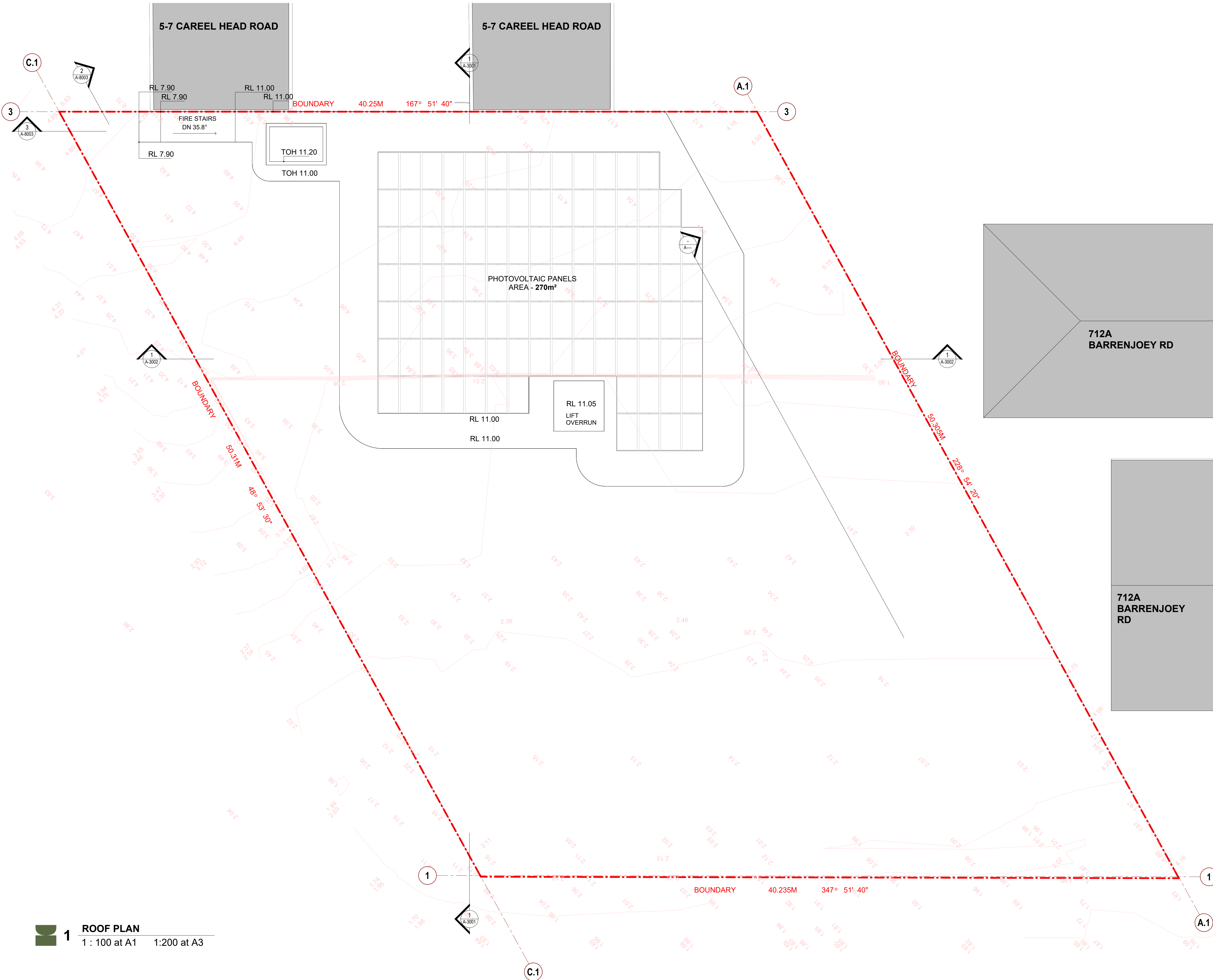


Project  
**PROPOSED MIXED USE DEVELOPMENT**  
1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107

Drawing Title  
**LEVEL 01 FLOOR PLAN**

Project Stage  
**DA Submission**  
Job no. Drawing no. Rev.  
**J23587D DA1102 A**  
Drawn by Checked by Approved by Date  
GH RJ ZC JULY, 2024





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Notes

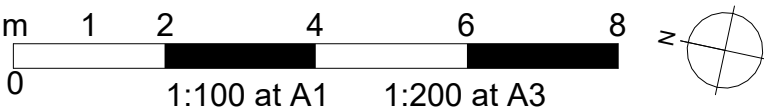
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PROPOSED MIXED USE  
DEVELOPMENT

1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107

Drawing Title

ROOF PLAN

Project Stage

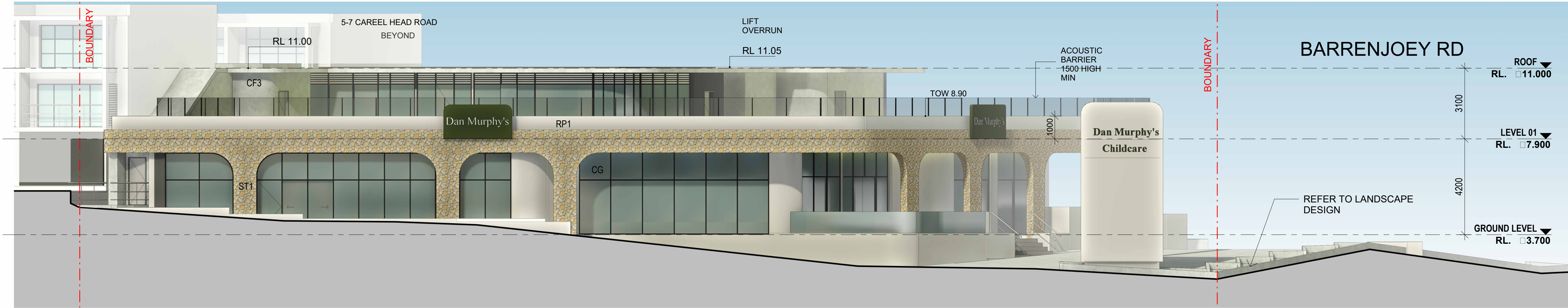
DA Submission

Job no. Drawing no. Rev.

J23587D DA1103 A

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GH RJ ZC JULY, 2024





**1 NORTH ELEVATION 1 - CAREEL HEAD ROAD**  
1 : 100 at A1 1:200 at A3



**2 NORTH ELEVATION 2 - CAREEL HEAD ROAD**  
1 : 100 at A1 1:200 at A3

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#### Notes






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#### MATERIAL LEGEND

	AWD1	ALUMINIUM FRAME WINDOWS & DOORS - COLOUR 1
	CF3	CONCRETE FINISH - SMOOTH
	CG	CLEAR GLASS
	CL1	COLORBOND VERTICAL CLADDING - SMOOTH -COLOUR BASALT
	PS	PERSPEX
	RP1	RENDERED PAINT - DULUX NAPKIN WHITE
	RP2	RENDERED PAINT - DULUX BLACK CHARCOAL COLOUR: DULUX BLACK CAVIAR
	ST1	STONE CLADDING

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m 1 2 4 6 8  
0 1:100 at A1 1:200 at A3



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#### PROPOSED MIXED USE DEVELOPMENT

1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107

Drawing Title

#### BUILDING ELEVATION NORTH, EAST

Project Stage

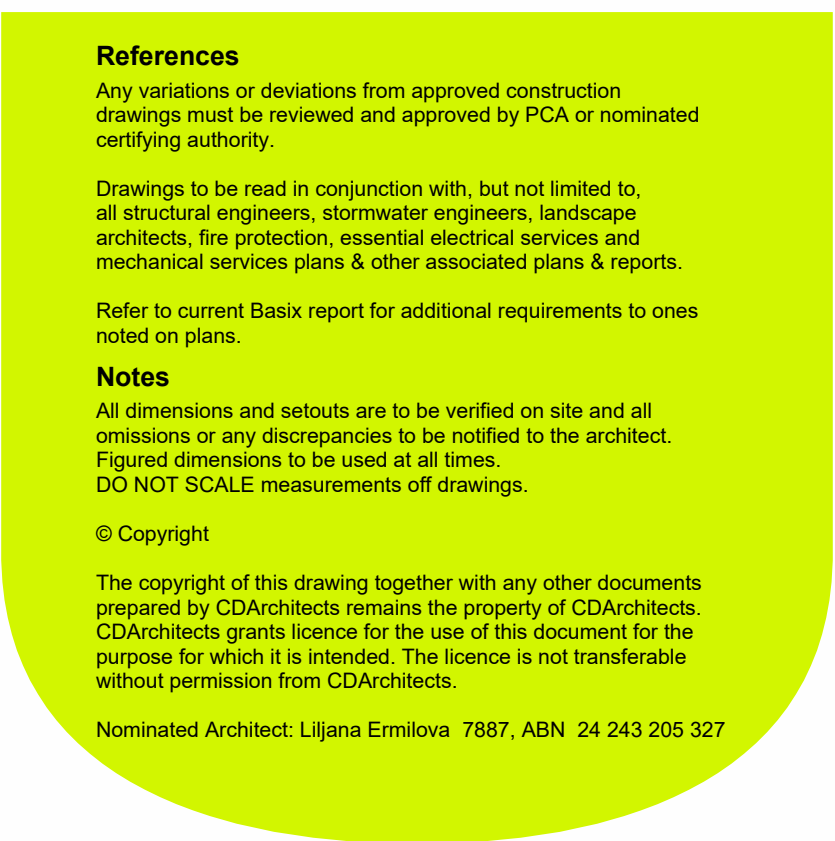
#### DA Submission



Job no. Drawing no. Rev.

J23587D DA2001 A

Drawn by Checked by Approved by Date  
GH RJ ZC JULY, 2024





<b><u>MATERIAL LEGEND</u></b>		
	AWD1	ALUMINIUM FRAME WINDOWS & DOORS - COLOUR 1
	CF3	CONCRETE FINISH - SMOOTH
	CG	CLEAR GLASS
	CL1	COLORBOND VERTICAL CLADDING - SMOOTH - COLOUR BASALT
	PS	PERSPEX
	RP1	RENDERED PAINT - DULUX NAPKIN WHITE
	RP2	RENDERED PAINT - DULUX BLACK CHARCOAL COLOUR: DULUX BLACK CAVIAR
	ST1	STONE CLADDING

Architectural elevation drawing showing a building facade. The drawing includes the following elements:

- Left Side (Neighbour Property):**
  - NEIGHBOUR PROPERTY 712A BARRENJOEY RD
  - ROOF RL. 11.000
  - LEVEL 01 RL. 7.900
  - GROUND LEVEL RL. 3.700
  - Dimensions: 3100 (vertical), 4200 (horizontal)
  - NEIGHBOUR PROPERTY 712 BARRENJOEY RD
- Central Section:**
  - BOUNDARY CORNER (indicated by a red dashed line)
  - RL 7.90
  - TOW 9.70
  - TOP 8.90
  - ACQUSTIC BARRIER 1500 HIGH MIN
  - RP1
  - HIT AND MISS BRICK
  - RL 11.00
- Right Side (Dotted Nextdoor Building):**
  - DOTTED NEXTDOOR BUILDING
  - LIFT OVERUN RL 11.05
  - TOH 11.20
  - RL 10.80
  - 5-7 CAREEL HEAD ROAD
  - 1800 (dimension)

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Project

**PROPOSED MIXED USE  
DEVELOPMENT**

1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107

Drawing Title

**BUILDING ELEVATION - SOUTH,  
WEST**

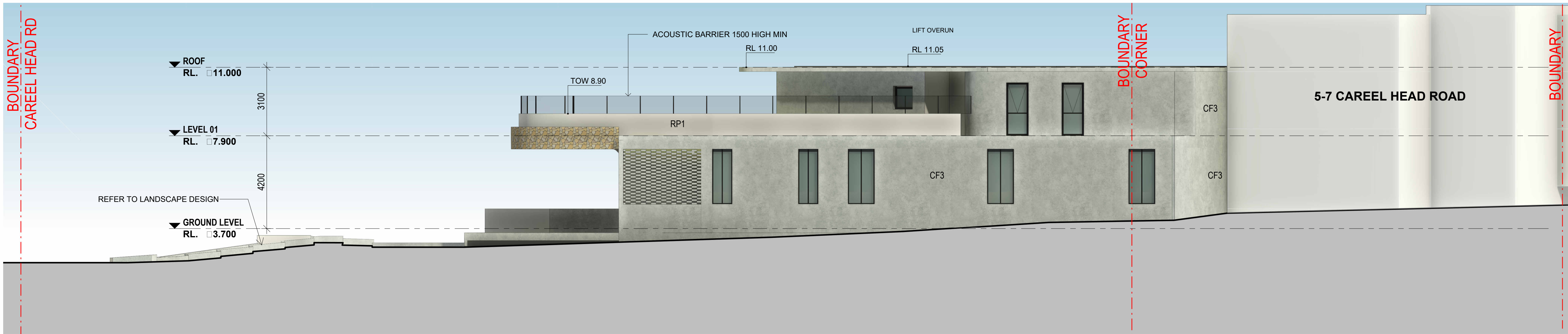
Project Stage

**DA Submission**

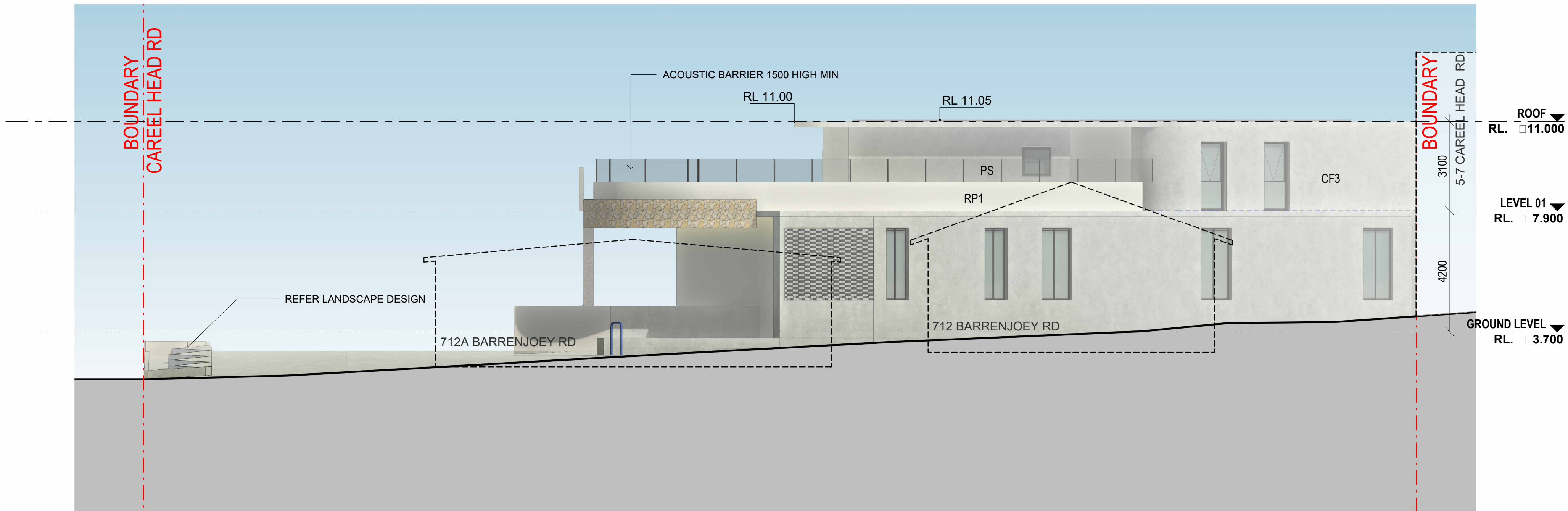
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<b>J23587D</b>	<b>DA2002</b>	<b>A</b>

Drawn by	Checked by	Approved by	Date
<b>GH</b>	<b>RJ</b>	<b>ZC</b>	<b>JULY, 2024</b>





**1 SOUTH ELEVATION A**  
1 : 100 at A1 1:200 at A3



**2 SOUTH ELEVATION B**  
1 : 100 at A1 1:200 at A3

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Nominated Architect: Liljana Emilova 7887, ABN 24 243 205 327

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m 1 2 4 6 8  
0 1:100 at A1 1:200 at A3

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Project  
**PROPOSED MIXED USE DEVELOPMENT**  
1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107

Drawing Title  
**BUILDING ELEVATION SOUTH, EAST**

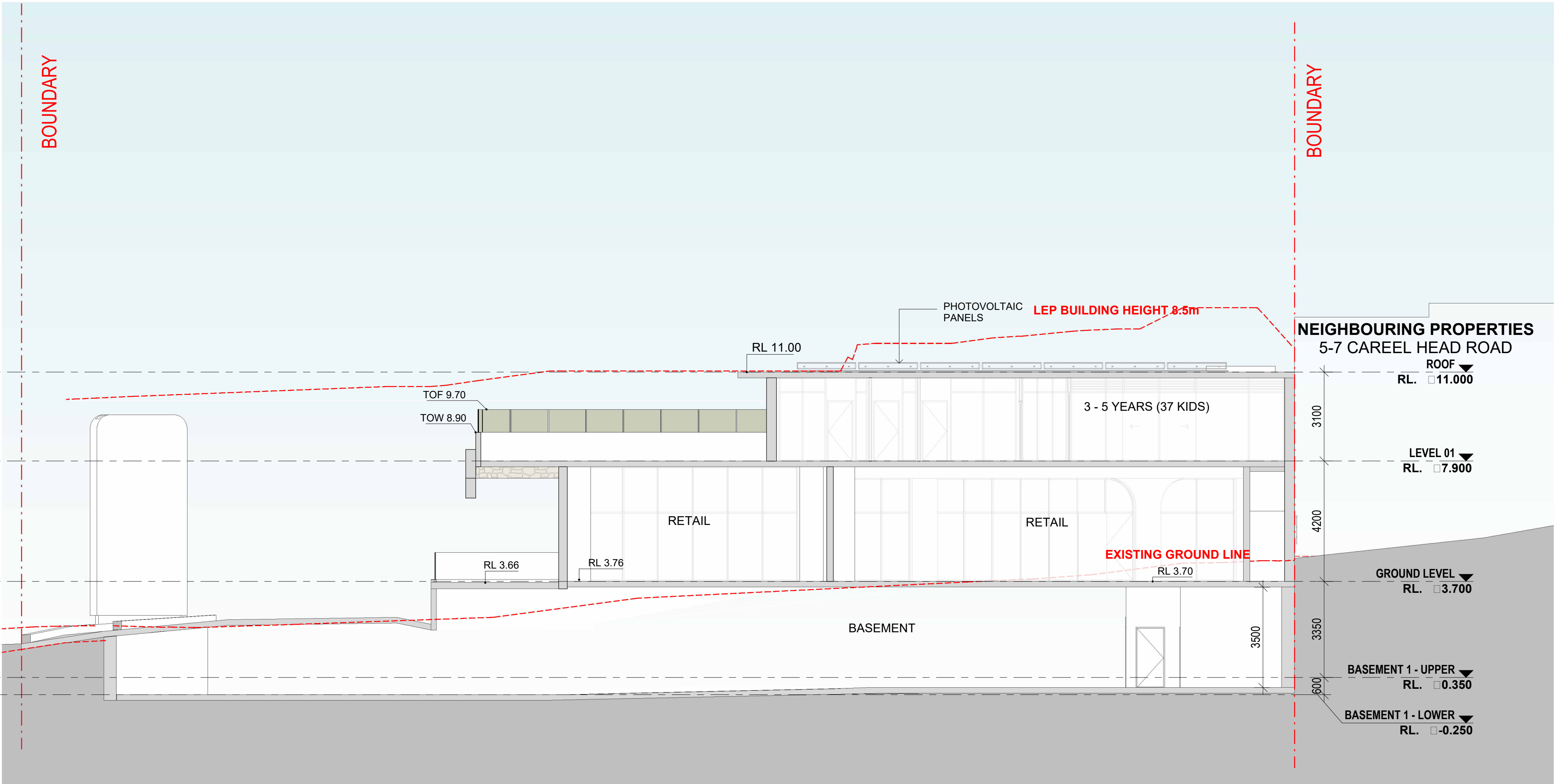
Project Stage  
**DA Submission**

Job no.	Drawing no.	Rev.
J23587D	DA2003	A

Drawn by	Checked by	Approved by	Date
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BARRENJOEY ROAD



**1 SECTION A**  
1 : 100 at A1 1:200 at A3

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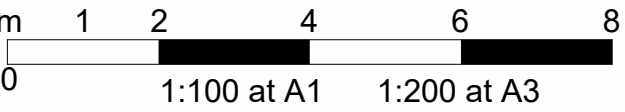
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Project  
**PROPOSED MIXED USE DEVELOPMENT**  
1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107

Drawing Title  
**SECTION A**

Project Stage  
**DA Submission**

Job no.	Drawing no.	Rev.
J23587D	DA3001	A
Drawn by	Checked by	Approved by Date
GH	RJ	ZC JULY, 2024



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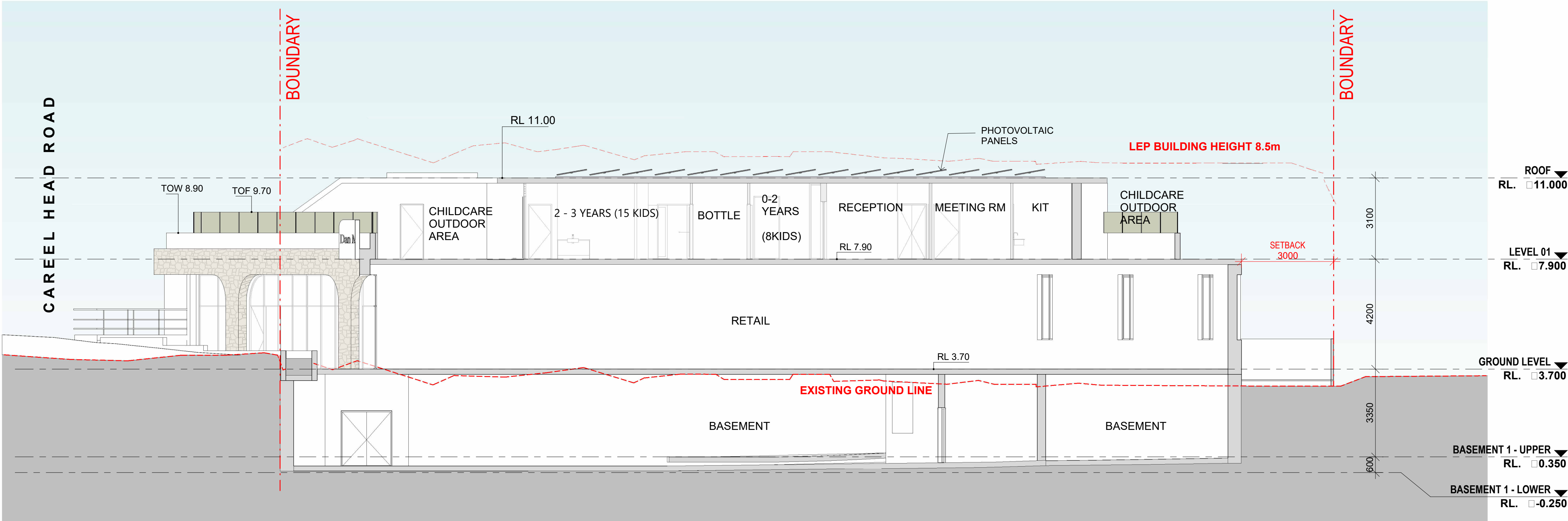
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**1 SECTION B**  
1 : 100 at A1 1:200 at A3

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m 1 2 4 6 8

0 1:100 at A1 1:200 at A3



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Project  
**PROPOSED MIXED USE DEVELOPMENT**  
1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107

Drawing Title  
**SECTION B**

Project Stage  
**DA Submission**

Job no.	Drawing no.	Rev.
J23587D	DA3002	A

Drawn by	Checked by	Approved by	Date
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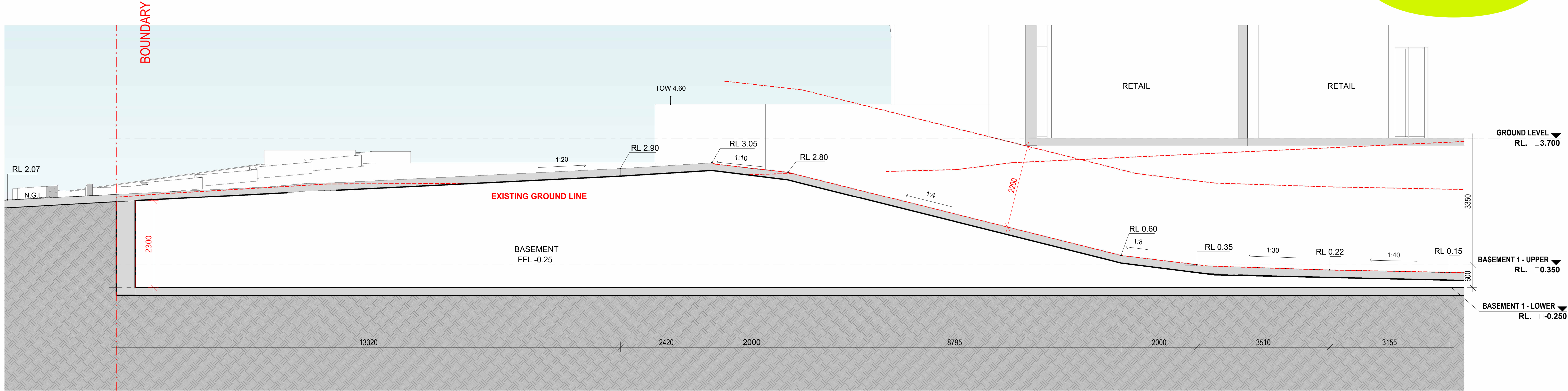
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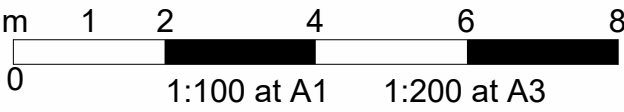
Nominated Architect: Liljana Emilova 7887, ABN 24 243 205 327



**1 RAMP SECTION**

1 : 50 at A1 1:200 at A3

A 15/07/2024 DA SUBMISSION



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**PROPOSED MIXED USE  
DEVELOPMENT**  
1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107

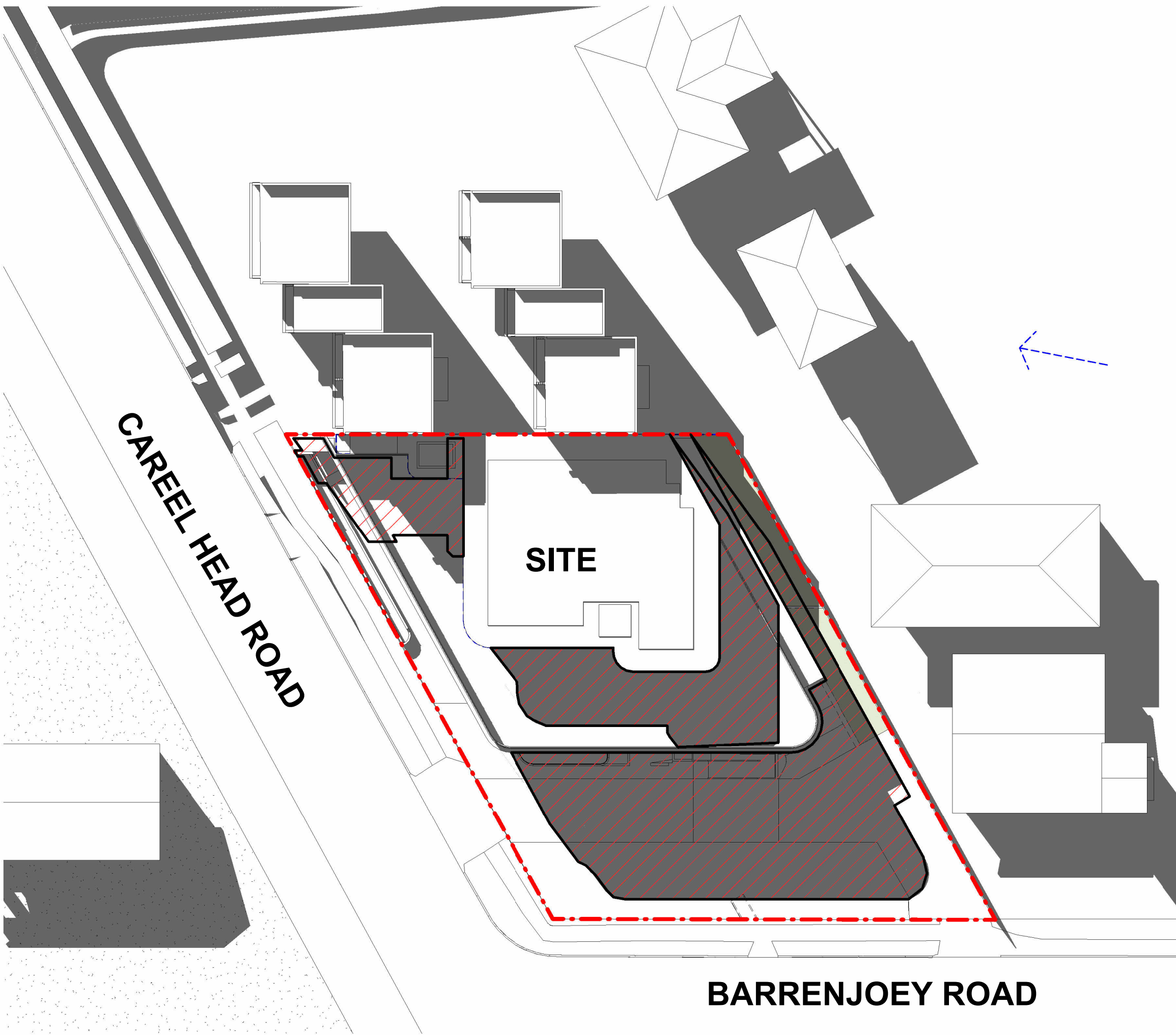
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**RAMP SECTION**

Project Stage  
**DA Submission**

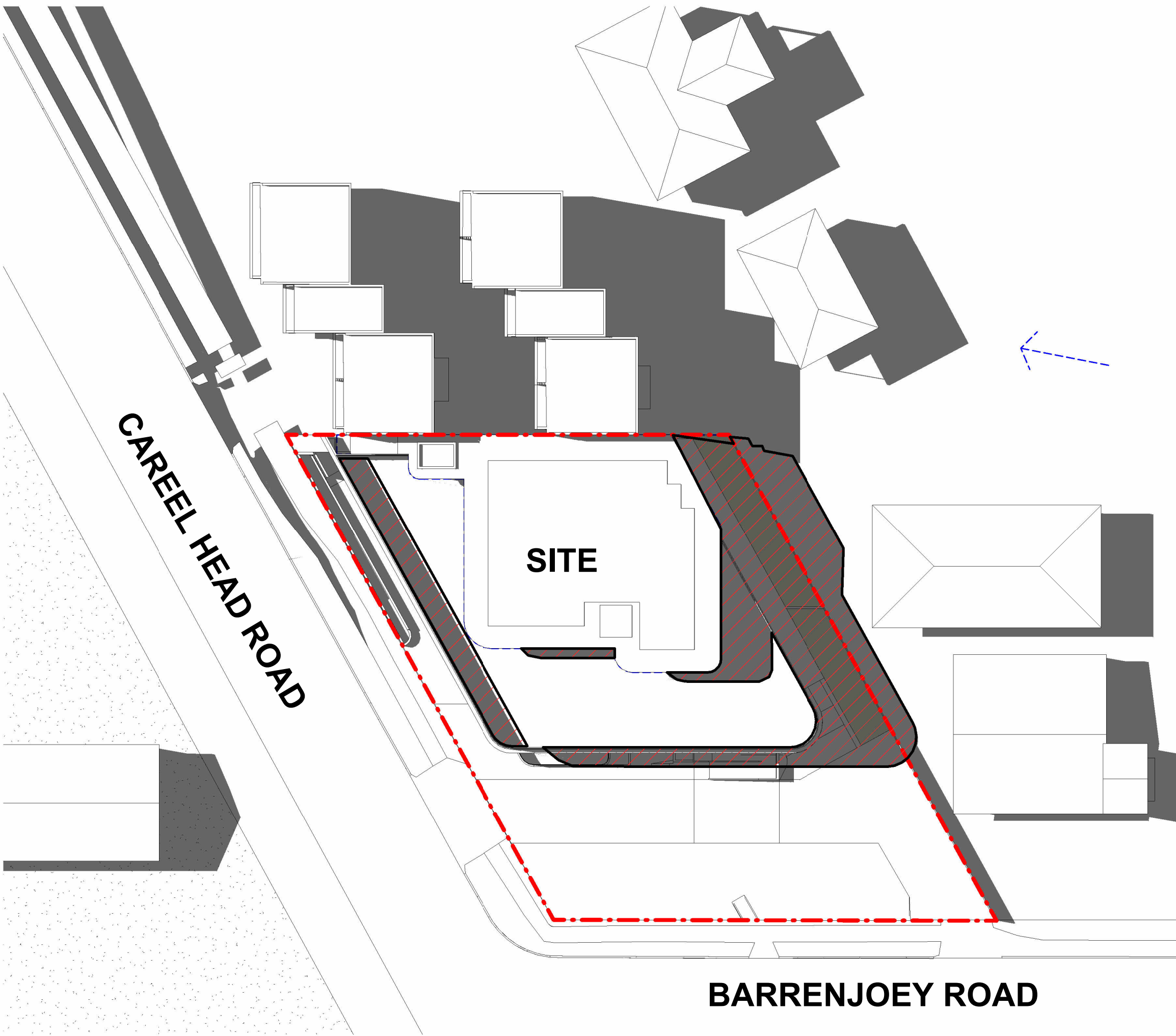
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J23587D	DA4001	A

Drawn by	Checked by	Approved by	Date
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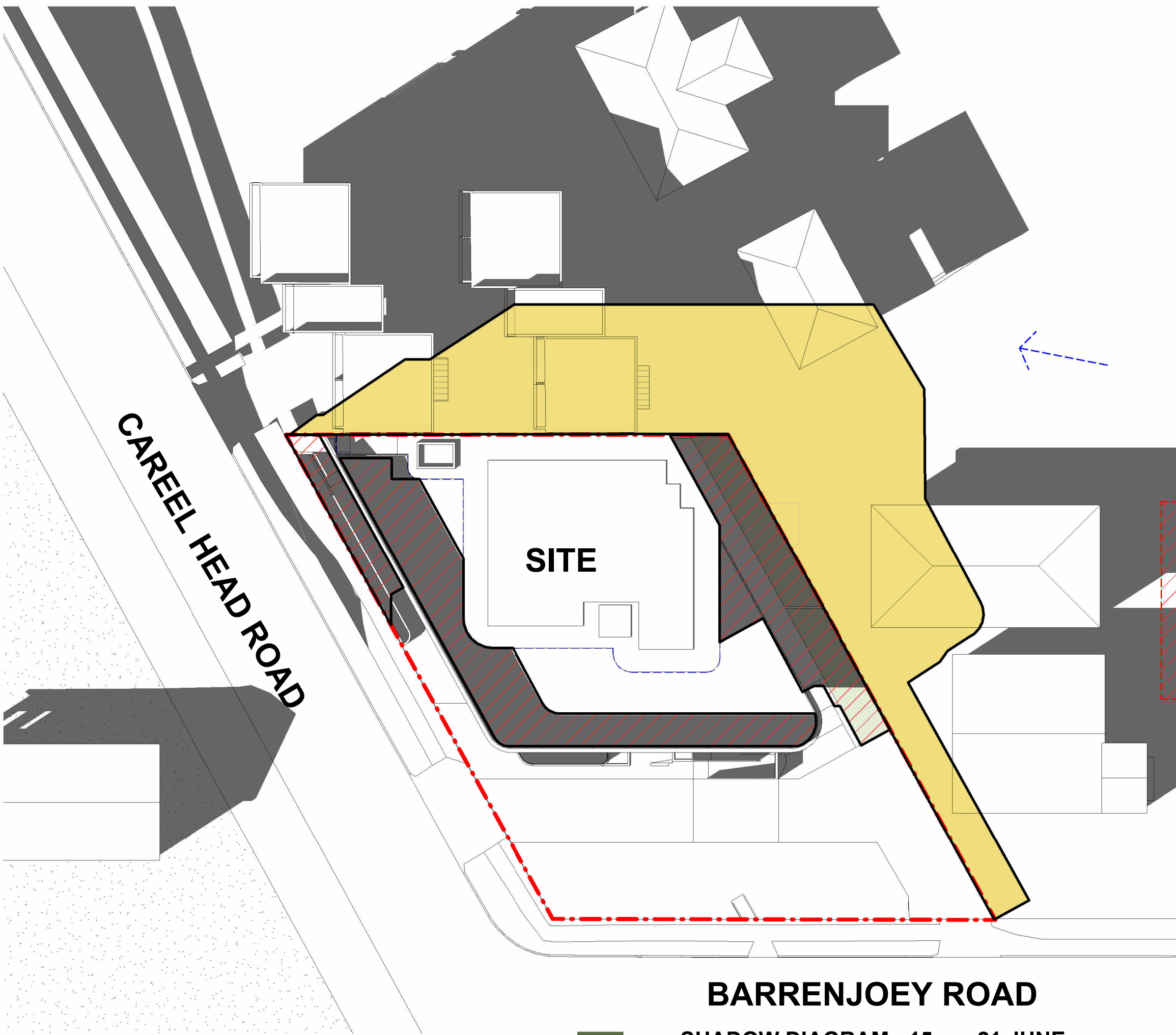




1 SHADOW DIAGRAM - 09am, 21 JUNE  
1 : 350



2 SHADOW DIAGRAM - 12PM, 21 JUNE  
1 : 350



3 SHADOW DIAGRAM - 15pm, 21 JUNE  
1 : 350

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**Notes**  
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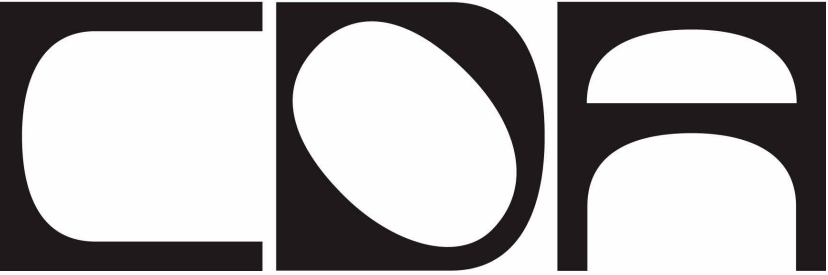
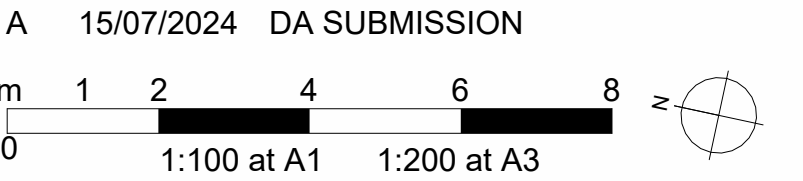
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Nominated Architect: Liljana Emilova 7887, ABN 24 243 205 327

SHADOW DIAGRAM LEGEND

	SHADOWS CAST BY EXISTING SURROUNDING BUILDING ONLY	
	SHADOWS CAST BY PROPOSED BUILDING	
	SHADOWS CAST BY PROPOSED BUILDING ONLY	



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Project  
**PROPOSED MIXED USE DEVELOPMENT**  
1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107

SHADOW DIAGRAMS

Project Stage  
**DA Submission**

Job no.	Drawing no.	Rev.
J23587D	DA6001	A
Drawn by	Checked by	Approved by
GH	RJ	ZC
		DATE
		JULY, 2024



1 SOLAR STUDY -8AM JUNE 21

CHILDCARE PLANNING GUIDLINE - DELIVERING  
QUALITY CHILDCARE FOR NSW - SEPTEMBER 2021

Outdoor play areas should:

- Have a minimum of 2 hours of solar access between 8:00am and 4:00 pm during winter months, for at least 30%(134.4m²) of the 448m² of outdoor space per child required.

SOLAR ACCESS TO THE CHILDCARE OUTDOOR AREA - 21st JUNE

MINIMUM REQUIRED OUTDOOR AREA

420m²

TARGET COMPLIANCE AREA REQUIRED

MINIMUM 2hrs OF SOLAR ACCESS TO 30% OF MINIMUM  
OUTDOOR AREA (BETWEEN 8am - 4pm WINTER MONTHS)

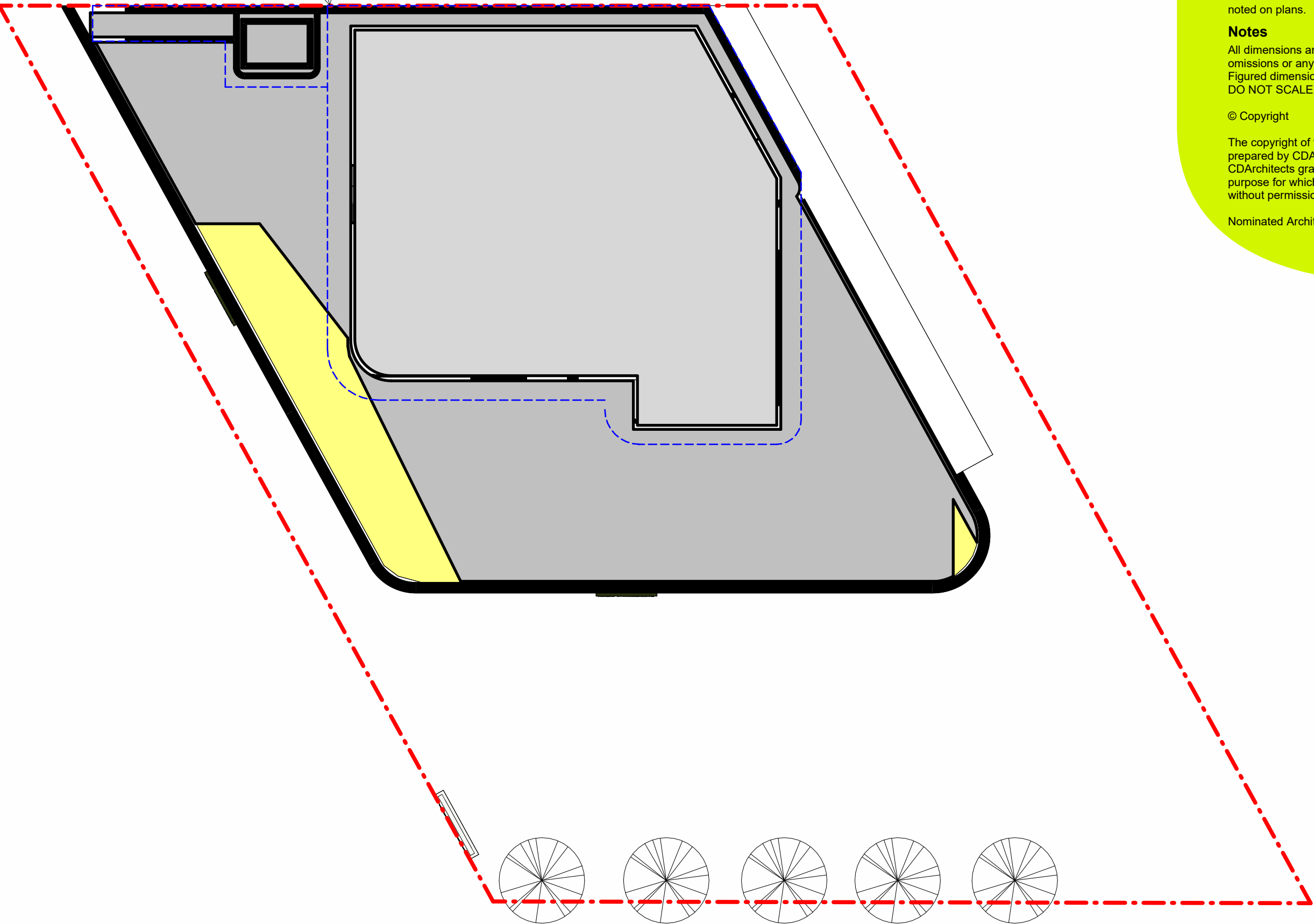
MINIMUM OUTDOOR AREA TO RECEIVE SOLAR

126m²

OUTDOOR CHILDCARE AREA RECEIVING SOLAR



UPPER EAVE LINE

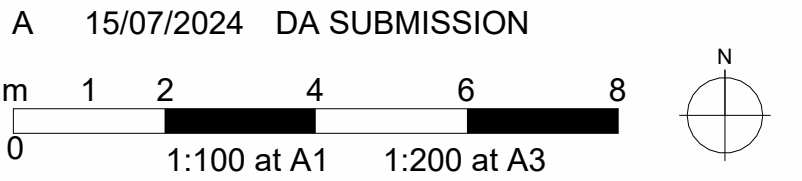


2 8AM SOLAR CHILD CARE ACCESS PLAN  
1 : 200

TOTAL (60 KIDS)

TIME	MINUMUM AREA REQUIRED	PROPOSED AREA	% OF THE MINIMUM AREA
8am	126 m²	68 m²	16.19 %
9am	126 m²	139 m²	33.10 %
10am	126 m²	206 m²	49.05 %
11am	126 m²	260 m²	61.90 %
12pm	126 m²	282 m²	67.14 %
1pm	126 m²	287 m²	68.33 %
2pm	126 m²	256 m²	60.95 %
3pm	126 m²	183 m²	43.57 %
4pm	134.4 m²	27 m²	6.03 %

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**PROPOSED MIXED USE  
DEVELOPMENT**  
1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107

Drawing Title  
**SUN ANGLE VIEWS 21 JUNE 8am**

Project Stage  
**DA Submission**

Job no.	Drawing no.	Rev.
J23587D	DA6021	A

Drawn by	Checked by	Approved by	Date
GH	RJ	ZC	JULY, 2024



CHILDCARE PLANNING GUIDLINE - DELIVERING  
QUALITY CHILDCARE FOR NSW - SEPTEMBER 2021

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SOLAR ACCESS TO THE CHILDCARE OUTDOOR AREA - 21st JUNE

MINIMUM REQUIRED OUTDOOR AREA

420m²

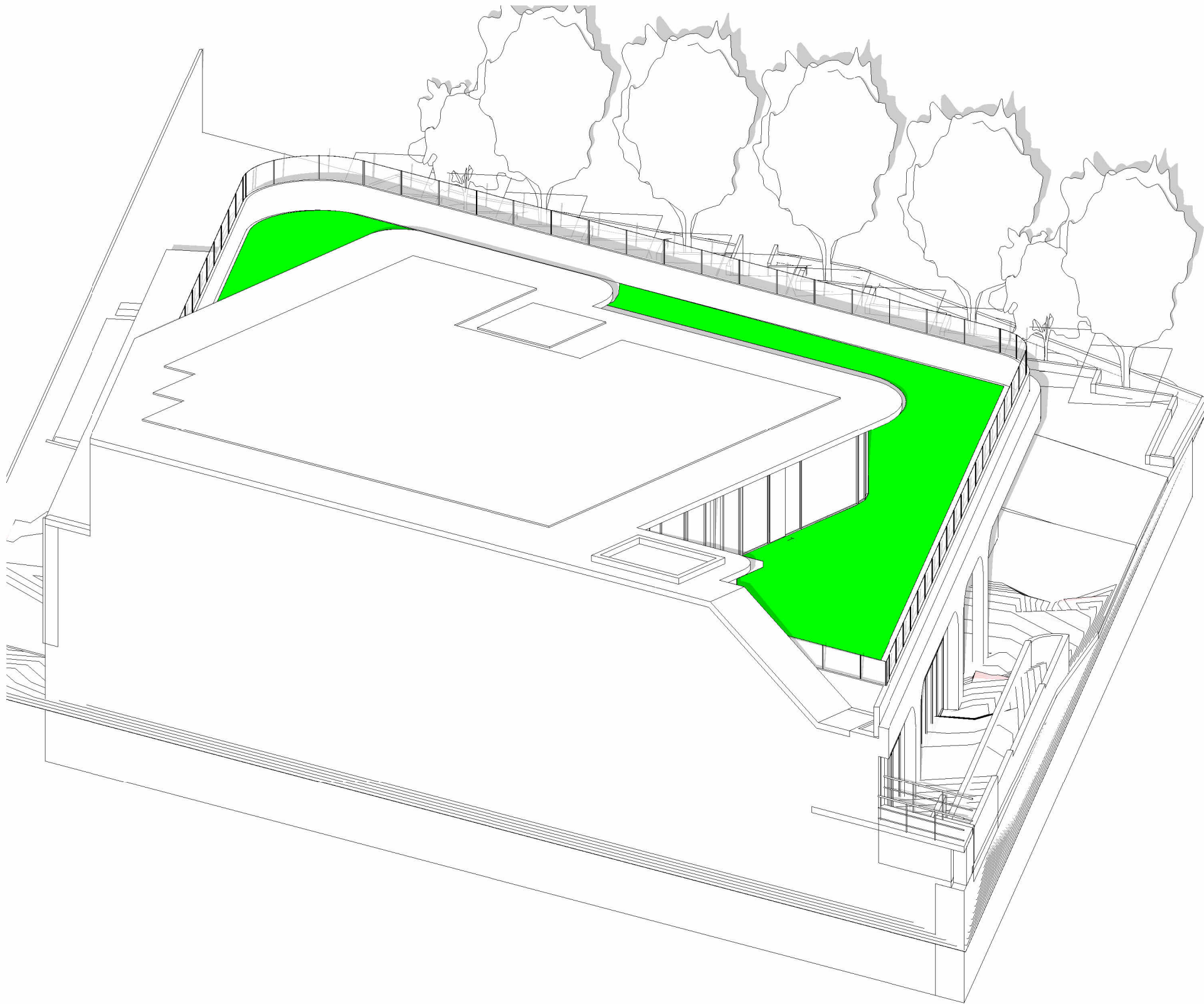
TARGET COMPLIANCE AREA REQUIRED

MINIMUM 2hrs OF SOLAR ACCESS TO 30% OF MINIMUM  
OUTDOOR AREA (BETWEEN 8am - 4pm WINTER MONTHS)

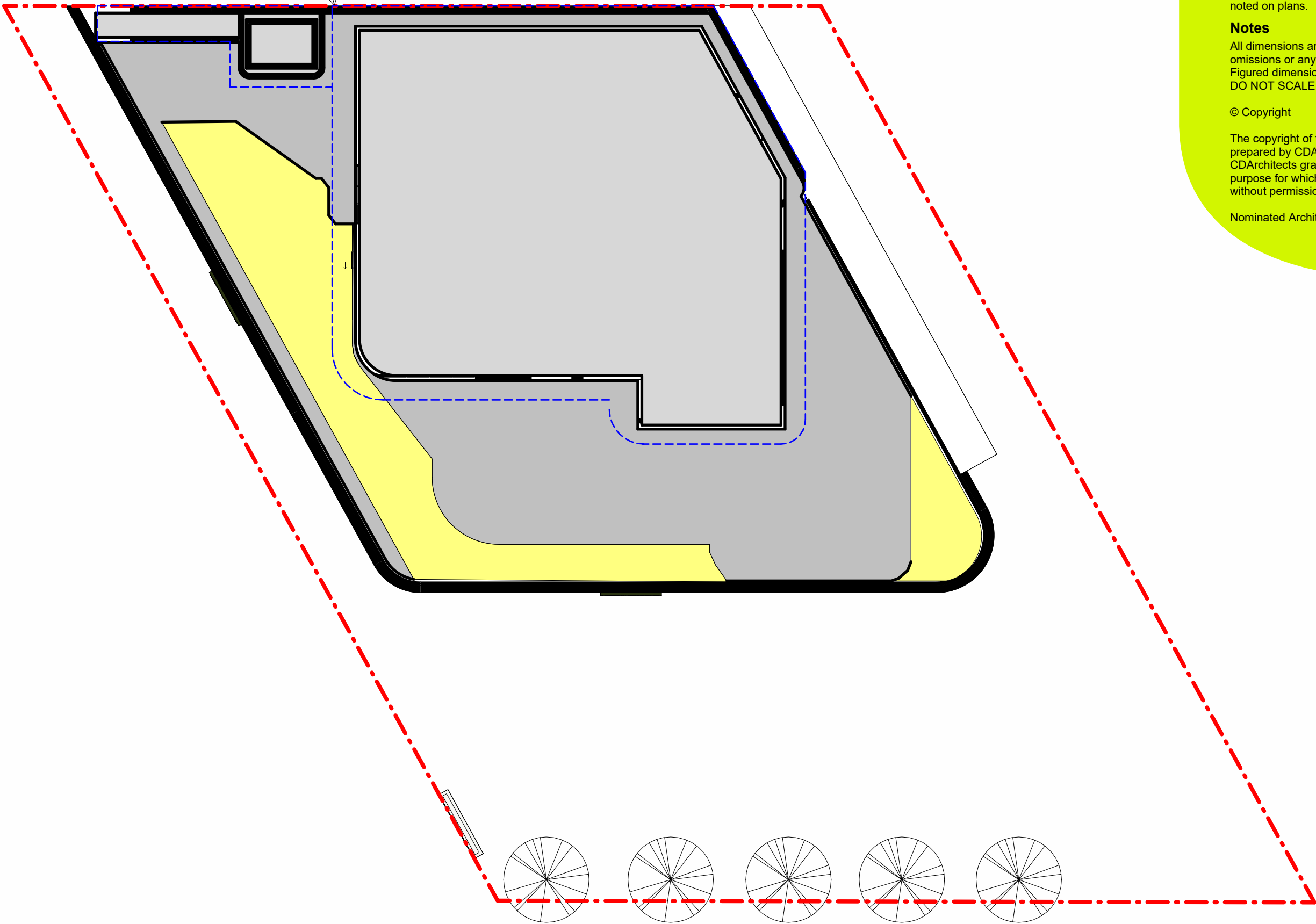
MINIMUM OUTDOOR AREA TO RECEIVE SOLAR

126m²

OUTDOOR CHILDCARE AREA RECEIVING SOLAR

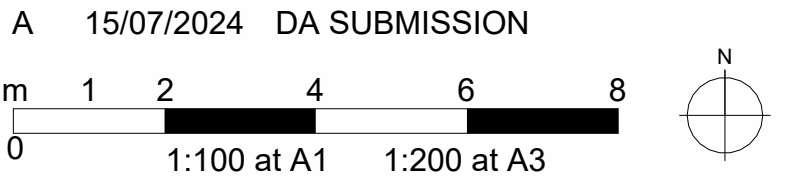


UPPER EAVE LINE



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Nominated Architect: Liljana Emilova 7887, ABN 24 243 205 327

TOTAL (60 KIDS)			
TIME	MINUMUM AREA REQUIRED	PROPOSED AREA	% OF THE MINIMUM AREA
8am	126 m²	68 m²	16.19 %
9am	126 m²	139 m²	33.10 %
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4pm	134.4 m²	27 m²	6.03 %



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Project  
**PROPOSED MIXED USE  
DEVELOPMENT**  
1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107  
Drawing Title  
**SUN ANGLE VIEWS 21 JUNE 9am**  
  
Project Stage  
**DA Submission**  
Job no. Drawing no. Rev.  
**J23587D DA6022 A**  
Drawn by Checked by Approved by Date  
GH RJ ZC JULY. 2024



CHILDCARE PLANNING GUIDLINE - DELIVERING  
QUALITY CHILDCARE FOR NSW - SEPTEMBER 2021

Outdoor play areas should:

- Have a minimum of 2 hours of solar access between 8:00am and 4:00 pm during winter months, for at least 30%(134.4m²) of the 448m² of outdoor space per child required.

SOLAR ACCESS TO THE CHILDCARE OUTDOOR AREA - 21st JUNE

MINIMUM REQUIRED OUTDOOR AREA	420m²
TARGET COMPLIANCE AREA REQUIRED	MINIMUM 2hrs OF SOLAR ACCESS TO 30% OF MINIMUM OUTDOOR AREA (BETWEEN 8am - 4pm WINTER MONTHS)
MINIMUM OUTDOOR AREA TO RECEIVE SOLAR	126m²
OUTDOOR CHILDCARE AREA RECEIVING SOLAR	<div></div>

TOTAL (60 KIDS)			
TIME	MINUMUM AREA REQUIRED	PROPOSED AREA	% OF THE MINIMUM AREA
8am	126 m²	68 m²	16.19 %
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A 15/07/2024 DA SUBMISSION

m 1 2 4 6 8

0 1:100 at A1 1:200 at A3

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Australian Institute of Architects

Project

**PROPOSED MIXED USE DEVELOPMENT**

1 & 3 CAREEL HEAD ROAD, AVALON BEACH, NEW SOUTH WALES 2107

Drawing Title

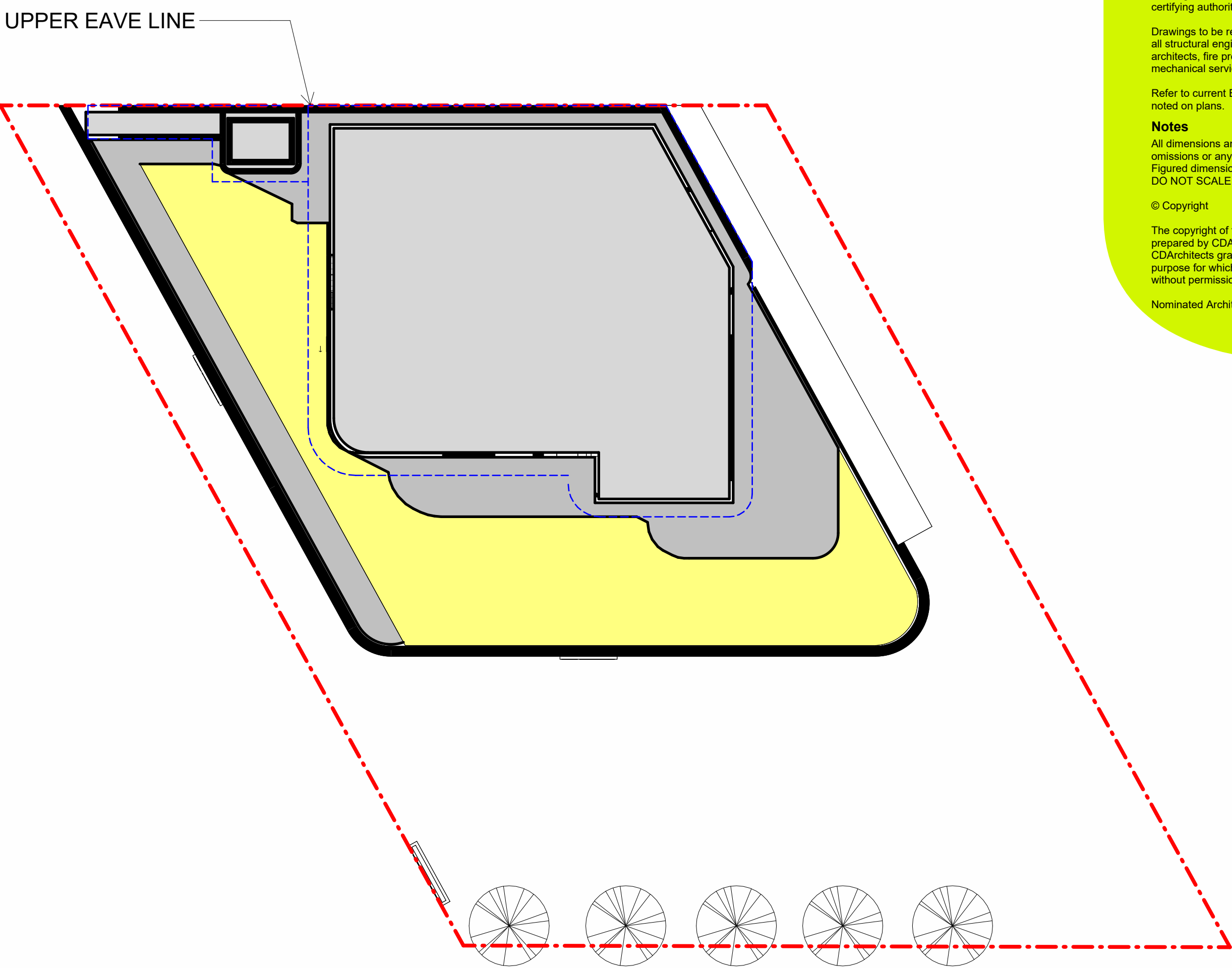
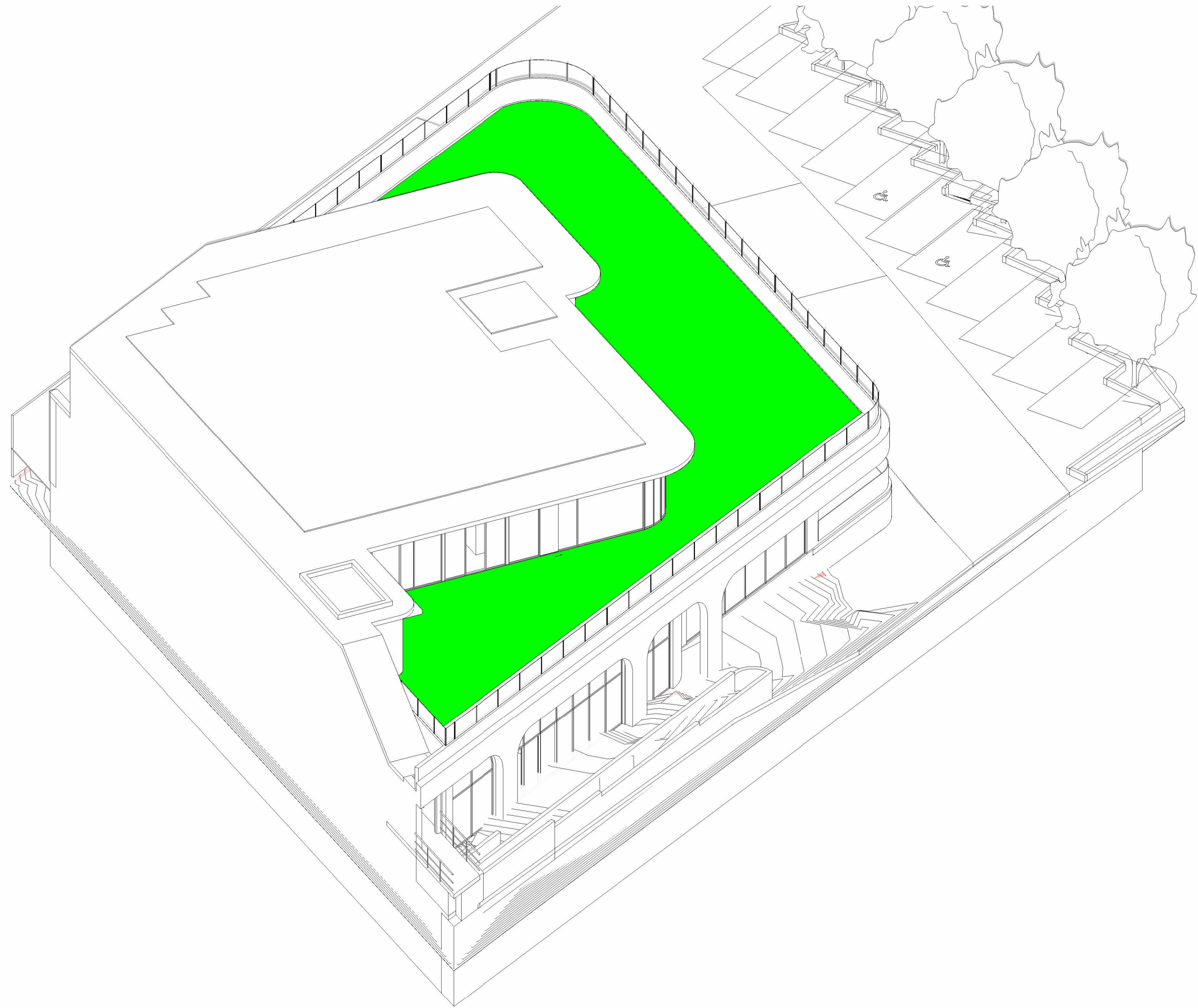
**SUN ANGLE VIEWS 21 JUNE 10am**

Project Stage

**DA Submission**

Job no.	Drawing no.	Rev.
J23587D	DA6023	A
Drawn by	Checked by	Approved by
GH	RJ	ZC
Date		
JULY, 2024		





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1 SOLAR STUDY -11AM JUNE 21

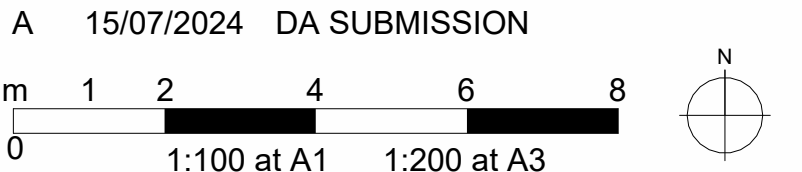
CHILDCARE PLANNING GUIDLINE - DELIVERING QUALITY CHILDCARE FOR NSW - SEPTEMBER 2021

Outdoor play areas should:

- Have a minimum of 2 hours of solar access between 8:00am and 4:00 pm during winter months, for at least 30%(134.4m²) of the 448m² of outdoor space per child required.

2 11AM SOLAR CHILD CARE ACCESS PLAN  
1 : 200

TOTAL (60 KIDS)			
TIME	MINUMUM AREA REQUIRED	PROPOSED AREA	% OF THE MINIMUM AREA
8am	126 m²	68 m²	16.19 %
9am	126 m²	139 m²	33.10 %
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SOLAR ACCESS TO THE CHILDCARE OUTDOOR AREA - 21st JUNE

MINIMUM REQUIRED OUTDOOR AREA	420m²
TARGET COMPLIANCE AREA REQUIRED	MINIMUM 2hrs OF SOLAR ACCESS TO 30% OF MINIMUM OUTDOOR AREA (BETWEEN 8am - 4pm WINTER MONTHS)
MINIMUM OUTDOOR AREA TO RECEIVE SOLAR	126m²
OUTDOOR CHILDCARE AREA RECEIVING SOLAR	

Project

**PROPOSED MIXED USE DEVELOPMENT**

1 & 3 CAREEL HEAD ROAD, AVALON BEACH, NEW SOUTH WALES 2107

Drawing Title

**SUN ANGLE VIEWS 21 JUNE 11am**

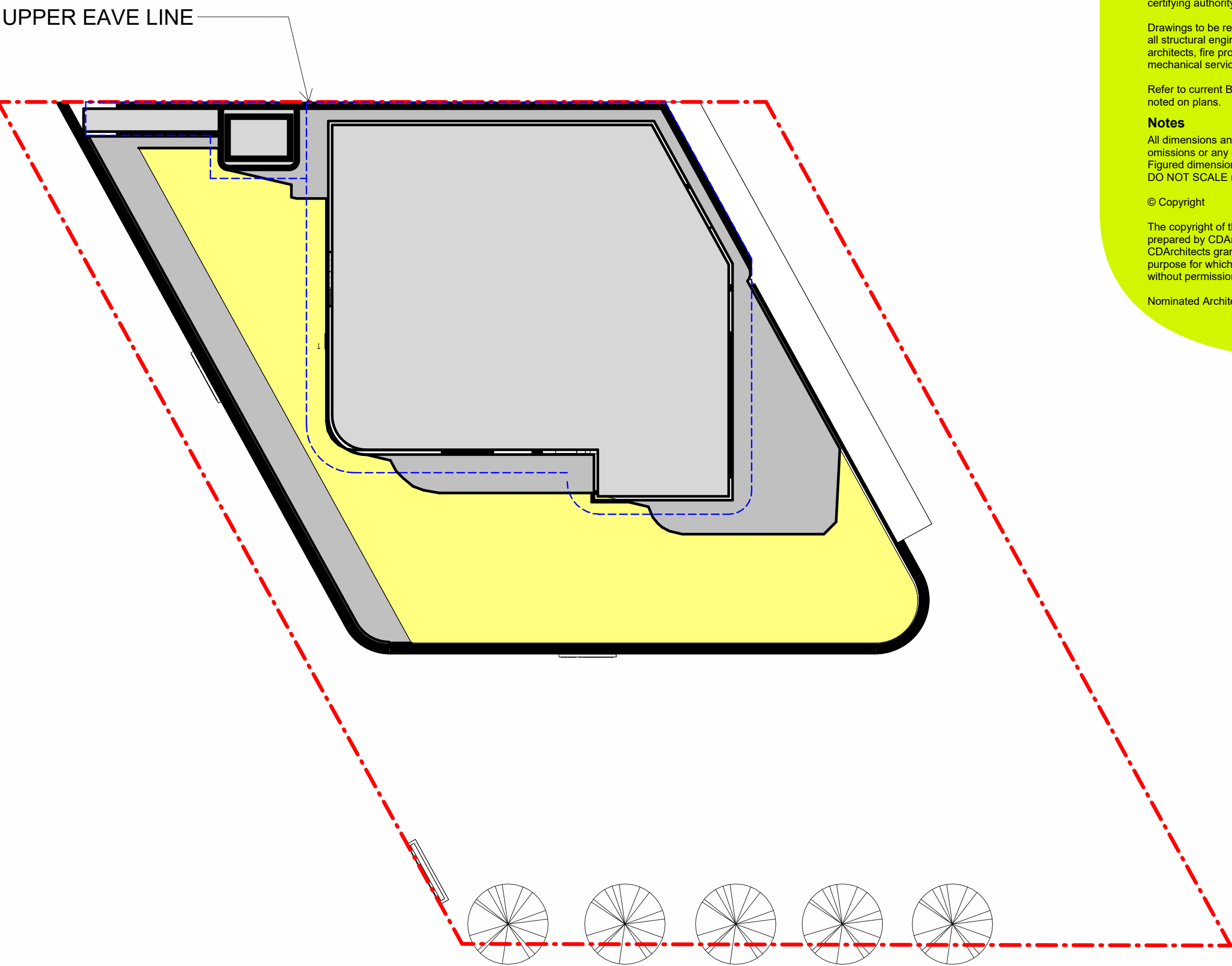
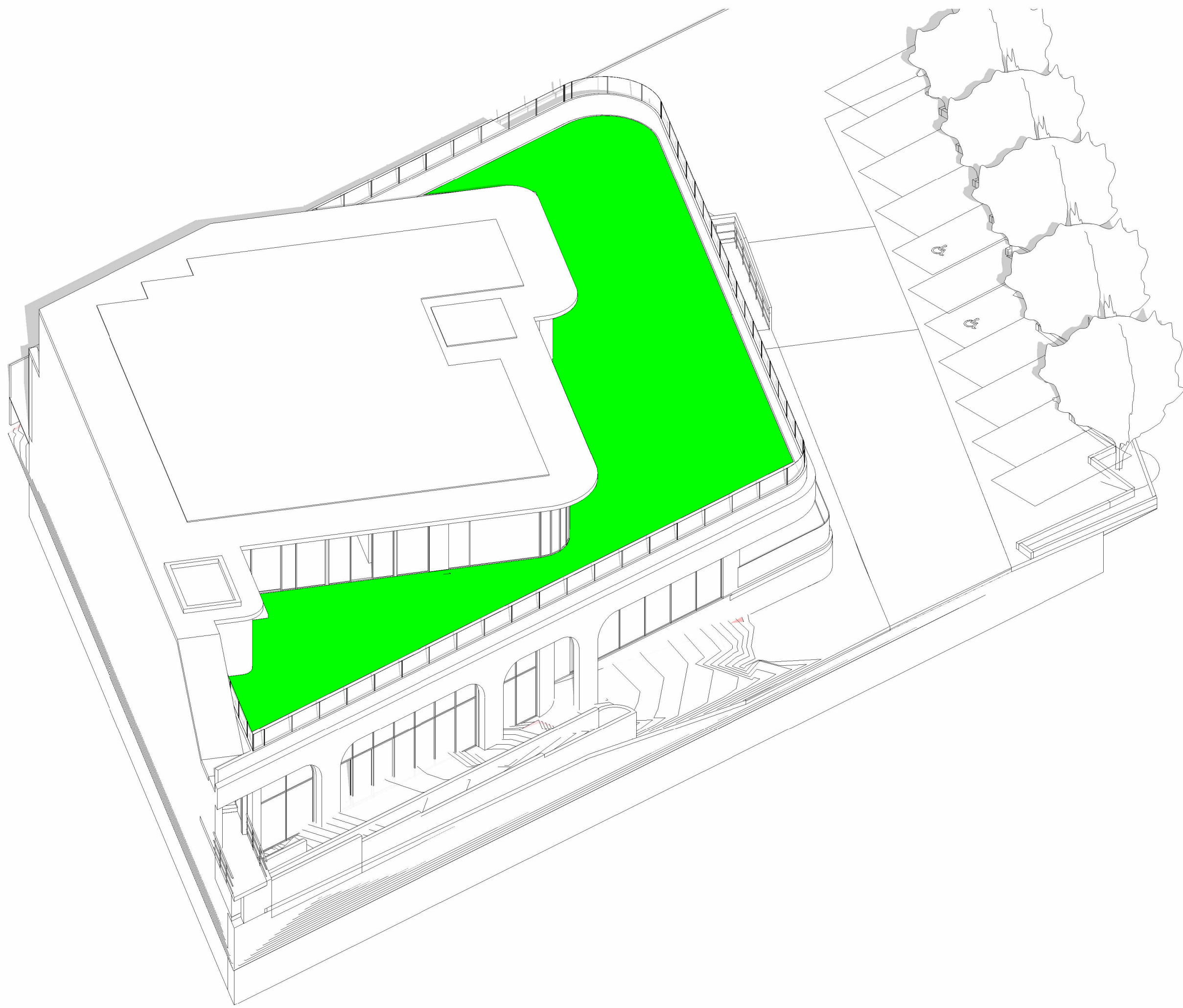
Project Stage

**DA Submission**

Job no.	Drawing no.	Rev.
J23587D	DA6024	A

Drawn by	Checked by	Approved by	Date
GH	RJ	ZC	JULY, 2024





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1 SOLAR STUDY -12PM JUNE 21

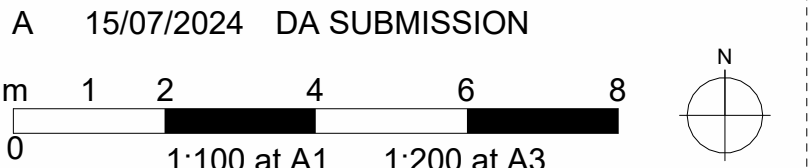
2 12PM SOLAR CHILD CARE ACCESS PLAN  
1 : 200

CHILDCARE PLANNING GUIDLINE - DELIVERING  
QUALITY CHILDCARE FOR NSW - SEPTEMBER 2021

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Institute of  
Architects**

SOLAR ACCESS TO THE CHILDCARE OUTDOOR AREA - 21st JUNE

MINIMUM REQUIRED OUTDOOR AREA	420m²
TARGET COMPLIANCE AREA REQUIRED	MINIMUM 2hrs OF SOLAR ACCESS TO 30% OF MINIMUM OUTDOOR AREA (BETWEEN 8am - 4pm WINTER MONTHS)
MINIMUM OUTDOOR AREA TO RECEIVE SOLAR	126m²
OUTDOOR CHILDCARE AREA RECEIVING SOLAR	

Project

**PROPOSED MIXED USE  
DEVELOPMENT**  
1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107

Drawing Title

**SUN ANGLE VIEWS 21 JUNE  
12PM**

Project Stage

**DA Submission**

Job no.	Drawing no.	Rev.
J23587D	DA6025	A

Drawn by	Checked by	Approved by	Date
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CHILDCARE PLANNING GUIDLINE - DELIVERING  
QUALITY CHILDCARE FOR NSW - SEPTEMBER 2021

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MINIMUM REQUIRED OUTDOOR AREA

420m²

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MINIMUM 2hrs OF SOLAR ACCESS TO 30% OF MINIMUM  
OUTDOOR AREA (BETWEEN 8am - 4pm WINTER MONTHS)

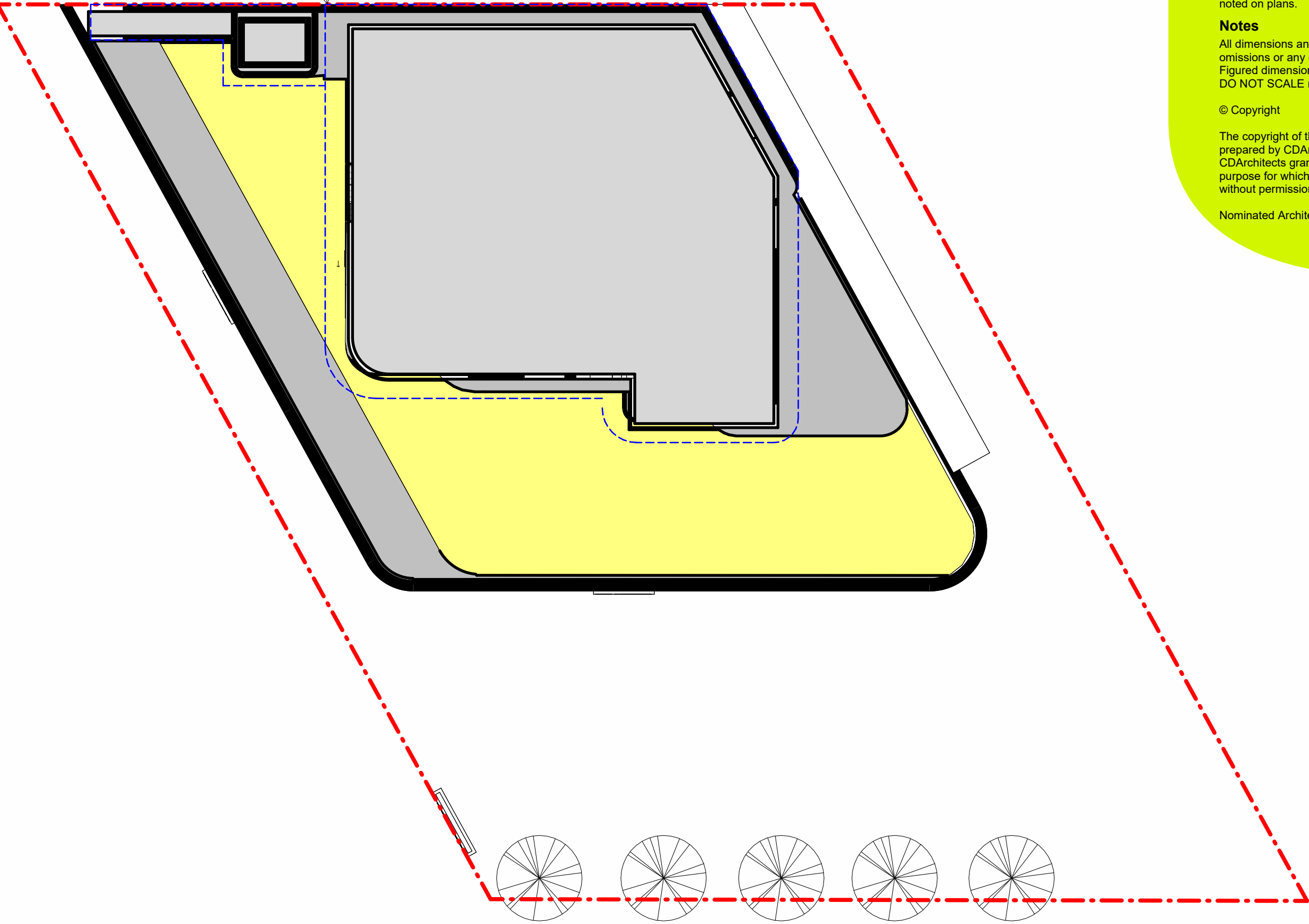
MINIMUM OUTDOOR AREA TO RECEIVE SOLAR

126m²

OUTDOOR CHILDCARE AREA RECEIVING SOLAR

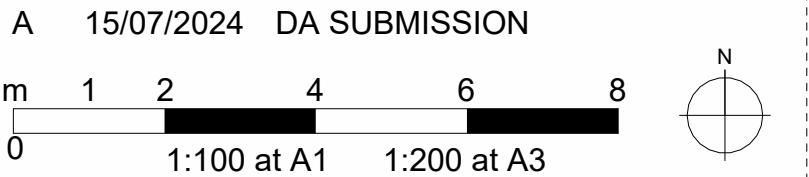


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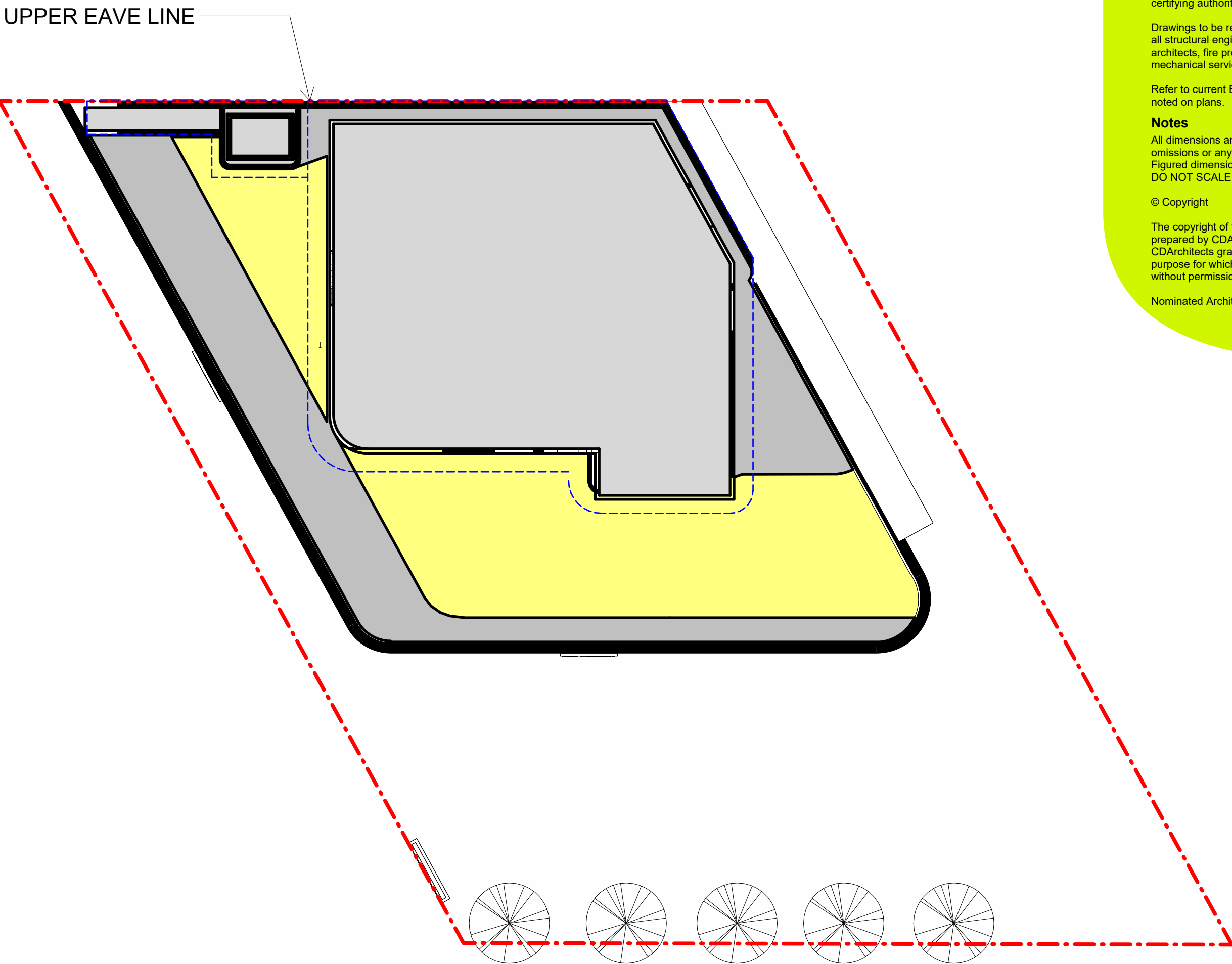
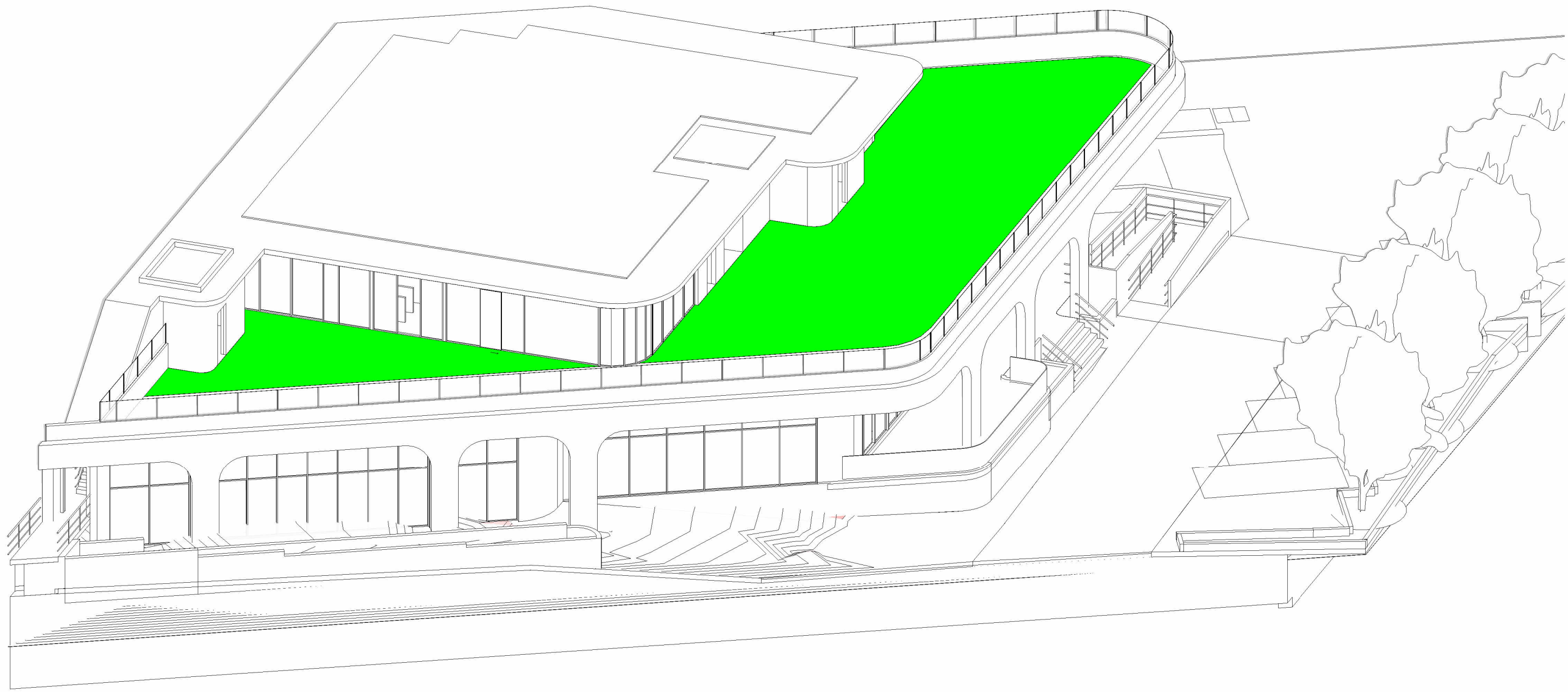
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**PROPOSED MIXED USE  
DEVELOPMENT**  
1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107  
Drawing Title  
**SUN ANGLE VIEWS 21 JUNE 1PM**  
  
Project Stage  
**DA Submission**  
Job no. Drawing no. Rev.  
**J23587D DA6026 A**  
Drawn by Checked by Approved by Date  
GH RJ ZC JULY, 2024





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1 SOLAR STUDY - 2PM JUNE 21

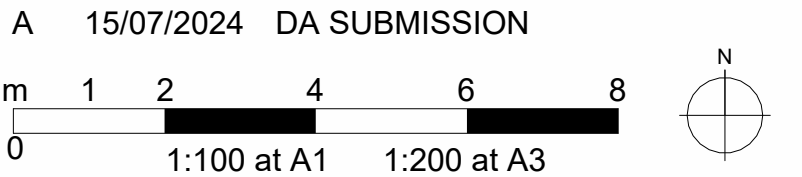
CHILDCARE PLANNING GUIDLINE - DELIVERING  
QUALITY CHILDCARE FOR NSW - SEPTEMBER 2021

Outdoor play areas should:

- Have a minimum of 2 hours of solar access between 8:00am and 4:00 pm during winter months, for at least 30%(134.4m²) of the 448m² of outdoor space per child required.

2 2PM SOLAR CHILD CARE ACCESS PLAN  
1 : 200

TOTAL (60 KIDS)			
TIME	MINUMUM AREA REQUIRED	PROPOSED AREA	% OF THE MINIMUM AREA
8am	126 m²	68 m²	16.19 %
9am	126 m²	139 m²	33.10 %
10am	126 m²	206 m²	49.05 %
11am	126 m²	260 m²	61.90 %
12pm	126 m²	282 m²	67.14 %
1pm	126 m²	287 m²	68.33 %
2pm	126 m²	256 m²	60.95 %
3pm	126 m²	183 m²	43.57 %
4pm	134.4 m²	27 m²	6.03 %



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SOLAR ACCESS TO THE CHILDCARE OUTDOOR AREA - 21st JUNE

MINIMUM REQUIRED OUTDOOR AREA	420m²
TARGET COMPLIANCE AREA REQUIRED	MINIMUM 2hrs OF SOLAR ACCESS TO 30% OF MINIMUM OUTDOOR AREA (BETWEEN 8am - 4pm WINTER MONTHS)
MINIMUM OUTDOOR AREA TO RECEIVE SOLAR	126m²
OUTDOOR CHILDCARE AREA RECEIVING SOLAR	

Project

**PROPOSED MIXED USE DEVELOPMENT**

1 & 3 CAREEL HEAD ROAD, AVALON BEACH, NEW SOUTH WALES 2107

Drawing Title

**SUN ANGLE VIEWS 21 JUNE 2PM**

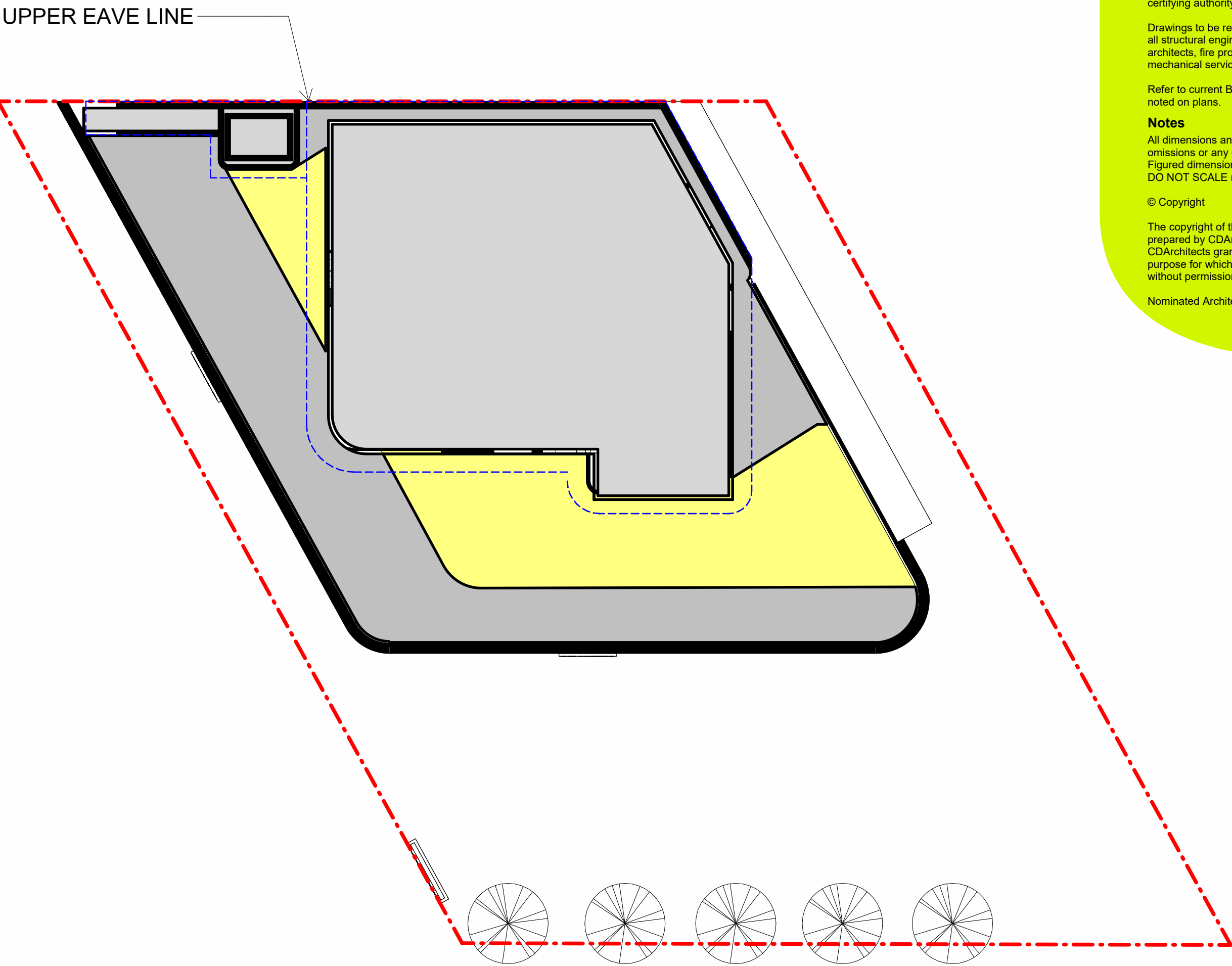
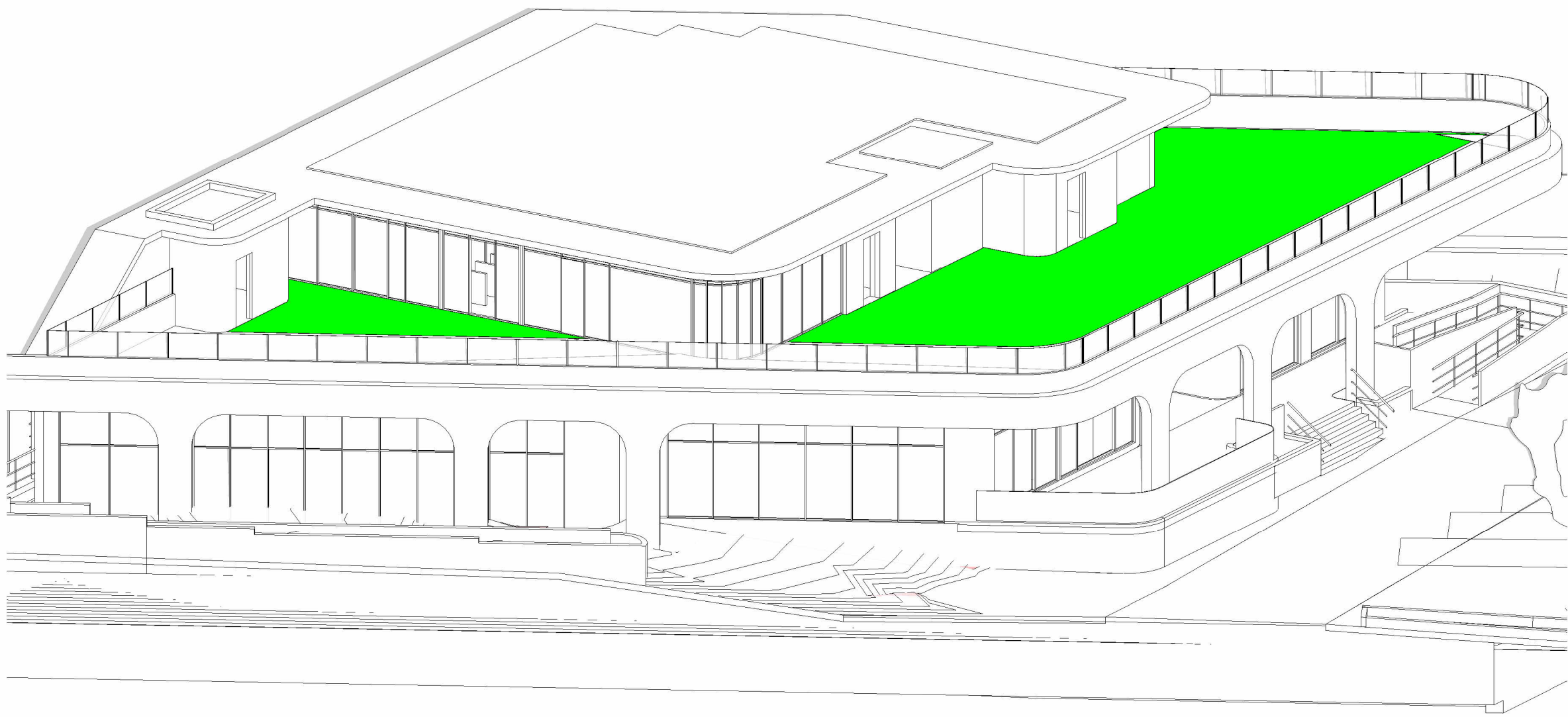
Project Stage

**DA Submission**

Job no.	Drawing no.	Rev.
J23587D	DA6027	A

Drawn by	Checked by	Approved by	Date
GH	RJ	ZC	JULY, 2024





**References**  
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Nominated Architect: Liljana Emilova 7887, ABN 24 243 205 327

1 SOLAR STUDY - 3PM JUNE 21

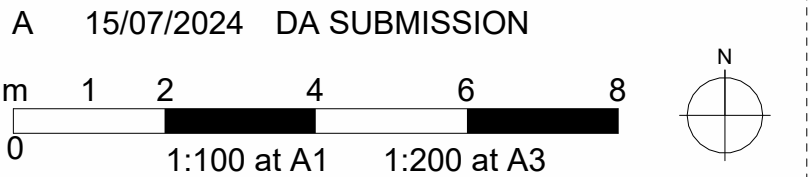
CHILDCARE PLANNING GUIDLINE - DELIVERING QUALITY CHILDCARE FOR NSW - SEPTEMBER 2021

Outdoor play areas should:

- Have a minimum of 2 hours of solar access between 8:00am and 4:00 pm during winter months, for at least 30%(134.4m²) of the 448m² of outdoor space per child required.

2 3PM SOLAR CHILD CARE ACCESS PLAN  
1 : 200

TOTAL (60 KIDS)			
TIME	MINUMUM AREA REQUIRED	PROPOSED AREA	% OF THE MINIMUM AREA
8am	126 m²	68 m²	16.19 %
9am	126 m²	139 m²	33.10 %
10am	126 m²	206 m²	49.05 %
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4pm	134.4 m²	27 m²	6.03 %



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SOLAR ACCESS TO THE CHILDCARE OUTDOOR AREA - 21st JUNE

MINIMUM REQUIRED OUTDOOR AREA	420m²
TARGET COMPLIANCE AREA REQUIRED	MINIMUM 2hrs OF SOLAR ACCESS TO 30% OF MINIMUM OUTDOOR AREA (BETWEEN 8am - 4pm WINTER MONTHS)
MINIMUM OUTDOOR AREA TO RECEIVE SOLAR	126m²
OUTDOOR CHILDCARE AREA RECEIVING SOLAR	

Project

**PROPOSED MIXED USE DEVELOPMENT**  
1 & 3 CAREEL HEAD ROAD, AVALON BEACH, NEW SOUTH WALES 2107

Drawing Title

**SUN ANGLE VIEWS 21 JUNE 3PM**

Project Stage

**DA Submission**

Job no.	Drawing no.	Rev.
J23587D	DA6028	A

Drawn by	Checked by	Approved by	Date
GH	RJ	ZC	JULY, 2024



1 SOLAR STUDY - 4PM JUNE 21

CHILDCARE PLANNING GUIDLINE - DELIVERING  
QUALITY CHILDCARE FOR NSW - SEPTEMBER 2021

Outdoor play areas should:

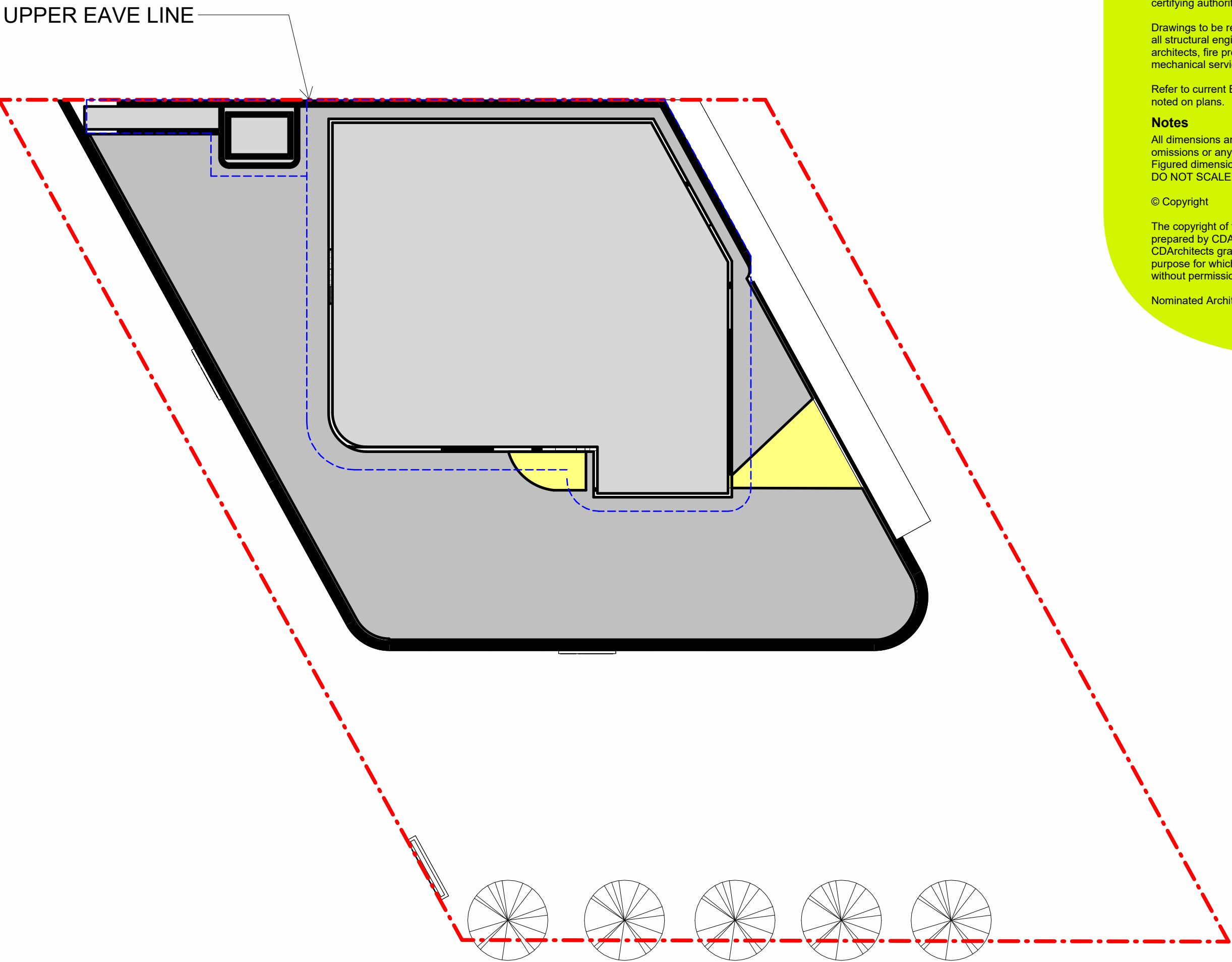
- Have a minimum of 2 hours of solar access between 8:00am and 4:00 pm during winter months, for at least 30%(134.4m²) of the 448m² of outdoor space per child required.

SOLAR ACCESS TO THE CHILDCARE OUTDOOR AREA - 21st JUNE

MINIMUM REQUIRED OUTDOOR AREA	420m²
TARGET COMPLIANCE AREA REQUIRED	MINIMUM 2hrs OF SOLAR ACCESS TO 30% OF MINIMUM OUTDOOR AREA (BETWEEN 8am - 4pm WINTER MONTHS)
MINIMUM OUTDOOR AREA TO RECEIVE SOLAR	126m²
OUTDOOR CHILDCARE AREA RECEIVING SOLAR	<div></div>

2 4PM SOLAR CHILD CARE ACCESS PLAN  
1 : 200

TOTAL (60 KIDS)			
TIME	MINUMUM AREA REQUIRED	PROPOSED AREA	% OF THE MINIMUM AREA
8am	126 m²	68 m²	16.19 %
9am	126 m²	139 m²	33.10 %
10am	126 m²	206 m²	49.05 %
11am	126 m²	260 m²	61.90 %
12pm	126 m²	282 m²	67.14 %
1pm	126 m²	287 m²	68.33 %
2pm	126 m²	256 m²	60.95 %
3pm	126 m²	183 m²	43.57 %
4pm	134.4 m²	27 m²	6.03 %



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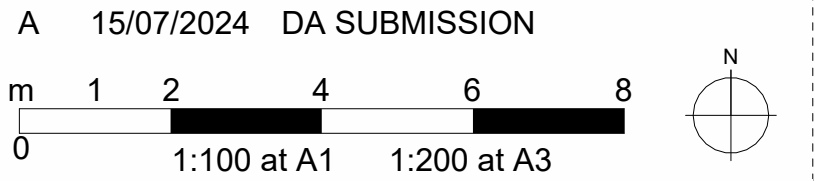
Refer to current Basix report for additional requirements to ones noted on plans.

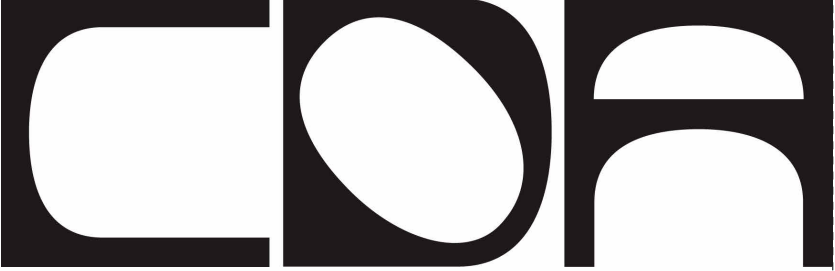
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Project  
**PROPOSED MIXED USE  
DEVELOPMENT**  
1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107

Drawing Title  
**SUN ANGLE VIEWS 21 JUNE 4PM**

Project Stage  
**DA Submission**

Job no.	Drawing no.	Rev.
J23587D	DA6029	A

Drawn by	Checked by	Approved by	Date
GH	RJ	ZC	JULY, 2024



OUTDOOR SPACE									
Area	Solar 0800	CD_Solar 09:00	CD_Solar 10:00	CD_Solar 11:00	CD_Solar 12:00	CD_Solar 13:00	CD_Solar 14:00	CD_Solar 15:00	Solar 01600
68 m²	<div></div>								
139 m²		<div></div>							
206 m²			<div></div>						
260 m²				<div></div>					
282 m²					<div></div>				
287 m²						<div></div>			
256 m²							<div></div>		
183 m²								<div></div>	
27 m²									<div></div>

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m012468

1:100 at A11:200 at A3

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DIRECT SUN VIEW LEGEND

- DIRECT SOLAR ACCESS ON JUNE 21st AT SPECIFIC TIME
- NO DIRECT SOLAR ACCESS ON JUNE 21st AT SPECIFIC TIME

Project

**PROPOSED MIXED USE DEVELOPMENT**  
1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107

Drawing Title

**SOLAR SCHEDULE**

Project Stage

**DA Submission**

Job no.

Drawing no.

Rev.

J23587D

DA6030

A

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Date

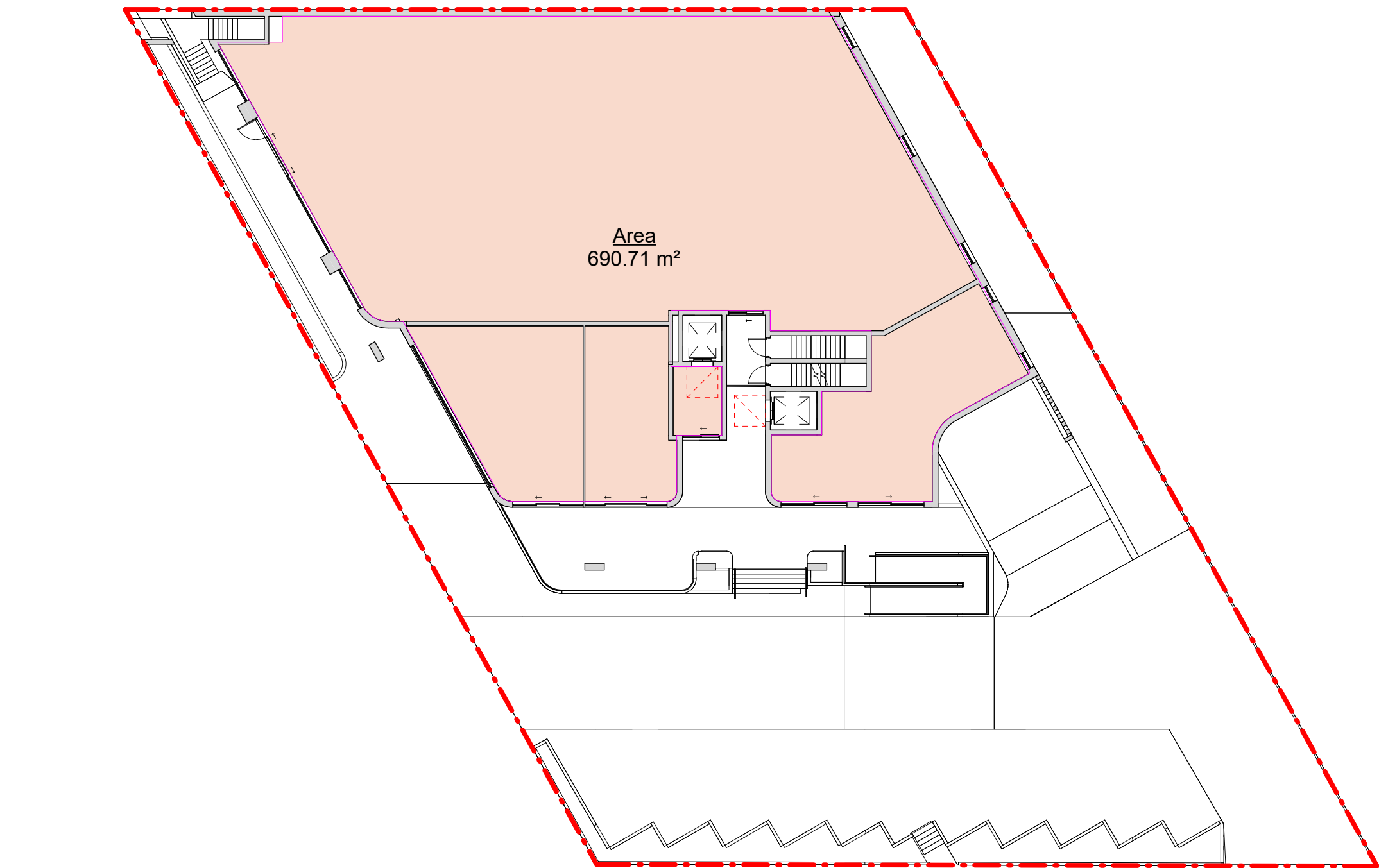
GH

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JULY, 2024





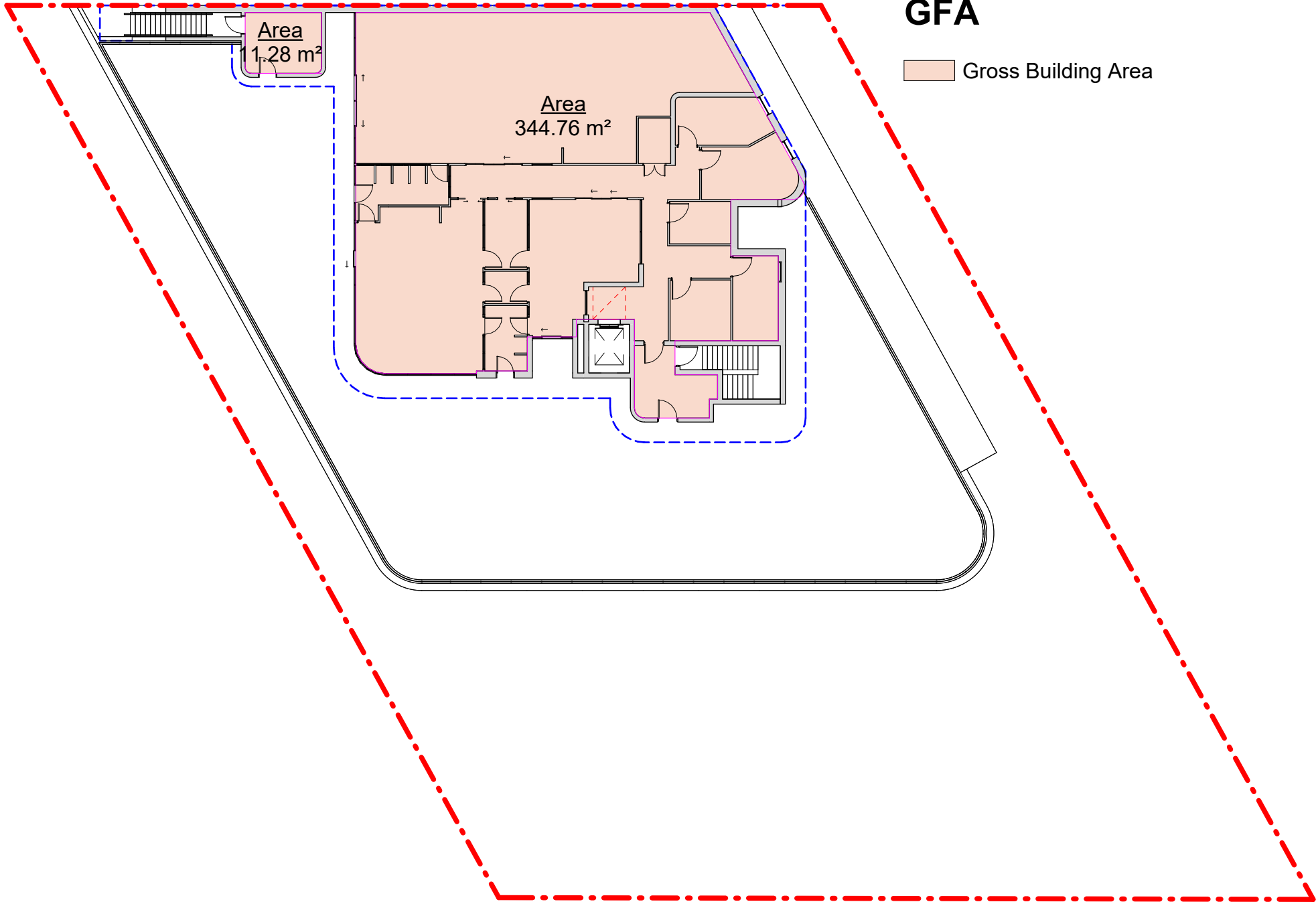
GFA AREA SCHEDULE	
GROUND LEVEL	690.71 m²
LEVEL 01	356.04 m²
TOTAL	1046.75 m²

AREA CALCULATIONS - FLOOR SPACE RATIO

ZONE	R2 - Low Density Residential:
SITE AREA	1771.2 m²
PERMISSIBLE FLOOR SPACE RATIO	NA
PERMISSIBLE GFA	NA
PROPOSED FLOOR SPACE RATIO	NA
PROPOSED RESIDENTIAL GFA	NA
PROPOSED GROUND FLOOR GFA	691.51 m²
TOTAL GFA	1044.87 m²

PITTWATER LOCAL ENVIRONMENTAL PLAN 2014

SITE AREA	1771.2m²
ZONING	E1 - LOCAL CENTRE
RELEVANT CONTROLS	NA
COUNCIL	PIT WATER COUNCIL
LOT / DP No.	SP 32656 & LOT B IN DP 385973
FSR	N.A
HEIGHT OF BUILDING	8.5 m
HERITAGE	NOT AFFECTED
ACID SULPHATE SOILS	Class 5
KEY SITE	NOT AFFECTED
FLOOD PLANNING AREA	AFFECTED
LAND RESERVATION ACQUISITION	NOT AFFECTED
NATURAL RESOURCE - BIODIVERSITY	NOT AFFECTED
FORESHORE BUILDING LINE	NOT AFFECTED



GFA  
Gross Building Area

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1:100 at A11:200 at A3

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Project

PROPOSED MIXED USE  
DEVELOPMENT

1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107

Drawing Title

GFA CALCULATION

Project Stage

DA Submission

Job no.

Drawing no.

Rev.

J23587D

DA7001

A

Drawn by

Checked by

Approved by

Date

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RJ

ZC

JULY, 2024





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Nominated Architect: Lijana Emilova 7887, ABN 24 243 205 327

**MATERIAL LEGEND**

AWD1	ALUMINIUM FRAME WINDOWS & DOORS - COLOUR 1
CF3	CONCRETE FINISH - SMOOTH
CG	CLEAR GLASS
CL1	COLORBOND VERTICAL CLADDING - SMOOTH -COLOUR BASALT
PS	PERSPEX
RP1	RENDERED PAINT - DULUX NAPKIN WHITE
RP2	RENDERED PAINT - DULUX BLACK CHARCOAL COLOUR: DULUX BLACK CAVIAR
ST1	STONE CLADDING

A 15/07/2024 DA SUBMISSION

m 1 2 4 6 8  
0 1:100 at A1 1:200 at A3



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**PROPOSED MIXED USE  
DEVELOPMENT**

1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107

Drawing Title

**FINISHES SCHEDULE**

Project Stage

**DA Submission**

Job no. Drawing no. Rev.

J23587D DA7041 A

Drawn by Checked by Approved by Date

GH RJ ZC JULY, 2024



DEEP SOIL ZONE CALCULATION	AREA
DEEP SOIL ZONE - 50%	150 m²
DEEP SOIL ZONE - 50%	150 m²
DEEP SOIL ZONE - FRONT SETBACK	74 m²
DEEP SOIL ZONE - BUILDING AREA	805 m²
DEEP SOIL ZONE - SITE AREA OUTSIDE BUILDABLE AREA	744 m²



References

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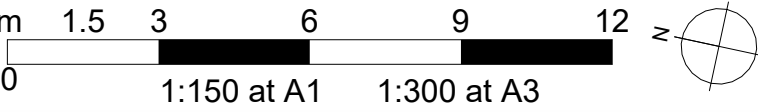
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Nominated Architect: Liljana Emilova 7887, ABN 24 243 205 327

LEGEND

- BUILDING AREA
- SITE AREA OUTSIDE BUILDABLE AREA
- 50% OF DEEP SOIL ZONE AREA

A 15/07/2024 DA SUBMISSION



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PROPOSED MIXED USE  
DEVELOPMENT

1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107

Drawing Title

DEEP SOIL ZONE

Project Stage

DA Submission

Job no. Drawing no. Rev.

J23587D DA7051 A

Drawn by Checked by Approved by Date  
GH RJ ZC JULY. 2024

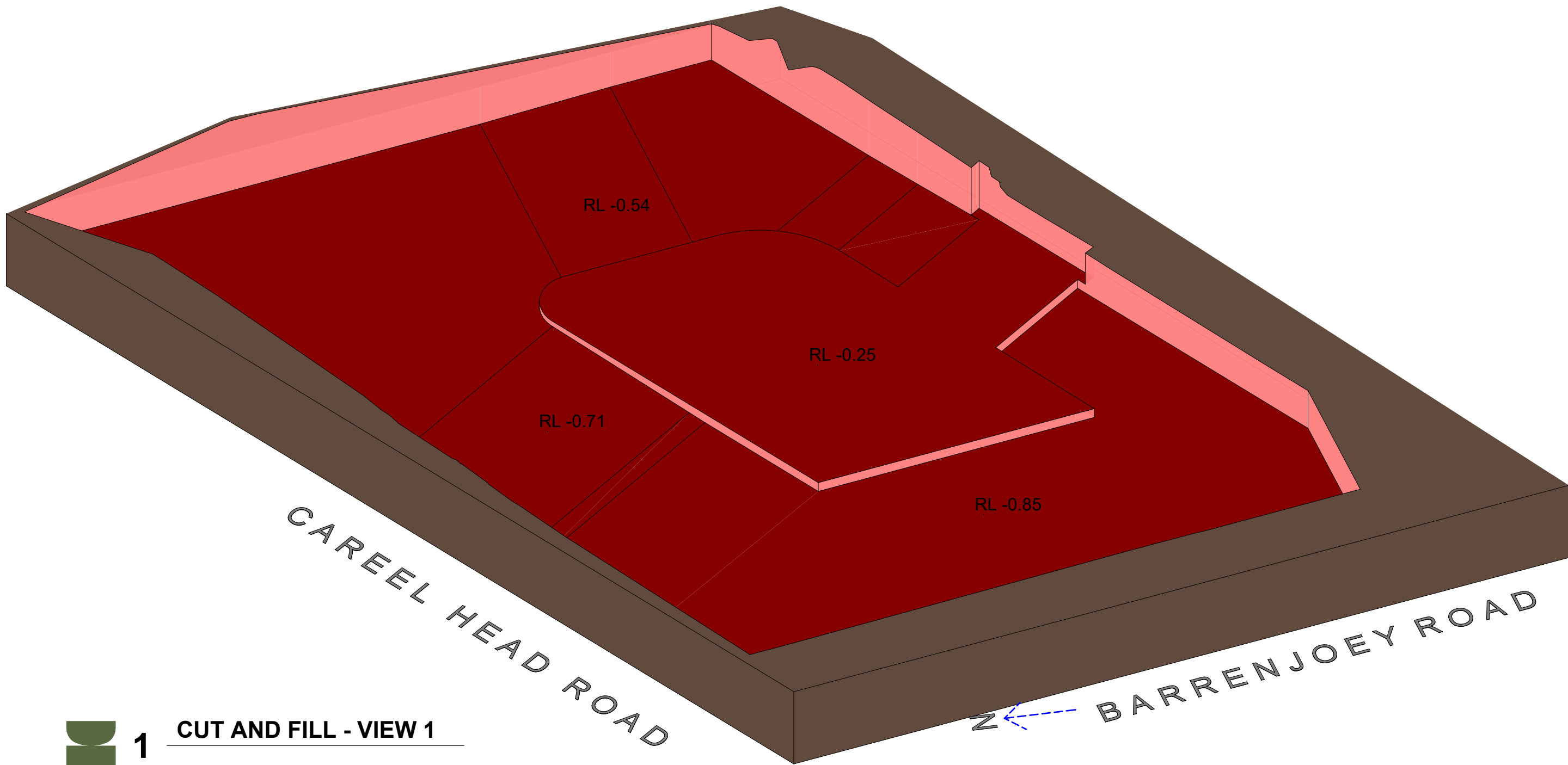


2

DEEP SOIL ZONE

1 : 150 at A1 1:500 at A3





1 CUT AND FILL - VIEW 1

CUT AND FILL				
SITE	Volume	Total Excavation Volume	Fill	Comments
Toposolid	10771.52 m³			1. EXISTING
Toposolid	6051.65 m³	4719.87 m³		2. AFTER CUT

**References**

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m2481216

01:200 at A11:400 at A3

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**PROPOSED MIXED USE  
DEVELOPMENT**  
1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107

Drawing Title

**CUT & FILL DIAGRAM**

Project Stage

**DA Submission**

Job no.

Drawing no.

Rev.

J23587D

DA7081

A

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Date

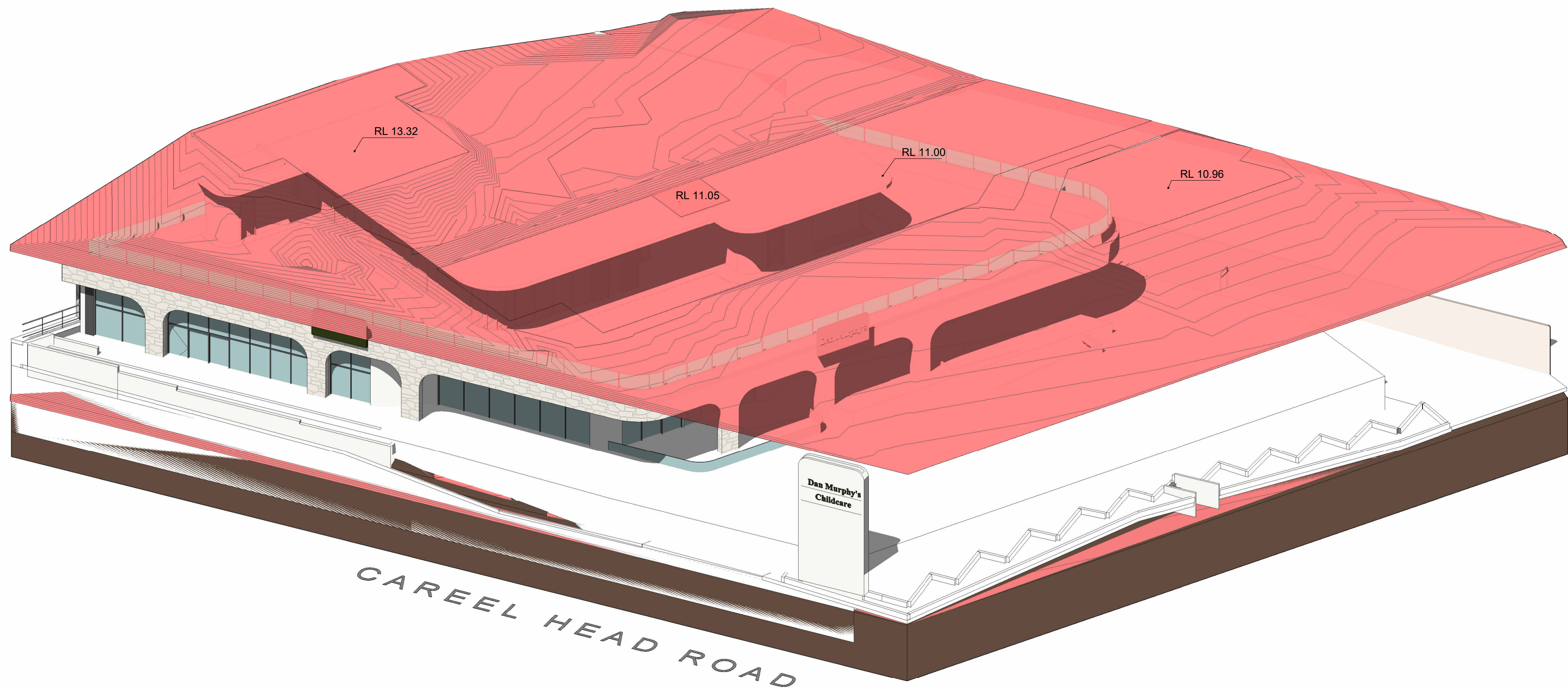
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RJ

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JULY, 2024





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Nominated Architect: Lijana Emilova 7887, ABN 24 243 205 327

A 15/07/2024 DA SUBMISSION

m 1.5 3 6 9 12

0 1:150 at A1 1:300 at A3



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**PROPOSED MIXED USE  
DEVELOPMENT**

1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107

Drawing Title

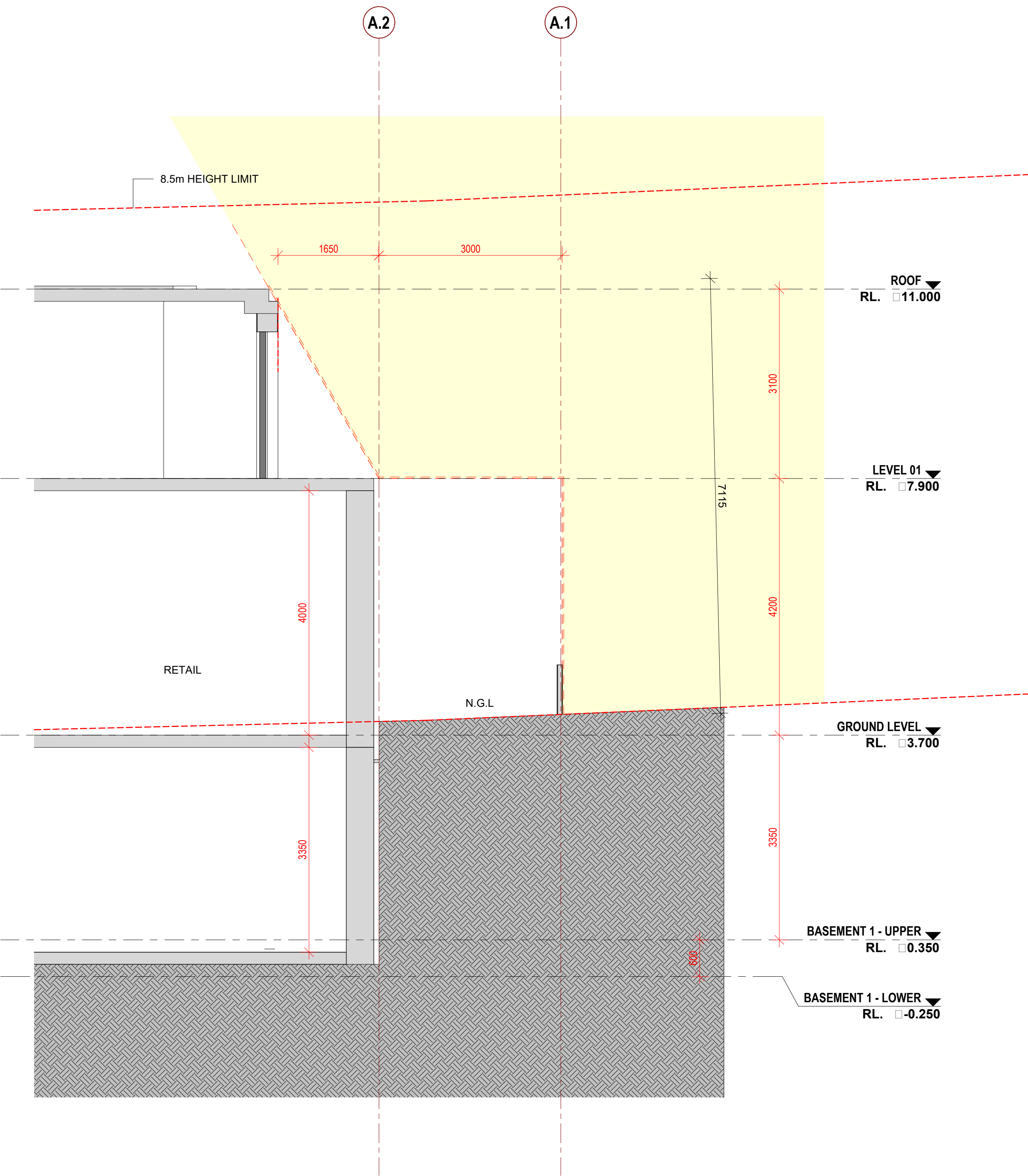
**LEP HEIGHT BLANKET**

Project Stage

**DA Submission**

Job no.	Drawing no.	Rev.
J23587D	DA7091	A
Drawn by	Checked by	Approved by
GH	RJ	ZC
Date		
JULY, 2024		





Pittwater 21 Development Control Plan  
Section D Locality Specific Development Controls  
D1 Avalon Beach Locality  
D1.9 Side and rear building line

Where the wall height is 3 metres or less, the minimum side and rear boundary setback shall be 3 metres.

Where the wall height is more than 3 metres above ground level (existing), the minimum distance from any point on the external wall of the building and a side or rear boundary shall not be less than the distance calculated in accordance with the following:

where

S = the distance in metres

H = the height of the wall at that point measured in metres above existing ground level

$$S = 3 + (H-2)/4$$

**1 SIDE - SETBACK**  
1 : 50 at A1 1:200 at A3

References

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Refer to current Basix report for additional requirements to ones noted on plans.

Notes

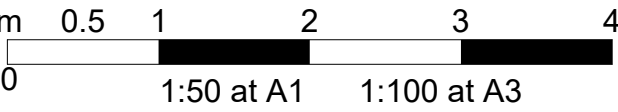
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Project

**PROPOSED MIXED USE  
DEVELOPMENT**

1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107

Drawing Title

**DETAIL SECTION - SETBACK**

Project Stage

**Preliminary Issue**

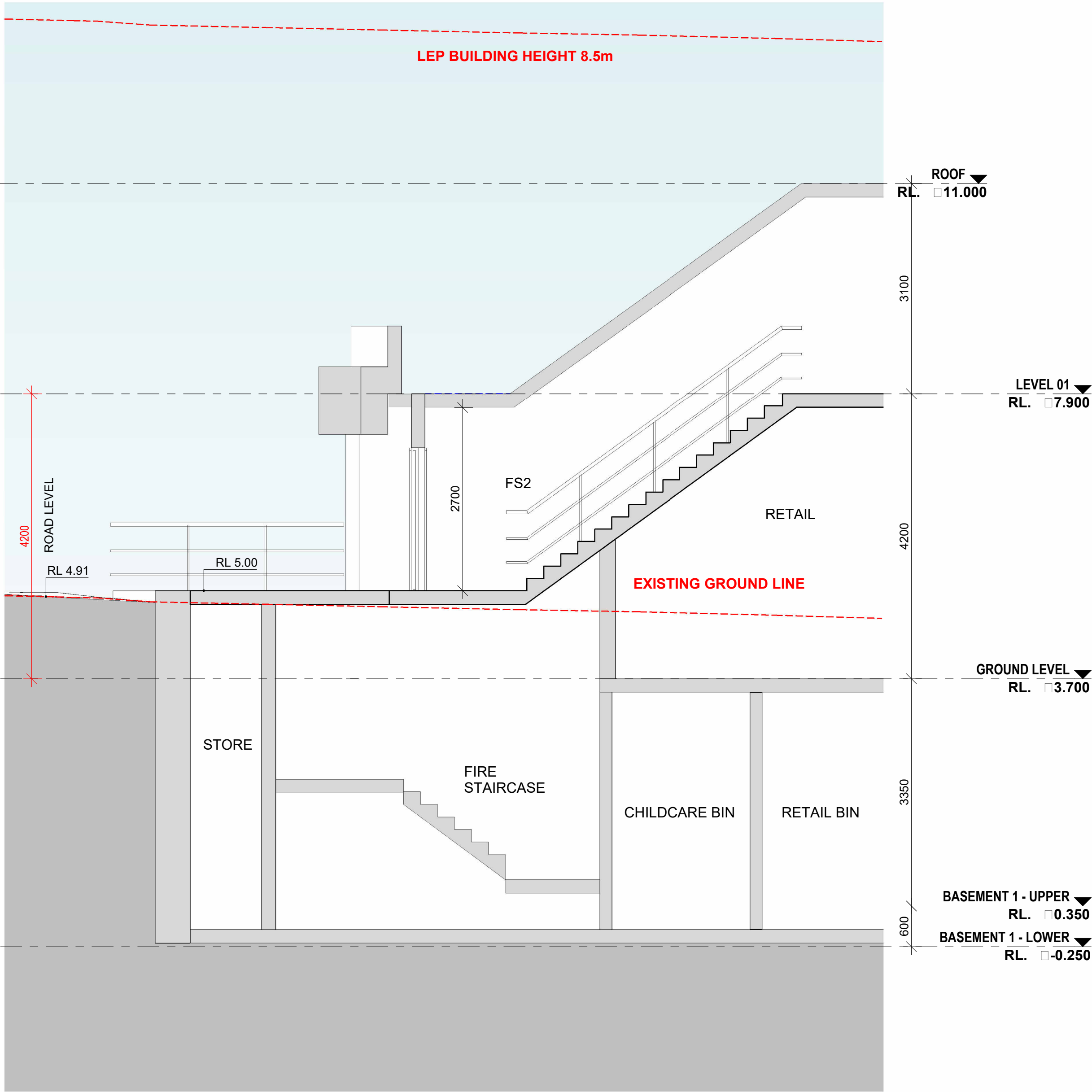
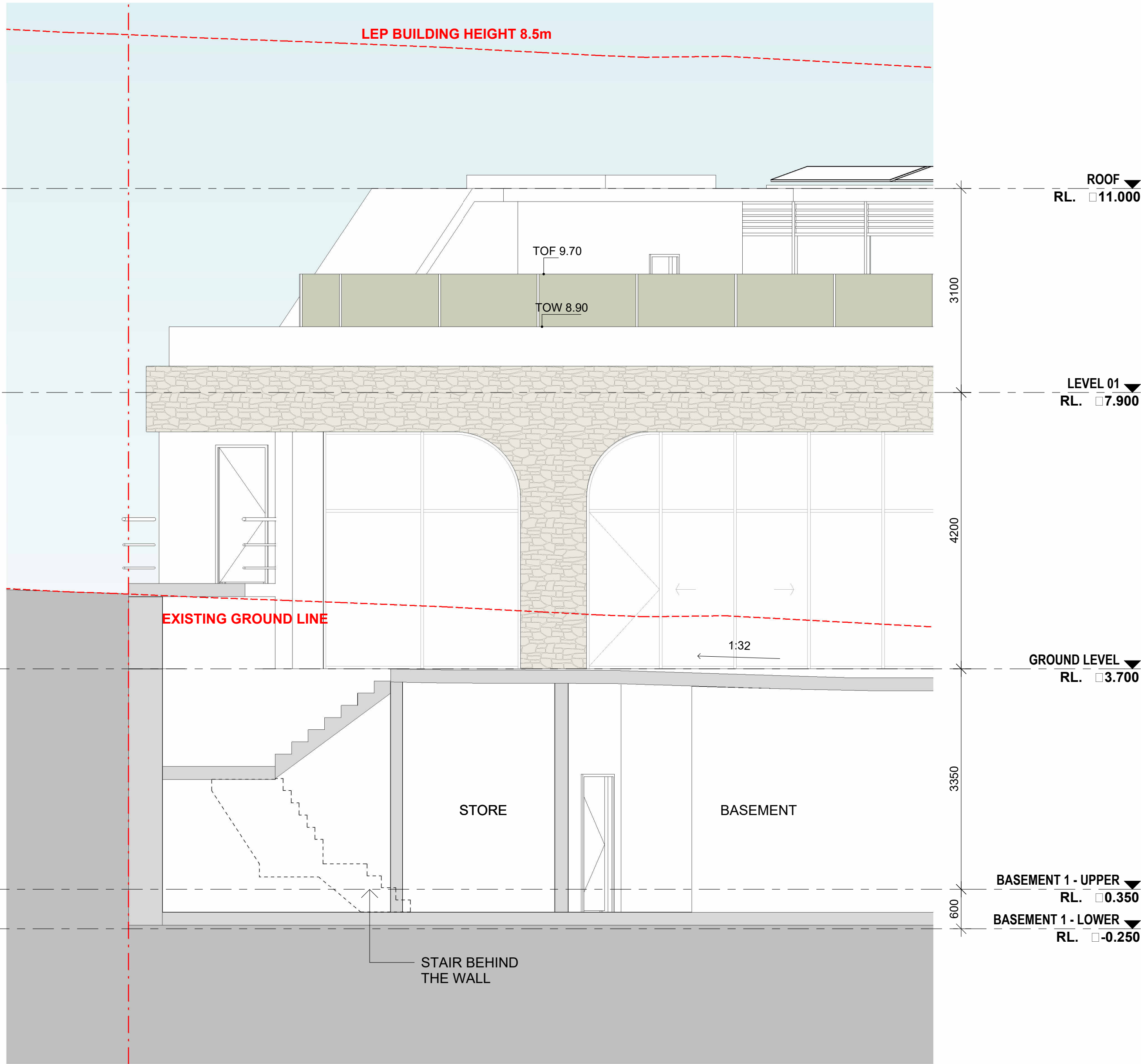
Job no. Drawing no. Rev.

J23587D DA8001 A

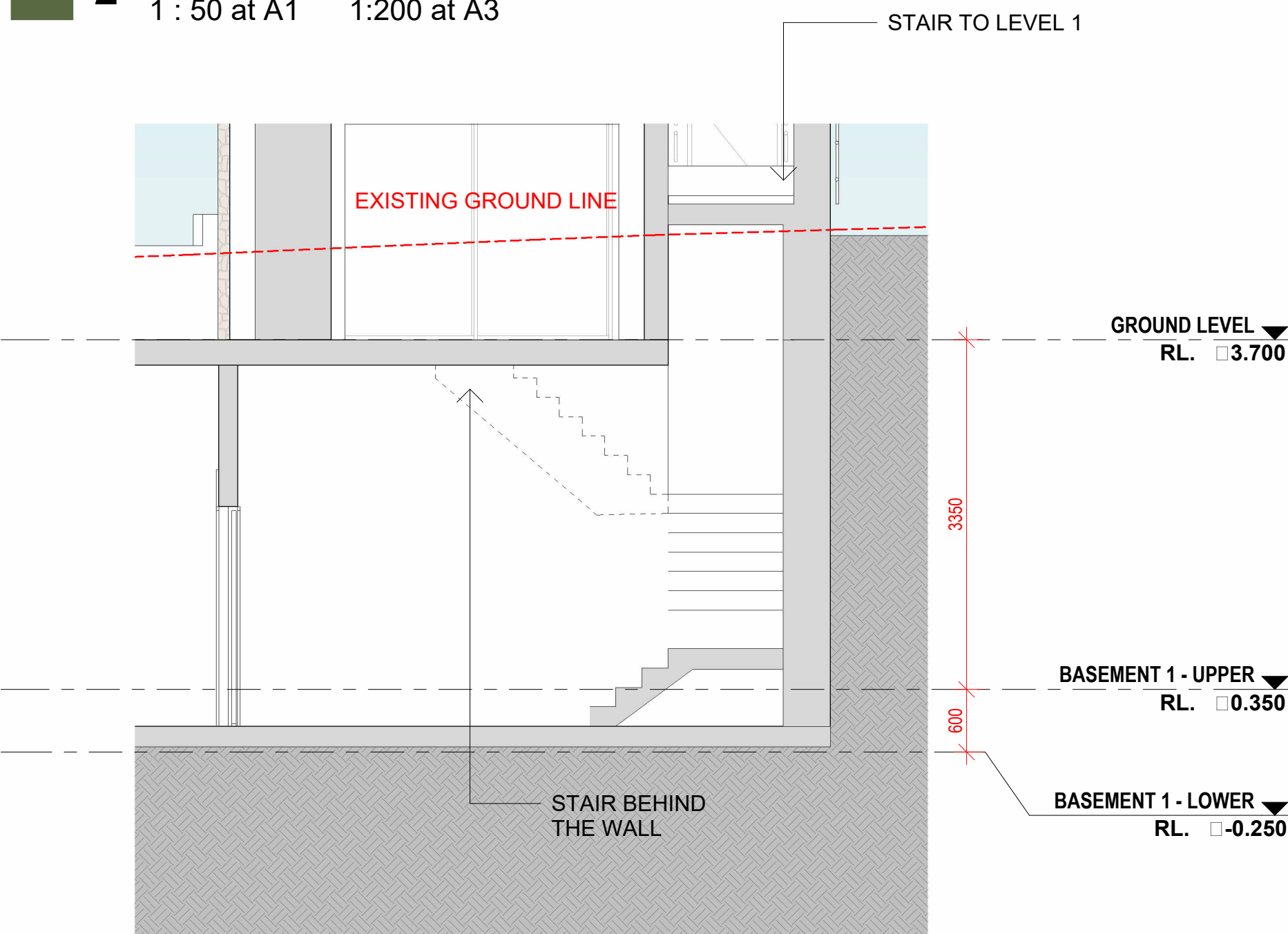
Drawn by Checked by Approved by Date

Author Checker ZC JULY, 2024





**2 FIRE STAIR - 1**  
1 : 50 at A1 1:200 at A3



**1 FIRE STAIR - 1A**  
1 : 50 at A1 1:200 at A3

**3 FIRE STAIR - 2**  
1 : 50 at A1 1:200 at A3

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m 0.5 1 2 3 4

0 1:50 at A1 1:100 at A3



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Project  
**PROPOSED MIXED USE DEVELOPMENT**  
1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107

Drawing Title  
**DETAIL SECTION - FIRE STAIRS**

Project Stage  
**Preliminary Issue**

Job no. Drawing no. Rev.  
**J23587D DA8003 A**

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