G.J. Gardner. HOMES

PROJECT: NEW DWELLING

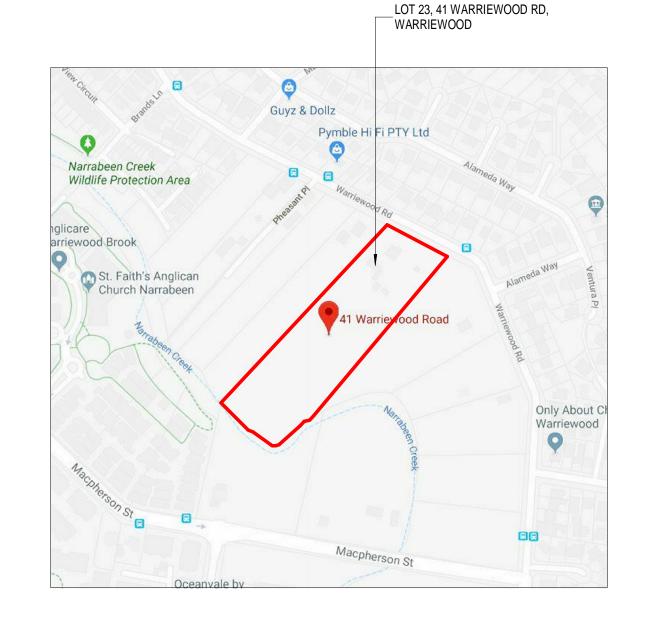
ADDRESS: LOT 23, 41 WARRIEWOOD ROAD

WARRIEWOOD NSW 2102

LOT #: 23

DP #: 271339

DRAWING LIST					
DRAWING No	DRAWING NAME	REVISION	DATE		
A01	COVER SHEET	E	30/04/2019		
A02	SITE PLAN	E	30/04/2019		
A03	GROUND FLOOR PLAN	E	30/04/2019		
A04	FIRST FLOOR PLAN	E	30/04/2019		
A05	ELEVATIONS	E	30/04/2019		
A06	ELEVATIONS	E	30/04/2019		
A07	SECTIONS	E	30/04/2019		
A08	LANDSCAPE PLAN	E	30/04/2019		
A09	SHADOW DIAGRAM	E	30/04/2019		
A10	EROSION & SEDIMENT PLAN	E	30/04/2019		
A11	SITE ANALYSIS	E	30/04/2019		
A12	WASTE MANAGEMENT	E	30/04/2019		
A13	BASIX COMMITMENT	E	30/04/2019		
A14	DRIVEWAY DETAIL	Е	30/04/2019		
A15	EXISTING SURVEY PLAN	E	30/04/2019		



No. AMENDMENTS DATE		
Α	FIRST ISSUE	20/03/2019
В	ADDED WINDOW TO LOUNGE, DOOR TO LAUNDRY, 2 WINDOWS TO KITCHEN, SKYLIGHT, A/C, CHANGES TO COLUMNS, WIR, WINDOW IN FF LOUNGE. POSITION TO WATER TANK	12/04/2019
С	REMOVE STONE CLADDING FROM COLUMNS	17/04/2019
D UPDATE TO FULL SET DA ISSUE		23/04/2019
Е	CHANGES TO BED 4 WALL, WALLS / DOOR TO STAIRS, NIB WALL IN KITCHEN, BALUSTRADE FINISH. ADDED AC DUCT TO LINEN, BASIX	30/04/2019

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DOUBLE STOREY DWELLING

PROJECT:

PAGES: SHEET SIZE:

DOUBLE STOREY DWELLING G.J. Gardner. HOMES **Builders Details**

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SUITE 302 5 CELEBRATION DRIVE BELLA VISTA NSW 2153 ABN 15 078 937 238 (02) 8883 4344 kjrdrafting@kjr.net.au

SHERWOOD & ROBERTSON DRAWING TITLE:

COVER SHEET

SCALE: 1:100

LOT 23, 41 WARRIEWOOD ROAD A01 A3 **WARRIEWOOD NSW 2102**

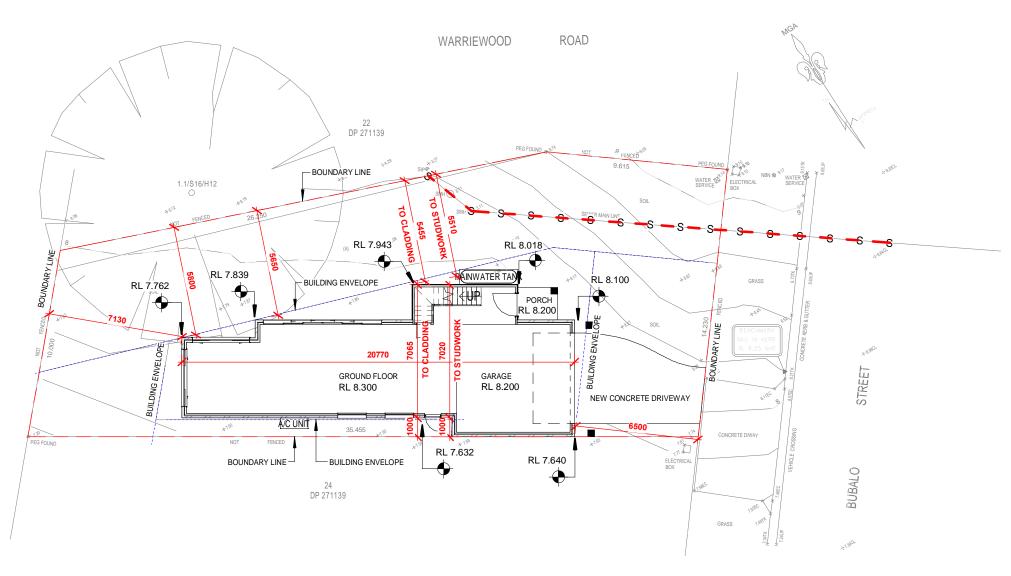
230247 - GJGN088

DATE: 30/04/2019

WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURAT

NOTE:

"FRONT SETBACK IS TO BE AT LEAST: 6.5m



SITE PLAN 1:200

0 1m 3m 5m 10m SCALE BAR 1:200

No.	AMENDMENTS	DATE
Α	FIRST ISSUE	20/03/2019
В	ADDED WINDOW TO LOUNGE, DOOR TO LAUNDRY, 2 WINDOWS TO KITCHEN, SKYLIGHT, A/C, CHANGES TO COLUMNS, WIR, WINDOW IN FF LOUNGE. POSITION TO WATER TANK	12/04/2019
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| PAGES: | SHEET SIZE: | G.J. Gardner. HOMES **Builders Details**

SUITE 302

5 CELEBRATION DRIVE
BELLA VISTA NSW 2153
ABN 15 078 937 238
(02) 8883 4344 kjrdrafting@kjr.net.au

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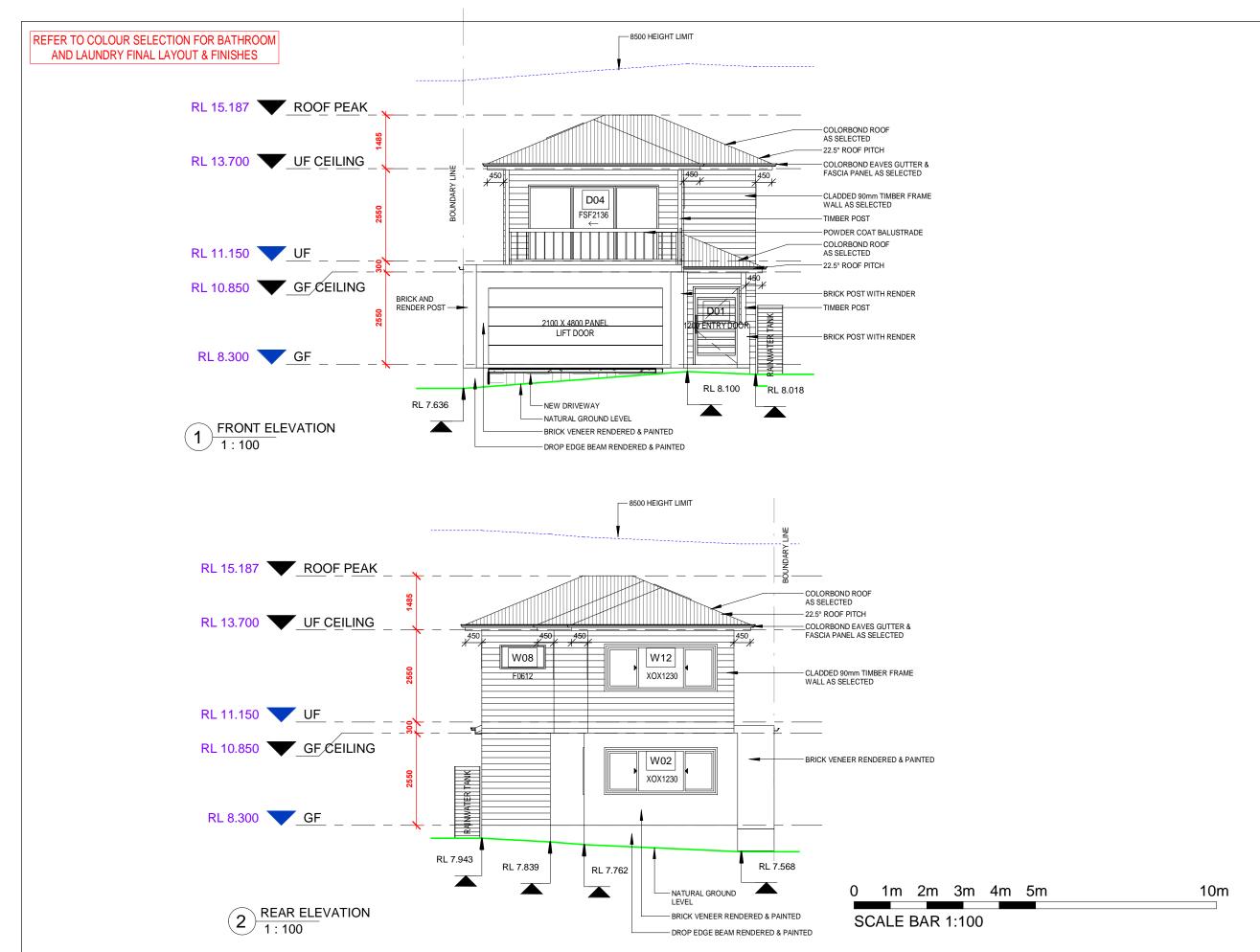
SHERWOOD & ROBERTSON DRAWING TITLE: SITE PLAN

SCALE: 1:200

LOT 23, 41 WARRIEWOOD ROAD A02 A3 JOB NO: WARRIEWOOD NSW 2102 RAWN: NF 230247 - GJGN088

DATE: 30/04/2019

IWE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATE DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY



DOOR SCHEDULE

Width Height

D01	1200	2100
D02	6246	2100
D03	870	2100
D04	3588	2100
D05	790	2100

Grand total: 5

WINDOW SCHEDULE

Code	Width	Height
	1000	

	1000	
W01	3010	1200
W02	3010	1200
W03	1500	600
W04	1500	600
W05	1810	600
W06	1200	600
W07	1200	600
W08	1200	600
W09	3010	860
W10	3010	860
W11	3010	860
W12	3010	1200
W13	2410	860
W14	1210	860
W15	2410	860
W16	2410	860
Grand total:	17	

Grand total: 17

	DRAWING REVISION SCHEDULE			
No.	AMENDMENTS	DATE		
Α	FIRST ISSUE	20/03/201		
В	ADDED WINDOW TO LOUNGE, DOOR TO LAUNDRY, 2 WINDOWS TO KITCHEN, SKYLIGHT, A/C, CHANGES TO COLUMNS, WIR, WINDOW IN FF LOUNGE. POSITION TO WATER TANK	12/04/201		
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PAGES:	SHEET SIZE:			
CLIENT:	DOUBLE STOREY DWELLING	PROJECT:	PAGES:	SHEET SIZE:
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CLIENT:	DOUBLE STOREY DWELLING	PROJECT:	PAGES:	SHEET SIZE:

G.J. Gardner. **Builders Details**

SUITE 302

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TO G.J. GARDNER HOMES

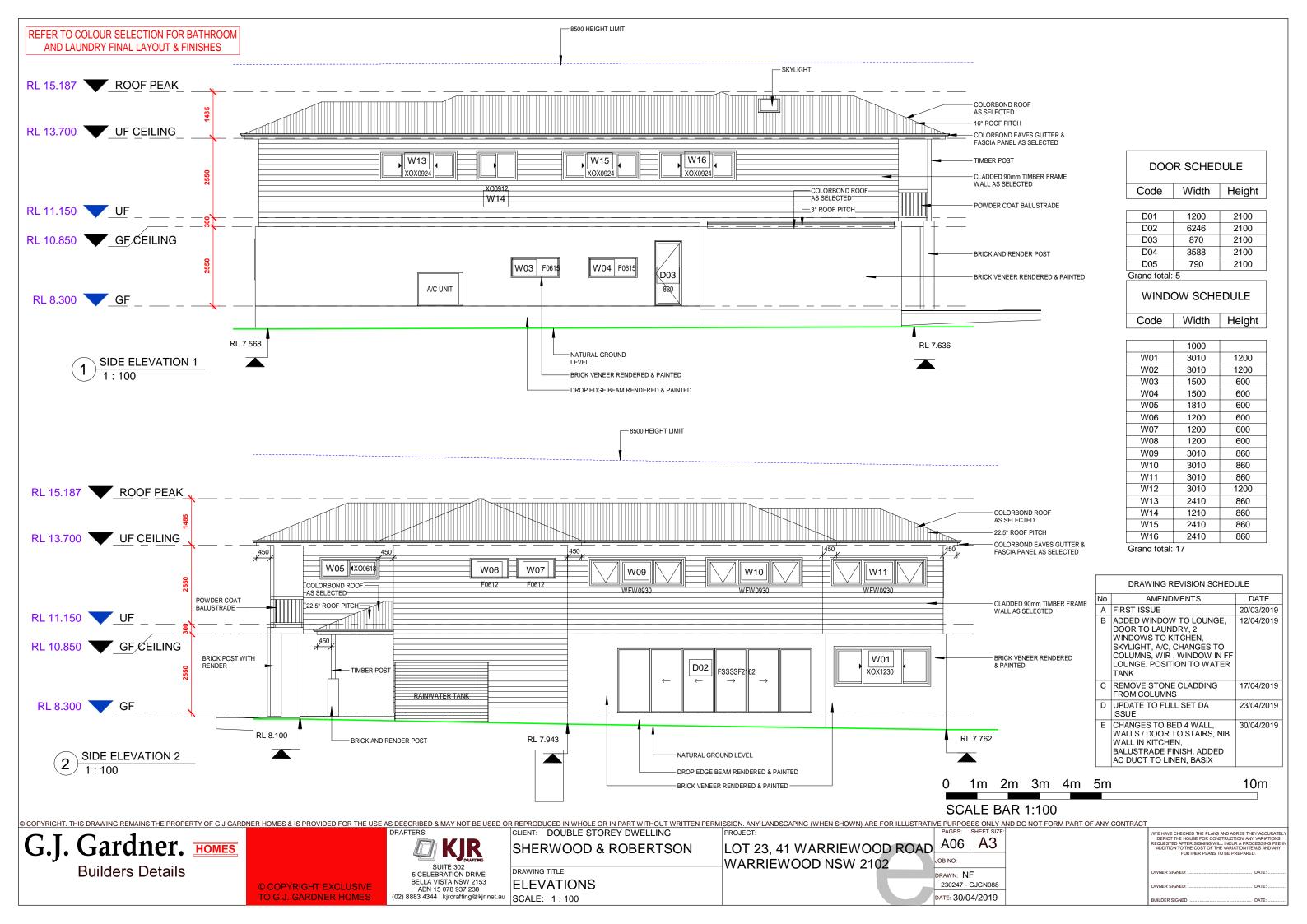
5 CELEBRATION DRIVE BELLA VISTA NSW 2153 ABN 15 078 937 238 (02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: DOUBLE STOREY DWELLING SHERWOOD & ROBERTSON DRAWING TITLE: **ELEVATIONS** SCALE: 1:100

LOT 23, 41 WARRIEWOOD ROAD A05 A3 JOB NO: WARRIEWOOD NSW 2102 230247 - GJGN088

DATE: 30/04/2019

IWE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATE DEPICT THE HOUSE FOR CONSTRUCTION, ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY



LANDSCAPE COLOURS BUILDING FOOTPRINT LANDSCAPING - FRONT

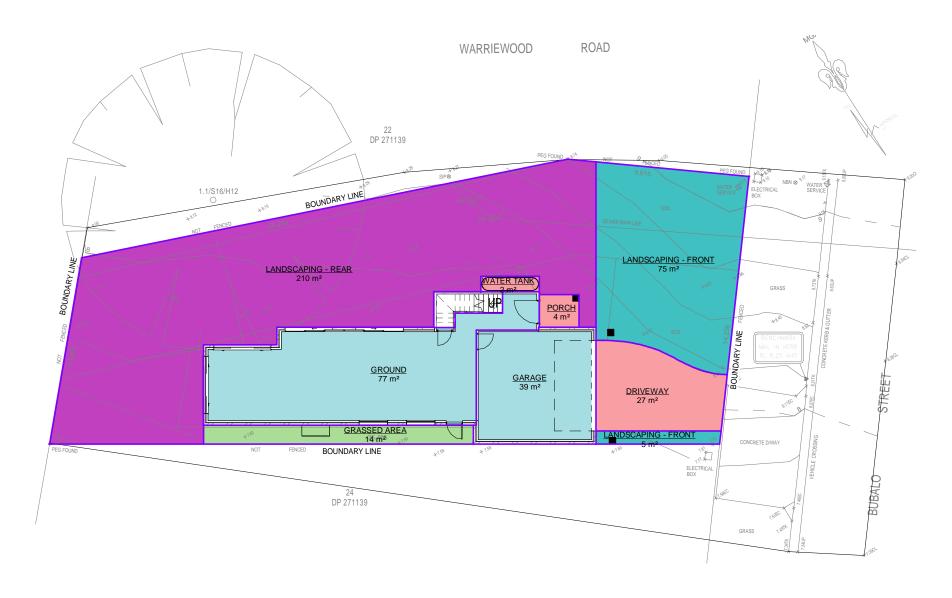
BUILDING FOOTPRINT
LANDSCAPING - FRONT
LANDSCAPING - REAR
OPEN LANDSCAPE
OTHER AREAS

PROPOSED FLOOR SPACES		
NAME	AREA	%

FIRST FLOOR	101 m ²	47%
GARAGE	34 m²	16%
GROUND	74 m²	35%
PORCH	4 m²	2%
TOTAL AREAS:	214 m²	100%

LANDSCAPE SCHEDULE			
AREA NAME	AREA	%	

BUILDING FOOTPRINT	116 m²	26%
LANDSCAPING - FRONT	79 m²	17%
LANDSCAPING - REAR	210 m ²	46%
OPEN LANDSCAPE	14 m²	3%
OTHER AREAS	34 m²	7%
TOTAL AREAS:	453 m²	100%



PROPOSED LANDSCAPE PLAN
1:200

0 1m 3m 5m 10m SCALE BAR 1:200

DATE: 30/04/2019

No.	AMENDMENTS	DATE
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| PAGES: | SHEET SIZE: | SHEET

SCALE: 1:200

G.J. Gardner. HOMES
Builders Details

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SUITE 302

5 CELEBRATION DRIVE
BELLA VISTA NSW 2153
ABN 15 078 937 238

(02) 8883 4344 kjrdrafting@kjr.net.au

SHERWOOD & ROBERTSON

DRAWING TITLE:

LANDSCAPE PLAN

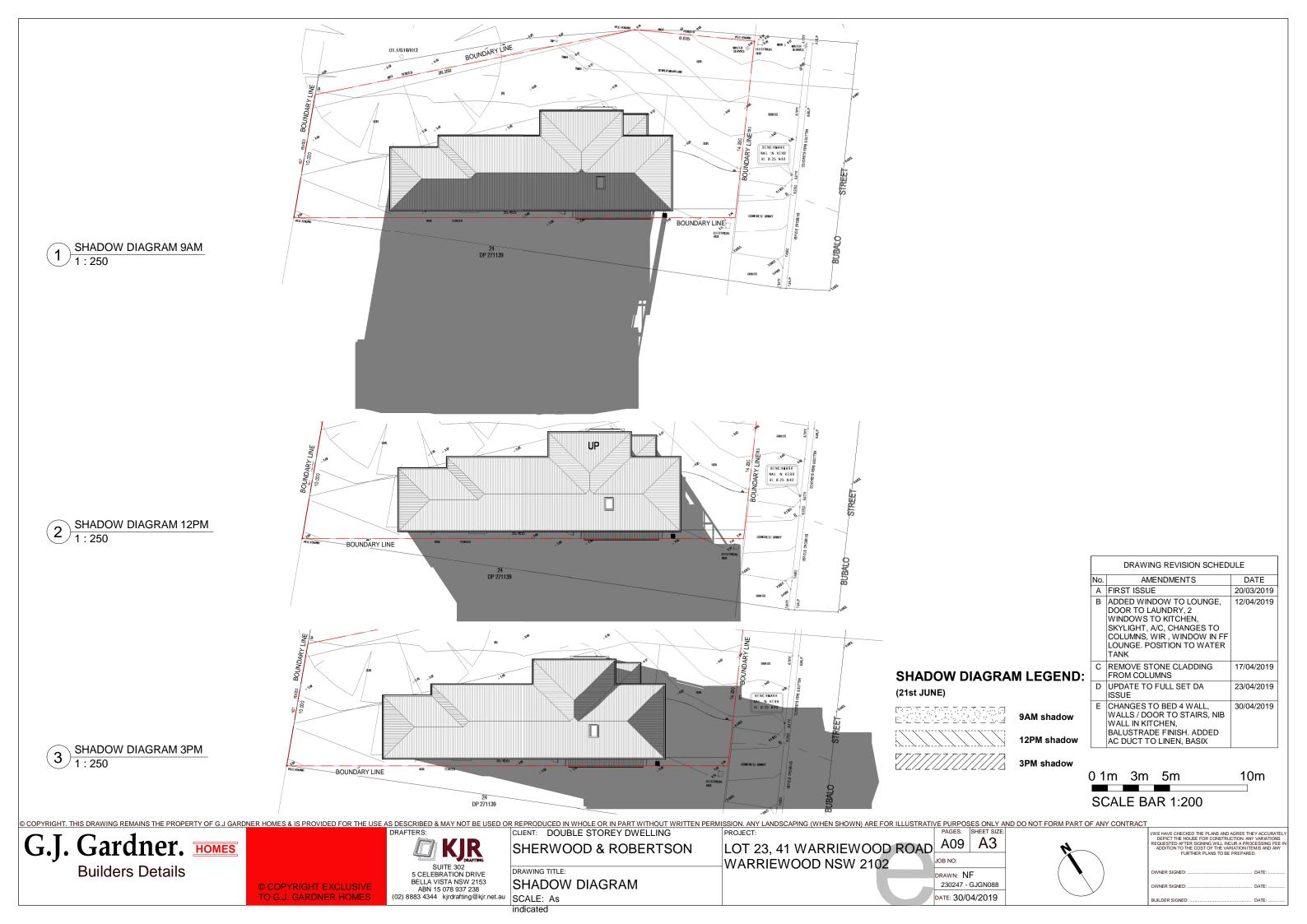
PROJECT:

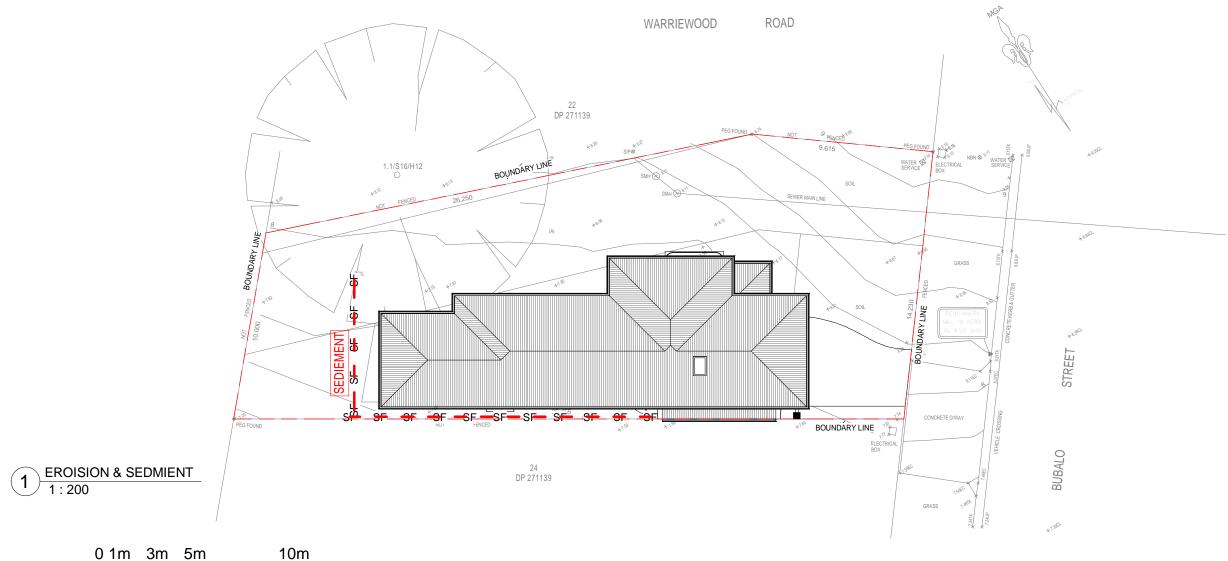
LOT 23, 41 WARRIEWOOD ROAD

WARRIEWOOD NSW 2102

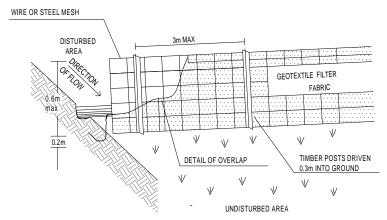
DRAWN: NF
230247 - GJGN088











SEDIMENT FENCE DETAILS

SEDIMENT CONTROL NOTES:

- ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL & TOP SOIL SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.
- ALL THE DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILISED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
- SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
- ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
- TOPSOIL FROM ALL AREAS THAT WILL BE DISTURBED TO STRIPPED AND STOCKPILED.
- SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AREA AREAS WHERE WATER MAY CONCENTRATE.
- STOCKPILE TOPSOIL SEPARATELY FROM SUBSOIL
- STRIPPING OF GRASS AND VEGETATION ETC. FROM SITE SHALL BE KEPT TO A MINIMUM.
- FILTER SHALL BE CONSTRUCTED BY STRECTCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.
- ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.

ALL SEDIMENT CONTROL STRUCTURES TO BE INSPECTED AFTER EACH RAINFALL EVENT FOR STRUCTURAL DAMAGE AND ALL TRAPPED SEDIMENT TO BE REMOVED TO A NOMINATED SOIL STOCKPILE SITE.

BOUNDARY NOTES:

- BOUNDARY INFORMATION SUPPLIED BY OWNER
- CONFIRM ALL BOUNDARY INFORMATION PRIOR TO COMMENCEMENT OF WORK.

SETOUT NOTES:

- BOUNDARY DIMENSIONS AND LOCATION OF DWELLING TO BE CONFIRMED AND SETOUT BY SURVEYOR PRIOR TO COMMENCEMENT OF WORK - BUILDER TO BE PRESENT TO CONFIRM
- PREFERENCE TO LOCATION.

	DRAWING REVISION SCHED	ULE
No.	AMENDMENTS	DATE
Α	FIRST ISSUE	20/03/201
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DRAFTERS:

CLIENT: DOUBLE STOREY DWELLING

PROJECT:

PAGES: SHEET SIZE:

SHEET SIZE:

CLIENT: DOUBLE STOREY DWELLING

G.J. Gardner. HOMES
Builders Details

DRAFTERS:

SUITE 302

5 CELEBRATION DRIVE
BELLA VISTA NSW 2153
ABN 15 078 937 238
(02) 8883 4344 kjrdrafting@kjr.net.au

SHERWOOD & ROBERTSON

DRAWING TITLE:

DRAWING TITLE:
EROSION & SEDIMENT PLAN
SCALE: 1:200

LOT 23, 41 WARRIEWOOD ROAD A10 A3
WARRIEWOOD NSW 2102

DRAWN: NF
230247 - GJGN088
DATE: 30/04/2019

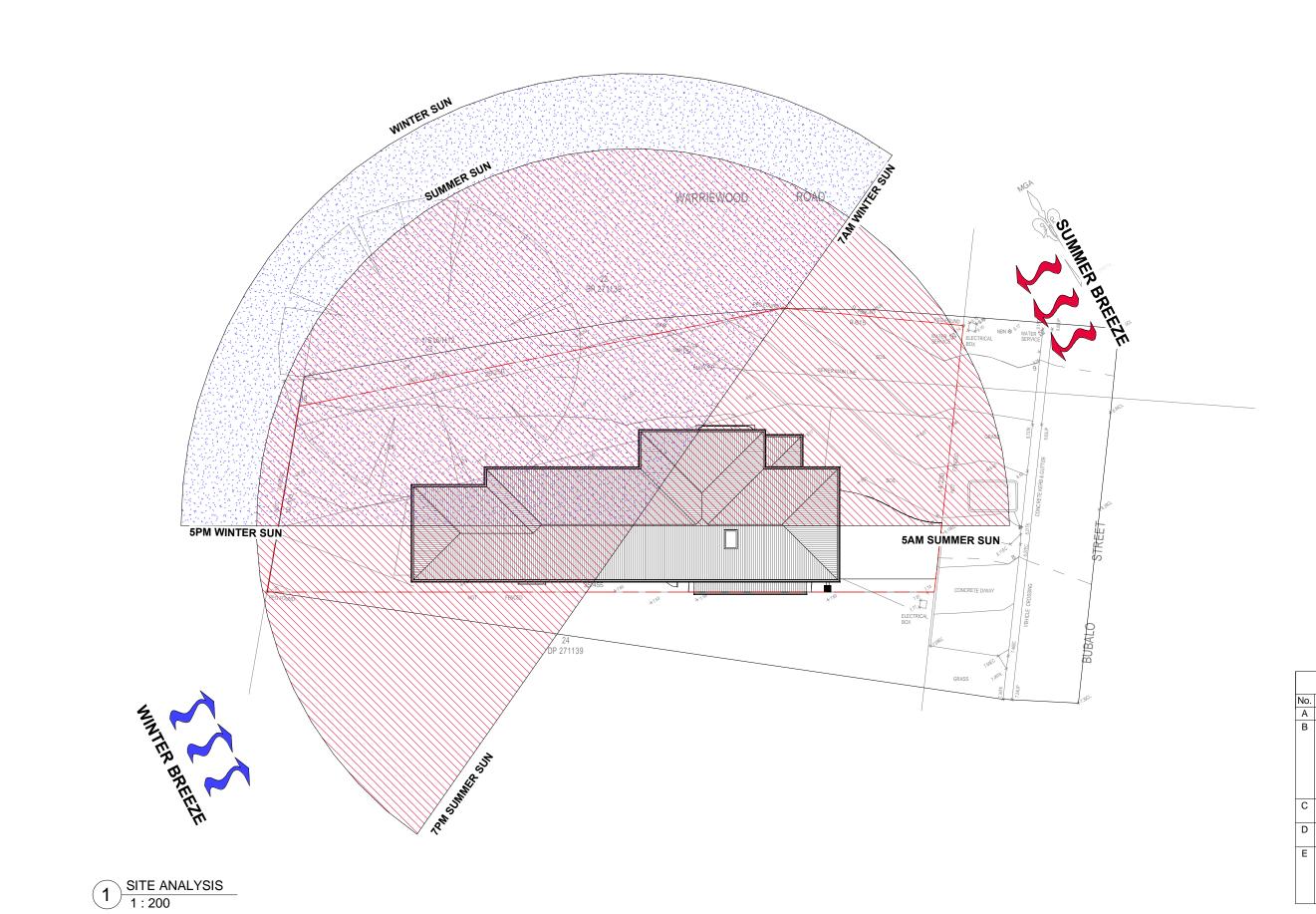


IWE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATEL DEPICT THE HOUSE FOR CONSTRUCTION ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE II ADDITION TO THE COST OF THE VARIATION TEMS AND ANY FURTHER PLANS TO BE PREPARED.

OWNER SIGNED: DATE:

DWIER SIGNED: DATE:

BUILDER SIGNED: DATE:



DRAWING REVISION SCHEDULE AMENDMENTS A FIRST ISSUE 20/03/2019 B ADDED WINDOW TO LOUNGE, DOOR TO LAUNDRY, 2 WINDOWS TO KITCHEN, SKYLIGHT, A/C, CHANGES TO COLUMNS, WIR, WINDOW IN FF LOUNGE. POSITION TO WATER 12/04/2019 C REMOVE STONE CLADDING FROM COLUMNS 17/04/2019 D UPDATE TO FULL SET DA 23/04/2019 E CHANGES TO BED 4 WALL, WALLS / DOOR TO STAIRS, NIB WALL IN KITCHEN, BALUSTRADE FINISH. ADDED AC DUCT TO LINEN, BASIX 30/04/2019

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PROJECT:

PAGES: SHEET SIZE:

| CLIENT: DOUBLE STOREY DWELLING | PROJECT: | PAGES: SHEET SIZE: | G.J. Gardner. HOMES **Builders Details**

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SUITE 302 5 CELEBRATION DRIVE BELLA VISTA NSW 2153 ABN 15 078 937 238 (02) 8883 4344 kjrdrafting@kjr.net.au

SHERWOOD & ROBERTSON DRAWING TITLE: SITE ANALYSIS

SCALE: 1:200

LOT 23, 41 WARRIEWOOD ROAD A11 A3 WARRIEWOOD NSW 2102

JOB NO: DRAWN: NF 230247 - GJGN088 DATE: 30/04/2019

IWE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATE DEPICT THE HOUSE FOR CONSTRUCTION, ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY

WASTE MANAGEMENT PLAN FOR PROPOSED 2 STOREY DWELLING AT: LOT 23, 41 WARRIEWOOD ROAD, WARRIEWOOD NSW

MATERIAL	S ON-SITE	DESTINATION	N	
		Reuse & Recycl	Disposal	
Type of materials	Estimated volume (m3)	On-Site Specify proposed reuse or on-site recycling method	Offsite Specify contractor and recycling outlet	Specify contractor or landfill site
Green waste	2	Chip and compost for landscaping and new gardens	-	Nil to landfill
Bricks	Nil			Nil to landfill
Concrete	20		Waste Management centre for recycling	Nil to landfill
Timber	10	Used for formwork and studwork, site shed or temporary fence	Long lengths of good quality timber to Timber Recycling Company. Lengths less than 1 meter to Waste Management centre for recycling	Nil to landfill
Plasterboard	10		Waste Management centre	Taken to landf
Roof tiles	8		Good tiles to Waste Management centre for recycling; sell to second hand building supplies	Nil to landfill
Metals	2		Waste Management centre for recycling	Nil to landfill
Asbestos	5		Cart to licensed asbestos tip	Taken to landf

MATERIALS ON-SITE		DESTINATION						
			Reuse & Recycling	Disposal				
Type of materials	Estimated volume (m3)	On-Site Specify proposed reuse or on-site recycling method	Offsite Specify contractor and recycling outlet	Specify contractor or landfill site				
Excavation Material	5	Re-use for backfill under slab. Remove top soil and stockpile for use in landscaping	-					
Green waste	Nil							
Bricks	Nil							
Concrete	2		Excess concrete returned to supplier	Nil to landfill				
Timber	2		Excess timber returned to supplier	Nil to landfill				
Plasterboard	0.5		Excess plasterboard returned to supplier	Nil to landfill				
Roof colorbond	0.5		Excess colorbond roof returned to supplier	Nil to landfill				
Metals	0.1		Waste Management centre for recycling	Nil to landfill				

USE OF PREMISES				
Type of Waste to be Generated	Expected volume per week (m3)	On-Site Specify proposed reuse or on-site recycling method	Destination	
Food, general domestic waste	0.4	Bins located on site	Disposal via council rubbish removal	
Paper, Cardboard	0.1	Bins located on site	Disposal via council recycling collection	
Glass, Bottles	0.1	Bins located on site	Disposal via council recycling collection	

	DRAWING REVISION SCHEDI	JLE
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DRAFTERS: CLIENT: DOUBLE STOREY DWELLING PROJECT:

PAGES: SHEET SIZE:

DOUBLE STOREY DWELLING PROJECT:

DOUBLE STOREY DWELLING PROJECT:

G.J. Gardner. HOMES **Builders Details**

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SUITE 302 SUITE 302

5 CELEBRATION DRIVE
BELLA VISTA NSW 2153
ABN 15 078 937 238
(02) 8883 4344 kjrdrafting@kjr.net.au

DRAWING TITLE:

WASTE M
SCALE: 1:1

SHERWOOD & ROBERTSON

WASTE MANAGEMENT

LOT 23, 41 WARRIEWOOD ROAD A12 A3 WARRIEWOOD NSW 2102

JOB NO: 230247 - GJGN088 DATE: 30/04/2019

IWE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATE DEPICT THE HOUSE FOR CONSTRUCTION, ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY

BASIX Certificate Building Sustainability Index www.basix.nsw.gov.au

Single Dwelling

Certificate number: 1011930S

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Tuesday, 30 April 2019
To be valid, this certificate must be lodged within 3 months of the date of issue.



41 Warriewood Road Warriewood 2102 Street address Local Government Area Northern Beaches Council

Plan type and plan number	deposited 271339	
Lot no.	23	
Section no.	n/a	
Project type	separate dwelling h	ouse
No. of bedrooms	4	
Project score		
Water	✓ 40	Target 40
Thermal Comfort	✓ Pass	Target Pass
Energy	✓ 52	Target 50
	LC 1997 L	

kylight no.	Maximum area (square metres)	Туре	Shading de	evice		
ylight area must not e		e below, in accordance with the specifications e metre limit does not include the optional add a).		~	~	~
	ldings/vegetation must be of the heigin the 'overshadowing' column.	ht and distance from the centre and the base	of the window and glazed	~	~	~
than that listed and	d a Solar Heat Gain Coefficient (SHG coordance with National Fenestration	door must be accompanied with certification of C) within the range of those listed. Total syste Rating Council (NFRC) conditions. Frame an	em U values and SHGC must			~
- Timber/uPVC/fib	preglass double (air) clear					
- Timber/uPVC/fib	oreglass single clear					
- Aluminium doub	le (air) clear					
- Aluminium single	e clear					
For the following gla	ass and frame types, the certifier che-	ck can be performed by visual inspection.				~

The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door

The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.

S01	0.75 tim		mber, double clear/air fill		no shading	
Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Туре	Shading Devi 10%)	ce (Dimension within	Overshadowing
North facing			tte.			

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Туре	Shading Device (Dimension within 10%)	Overshadowing
W01	1200	3100	U-value: 6.6, SHGC: 0.441 - 0.539 (aluminium, single, tint)	none	>4 m high, 5-8 m away
D02	2100	6246	U-value: 6.6, SHGC: 0.441 - 0.539 (aluminium, single, tint)	none	>4 m high, 5-8 m away
W06	600	1200	U-value: 6.6, SHGC: 0.441 - 0.539 (aluminium, single, tint)	eave 600 mm, 300 mm above head of window or glazed door	not overshadowed
W07	600	1200	U-value: 6.6, SHGC: 0.441 - 0.539 (aluminium, single, tint)	eave 600 mm, 300 mm above head of window or glazed door	not overshadowed
W09	860	3010	U-value: 6.6, SHGC: 0.369 - 0.451 (aluminium, single, tint)	eave 600 mm, 300 mm above head of window or glazed door	not overshadowed
W10	860	3010	U-value: 6.6, SHGC: 0.369 - 0.451 (aluminium, single, tint)	eave 600 mm, 300 mm above head of window or glazed door	not overshadowed
W11	860	3010	U-value: 6.6, SHGC: 0.369 - 0.451 (aluminium, single, tint)	eave 600 mm, 300 mm above head of window or glazed door	not overshadowed
East facing					
D04	2100	3588	U-value: 6.6, SHGC: 0.441 - 0.539 (aluminium, single, tint)	eave 600 mm, 300 mm above head of window or glazed door	not overshadowed
South facing					
W03	600	1500	aluminium, single, clear	none	not overshadowed
W04	600	1500	aluminium, single, clear	none	not overshadowed
W13	860	2410	aluminium, single, clear	eave 600 mm, 300 mm above head of window or glazed door	not overshadowed
W14	860	1210	aluminium, single, clear	eave 600 mm, 300 mm above head of window or glazed door	not overshadowed
W15	860	2410	aluminium, single, clear	eave 600 mm, 300 mm above head of window or glazed door	not overshadowed
W16	860	2410	aluminium, single, clear	eave 600 mm, 300 mm above head of window or glazed door	not overshadowed
West facing					
W02	1200	3010	U-value: 6.6, SHGC: 0.441 - 0.539 (aluminium, single, tint)	none	not overshadowed

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Туре	Shading Device (Dimension within 10%)	Overshadowing
80W	600	1200	aluminium, single, clear	eave 600 mm, 300 mm above head of window or glazed door	not overshadowed
W12	1200	3010	aluminium, single, clear	eave 600 mm, 300 mm above head of window or glazed door	not overshadowed

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas nstantaneous with a performance of 5 stars.	~	~	~
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating; EER 3.0 - 3.5		~	V
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: EER 3.0 - 3.5		~	~
The cooling system must provide for day/night zoning between living areas and bedrooms.		~	~
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: EER 3.0 - 3.5		-	~
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: EER 3.0 - 3.5		~	~
The heating system must provide for day/night zoning between living areas and bedrooms.		~	~
Ventilation			
The applicant must install the following exhaust systems in the development:	1		
At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off		~	V
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off		~	~
Laundry: natural ventilation only, or no laundry; Operation control: n/a		~	V
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the ollowing rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or girls emitting diode (LED) lamps:		P.L.	
at least 4 of the bedrooms / study,		~	~

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifie
at least 2 of the living / dining rooms;	1	~	~
the kitchen;			
all bathrooms/toilets;			
the laundry;			
• all hallways;			
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	~	~	
The applicant must install a window and/or skylight in 2 bathroom(s)/toilet(s) in the development for natural lighting.	_	~	~
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		V	
The applicant must install a fixed outdoor clothes drying line as part of the development.		J	

Legena		
In these commitments,	"applicant" means the person carrying out the development.	

is identified with a 🧳 in the "Show on DA plans" column must be shown on the plans accompanying the develo development application is to be lodged for the proposed development).

Commitments identified with a 🥥 in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications according certificate / complying development certificate for the proposed development.

Commitments identified with a 🥪 in the "Certifier check" column must be certified by a certifying authority as having bee final) for the development may be issued.

DRAWING REVISION SCHEDULE				
No.	AMENDMENTS	DATE		
Α	FIRST ISSUE	20/03/2019		
В	ADDED WINDOW TO LOUNGE, DOOR TO LAUNDRY, 2 WINDOWS TO KITCHEN, SKYLIGHT, A/C, CHANGES TO COLUMNS, WIR, WINDOW IN FF LOUNGE. POSITION TO WATER TANK	12/04/2019		
С	REMOVE STONE CLADDING FROM COLUMNS	17/04/2019		
D	UPDATE TO FULL SET DA ISSUE	23/04/2019		
E	CHANGES TO BED 4 WALL, WALLS / DOOR TO STAIRS, NIB WALL IN KITCHEN, BALUSTRADE FINISH. ADDED AC DUCT TO LINEN, BASIX	30/04/2019		

Description of project

Project name	GJGN054 - Sherwood & Robertson
Street address	41 Warriewood Road Warriewood 2102
Local Government Area	Northern Beaches Council
Plan type and plan number	Deposited Plan 271339
Lot no.	23
Section no.	n/a
Project type	
Project type	separate dwelling house
No. of bedrooms	4
Site details	
Site area (m²)	453
Roof area (m²)	150
Conditioned floor area (m2)	165.2
Unconditioned floor area (m2)	12.8
Total area of garden and lawn (m2)	299

Project address		Assessor details and thermal loads				
Project name GJGN054 - Sherwood & Robertson		Assessor number n/a				
Street address	41 Warriewood Road Warriewood 2102	Certificate number	n/a			
Local Government Area	Northern Beaches Council	Climate zone	n/a			
Plan type and plan number	Deposited Plan 271339	Area adjusted cooling load (MJ/m².year)	n/a			
Lot no.	23	Area adjusted heating load (MJ/m².year)	n/a			
Section no.	n/a	Project score	-			
Project type		Water	✓ 40	Target 40		
Project type	separate dwelling house	2007	40	raiget 40		
No. of bedrooms	4	Thermal Comfort	✓ Pass	Target Pass		
Site details		Energy	✓ 52	Target 50		
Site area (m²)	453	153.00 W	JZ.	Target 50		
Roof area (m²)	150					
Conditioned floor area (m2)	165.2					
Unconditioned floor area (m2)	12.8					
Total area of garden and lawn (m2)	299					

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 3 star (> 6 but <= 7.5 L/min) in all showers in the development.		-	-
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		~	~
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		V	
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.		~	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 3000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	V	~	~
The applicant must configure the rainwater tank to collect rain runoff from at least 70 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		~	~
The applicant must connect the rainwater tank to:			
all toilets in the development		~	~
the cold water tap that supplies each clothes washer in the development		~	~
 at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.) 		~	V

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
General features			
The dwelling must not have more than 2 storeys.	~	~	~
The conditioned floor area of the dwelling must not exceed 300 square metres.	~	~	~
The dwelling must not contain open mezzanine area exceeding 25 square metres.	~	~	~
The dwelling must not contain third level habitable attic room.	V	~	V
Floor, walls and ceiling/roof			
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	~	~	-

Construction	Additional insulation required (R-Value)	Other specifications
floor - concrete slab on ground	nil	
floor - suspended floor above garage, framed	nil	
external wall - brick veneer	1.86 (or 2.40 including construction)	
external wall - framed (weatherboard, fibre cement, metal clad)	2.00 (or 2.40 including construction)	
internal wall shared with garage - plasterboard	nil	
ceiling and roof - flat ceiling / pitched roof	ceiling: 2.7 (up), roof: foil backed blanket (55 mm)	unventilated; light (solar absorptance < 0.475)
ceiling and roof - flat ceiling / flat roof, framed	ceiling: 2.9 (up), roof: foil backed blanket (55 mm)	framed; light (solar absorptance < 0.475)

Note • In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.

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DOUBLE STOREY DWELLING PROJECT:

DOUBLE STOREY DWELLING PROJECT:

DOUBLE STOREY DWELLING PROJECT:

SCALE:

G.J. Gardner. HOMES **Builders Details**

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TO G.J. GARDNER HOMES

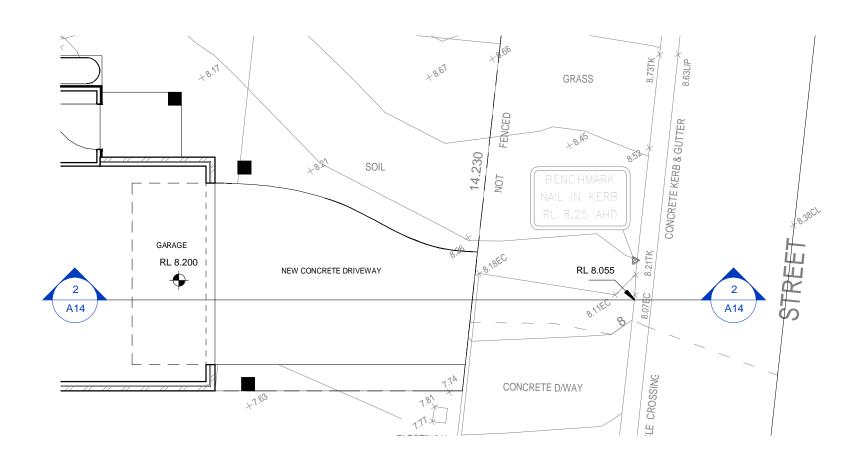
SUITE 302 5 CELEBRATION DRIVE BELLA VISTA NSW 2153 ABN 15 078 937 238 (02) 8883 4344 kjrdrafting@kjr.net.au

SHERWOOD & ROBERTSON DRAWING TITLE: BASIX COMMITMENT

LOT 23, 41 WARRIEWOOD ROAD A13 A3 WARRIEWOOD NSW 2102

JOB NO: RAWN: NF 230247 - GJGN088 DATE: 30/04/2019

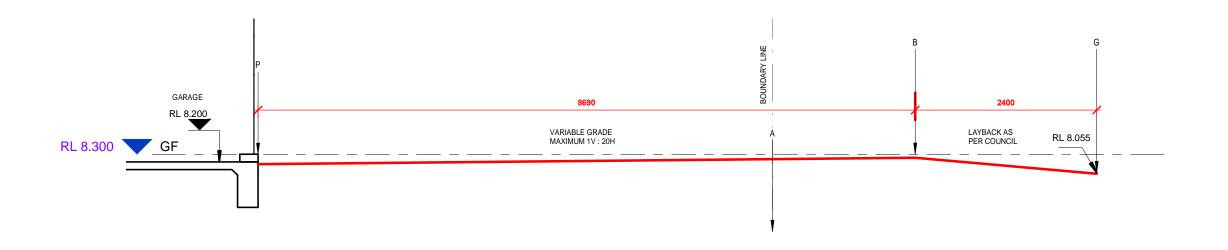
IWE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATEL DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE II ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY FURTHER PLANS TO BE PREPARED.



1 DRVEWAY PLAN 1:100

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indicated

DRAWING REVISION SCHEDULE

No. AMENDMENTS DATE

A FIRST ISSUE 20/03/2019

B ADDED WINDOW TO LOUNGE, DOOR TO LAUNDRY, 2 WINDOWS TO KITCHEN, SKYLIGHT, A/C, CHANGES TO COLUMNS, WIR, WINDOW IN FF LOUNGE. POSITION TO WATER TANK

C REMOVE STONE CLADDING 17/04/2019 FROM COLUMNS

D UPDATE TO FULL SET DA 1SSUE

E CHANGES TO BED 4 WALL, WALLS / DOOR TO STAIRS, NIB WALL IN KITCHEN, BALUSTRADE FINISH. ADDED AC DUCT TO LINEN, BASIX

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DOUBLE STOREY DWELLING

PAGES: SHEET SIZE:

DOUBLE STOREY DWELLING

PROJECT:

PAGES: SHEET SIZE:

DOUBLE STOREY DWELLING

G.J. Gardner. HOMES
Builders Details

DRIVEWAY 1:50

DRAFTERS:

CLIENT: DOU
SHERW

SUITE 302
5 CELEBRATION DRIVE
BELLA VISTA NSW 2153
ABN 15 078 937 238
(02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: DOU
SHERW

DRAWING TITLE
DRIVEW
SCALE: As

SHERWOOD & ROBERTSON

DRAWING TITLE:

DRIVEWAY DETAIL

LOT 23, 41 WARRIEWOOD ROAD A14 A3
WARRIEWOOD NSW 2102

DRAWN: NF
230247 - GJGN088
DATE: 30/04/2019

IWE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATEL DEPICT THE HOUSE FOR CONSTRUCTION. AND YARRITHONS REQUESTED AFTER SIGNING WILL INDUR A PROCESSING FEE II ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY FURTHER PLANS TO BE PREPARED.

OWNER SIGNED: DATE:

OWNER SIGNED: DATE:



BOUNDARIES HAVE BEEN DETERMINED BY SURVEY ON

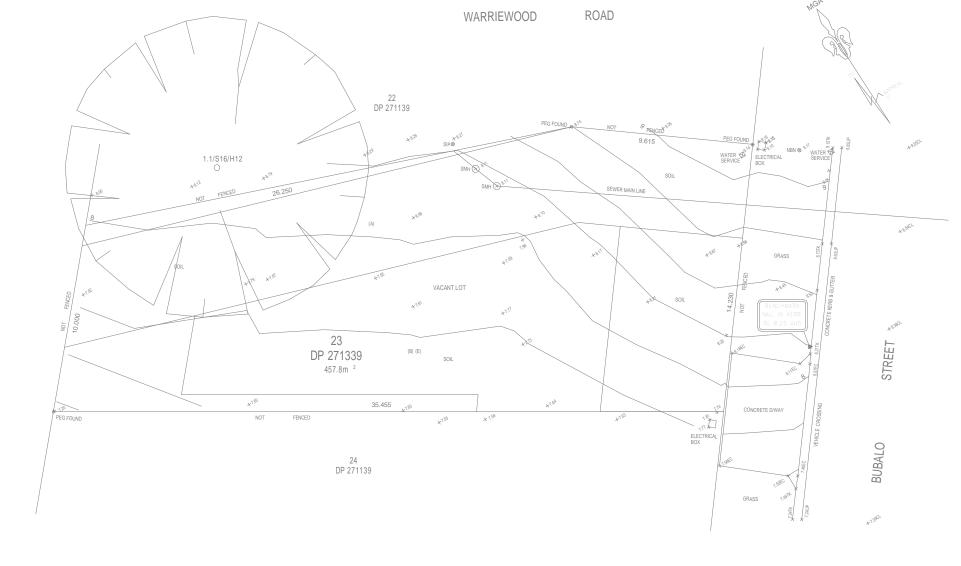
PRIOR TO ANY CONSTRUCTION WORK, SURVEY MARKS SHOULD BE PLACE TO DEFINE THE PROPERTY BOUNDARIES.

SERVICES SHOWN ARE INDICATIVE ONLY. POSITIONS ARE BASED ON SURFACE INDICATOR(S) LOCATED DURING FIELD SURVEY. CONFIRMATION OF THE EXACT POSITION SHOULD BE MADE PRIOR TO ANY POSITION SHOULD BE MADE PRIOR TO ANY EXCAVATION WORK. OTHER SERVICES MAY EXIST WHICH ARE NOT SHOWN.
LEVELS ARE BASED ON AUSTRALIAN HEIGHT DATUM (AHD) USING SSM 24845 WITH RL 12.835 (AHD).

CONTOURS SHOWN DEPICT THE TOPOGRAPHY, EXCEPT AT SPOT LEVELS SHOWN THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. THE SPOT LEVELS ARE TRUE FOR THEIR POSITION, AND ARE INTENDED TO BE USEFUL TO REPRESENT THE GENERAL TERDAMA CAPE SHOULD BE TAKENIE TERRAIN. CARE SHOULD BE TAKEN IF EXTRAPOLATING.

(A) EASEMENT FOR SEWAGE PURPOSES 5 WIDE (VIDE 6771995) (B)(E) RESTRICTION ON THE USE OF LAND

BENCH MARK	_	
TELSTRA PIT		TEL
ELECTRIC LIGHT POLE	.	LP
POWER POLE	®	PP
SIGN POST	9	SP
SEWER INSPECTION PIT	•	SIP
SEWER VENT	0	SEWER
MANHOLE		MH
SEWER MANHOLE	(\$)	SMH
STOP VALVE	M	SV
WATER HYDRANT		HYD
WATER METER	М	WM
GAS METER	G	
STATE SURVEY MARK		SSM





IS THE COPYRIGHT OF TOTAL SURVEYING SOLUTIONS. THE USE OR DUPLICATION WITHOUT THE WRITTEN CONSENT OF TOTA NFRINGEMENT OF COPYRIGHT.

EC - EDGE OF CONCRETE TK - TOP OF KERB TG - TOP OF GUTTER Ø.4/S10/H16 - TREE DIAMETER/SPREAD/HEIGHT

		PLAN SHOWING DETAIL & LEVELS	JOB No.:	190462	LGA: NORTHERN BEACHES
		OVER LOT 23 IN DP271139	PLAN No.	: 190462_A	DATUM: AHD
	CLIENT:	GJ GARDNER HOMES SYDNEY NORTH	DATE:	08/03/2019	SCALE: 1:100@A2
	PROJECT:	WARRIEWOOD	DRAWN:	DF	CONT. INTERVAL: 0.25m
J	ADDRESS:	LOT 23, 41 WARRIEWOOD ROAD, WARRIEWOOD	CHK:	GS	SHEET 1 OF 1

EXISTING SURVEY 1:200

0 1m 3m 5m 10m SCALE BAR 1:200

230247 - GJGN088

DATE: 30/04/2019

	DRAWING REVISION SCHEDI	JLE
No.	AMENDMENTS	DATE
Α	FIRST ISSUE	20/03/2019
В	ADDED WINDOW TO LOUNGE, DOOR TO LAUNDRY, 2 WINDOWS TO KITCHEN, SKYLIGHT, A/C, CHANGES TO COLUMNS, WIR, WINDOW IN FF LOUNGE. POSITION TO WATER TANK	12/04/2019
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PAGES: CLIENT: DOUBLE STOREY DWELLING

PROJECT: PAGES: SHEET SIZE: SHEET SIZE:

G.J. Gardner. HOMES **Builders Details**

SUITE 302

SHERWOOD & ROBERTSON DRAWING TITLE:

LOT 23, 41 WARRIEWOOD ROAD A15 A3 JOB NO: WARRIEWOOD NSW 2102 DRAWN: NF

IWE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATEL DEPICT THE HOUSE FOR CONSTRUCTION, ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE II ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY

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5 CELEBRATION DRIVE BELLA VISTA NSW 2153 ABN 15 078 937 238 (02) 8883 4344 kjrdrafting@kjr.net.au

EXISTING SURVEY PLAN SCALE: 1:200

Proposed Lot 23 Warriewood Road, Warriewood

External Finishes Schedule



Roof & Gutters – Colorbond Windspray
Windows – Pearl White

Fascia - Colorbond Thredbo White



Garage Door - Dover White



James Hardie Cladding & Render – Dulux Tranquil Retreat
Front Door and Trim – Dulux Lexicon Quarter

PLEASE NOTE: Colours reflected on this schedule do NOT necessarily reflect true colours