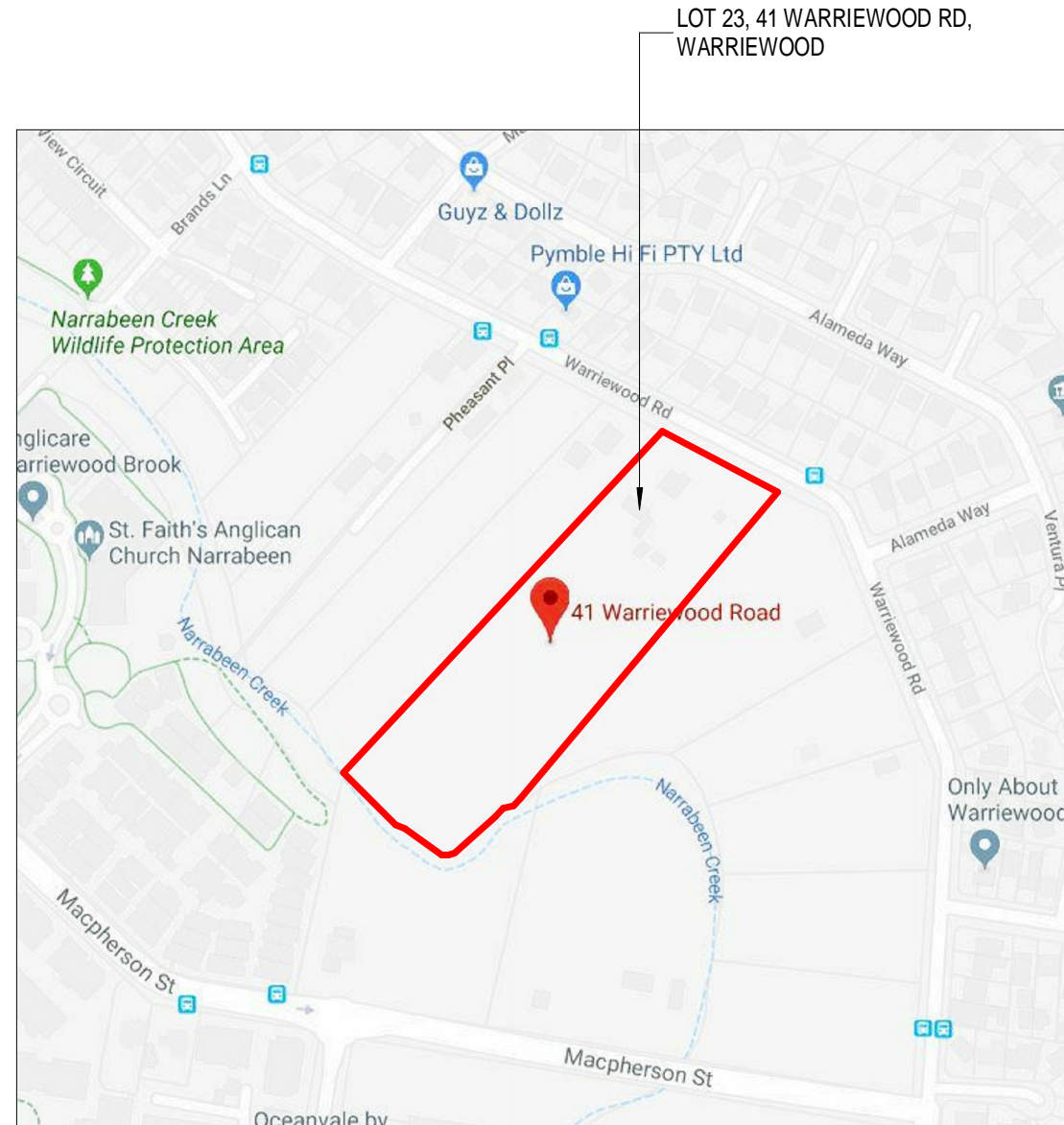


G.J. Gardner. HOMES

PROJECT: NEW DWELLING
ADDRESS: LOT 23, 41 WARRIEWOOD ROAD
WARRIEWOOD NSW 2102

LOT #: 23
DP #: 271339

DRAWING LIST			
DRAWING No	DRAWING NAME	REVISION	DATE
A01	COVER SHEET	E	30/04/2019
A02	SITE PLAN	E	30/04/2019
A03	GROUND FLOOR PLAN	E	30/04/2019
A04	FIRST FLOOR PLAN	E	30/04/2019
A05	ELEVATIONS	E	30/04/2019
A06	ELEVATIONS	E	30/04/2019
A07	SECTIONS	E	30/04/2019
A08	LANDSCAPE PLAN	E	30/04/2019
A09	SHADOW DIAGRAM	E	30/04/2019
A10	EROSION & SEDIMENT PLAN	E	30/04/2019
A11	SITE ANALYSIS	E	30/04/2019
A12	WASTE MANAGEMENT	E	30/04/2019
A13	BASIX COMMITMENT	E	30/04/2019
A14	DRIVEWAY DETAIL	E	30/04/2019
A15	EXISTING SURVEY PLAN	E	30/04/2019



DRAWING REVISION Schedule		
No.	AMENDMENTS	DATE
A	FIRST ISSUE	20/03/2019
B	ADDED WINDOW TO LOUNGE, DOOR TO LAUNDRY, 2 WINDOWS TO KITCHEN, SKYLIGHT, A/C, CHANGES TO COLUMNS, WIR, WINDOW IN FF LOUNGE. POSITION TO WATER TANK	12/04/2019
C	REMOVE STONE CLADDING FROM COLUMNS	17/04/2019
D	UPDATE TO FULL SET DA ISSUE	23/04/2019
E	CHANGES TO BED 4 WALL, WALLS / DOOR TO STAIRS, NIB WALL IN KITCHEN, BALUSTRADE FINISH. ADDED AC DUCT TO LINEN, BASIX	30/04/2019

© COPYRIGHT. THIS DRAWING REMAINS THE PROPERTY OF G.J. GARDNER HOMES & IS PROVIDED FOR THE USE AS DESCRIBED & MAY NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION. ANY LANDSCAPING (WHEN SHOWN) ARE FOR ILLUSTRATIVE PURPOSES ONLY AND DO NOT FORM PART OF ANY CONTRACT

G.J. Gardner. HOMES
 Builders Details

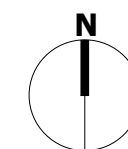
© COPYRIGHT EXCLUSIVE TO G.J. GARDNER HOMES

DRAFTERS:
KJR
 SUITE 302
 5 CELEBRATION DRIVE
 BELLA VISTA NSW 2153
 ABN 15 078 937 238
 (02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: DOUBLE STOREY DWELLING
SHERWOOD & ROBERTSON
 DRAWING TITLE:
COVER SHEET
 SCALE: 1 : 100

PROJECT:
LOT 23, 41 WARRIEWOOD ROAD
WARRIEWOOD NSW 2102

PAGES: SHEET SIZE:
A01 A3
 JOB NO:
 DRAWN: NF
 230247 - G.JGN088
 DATE: 30/04/2019



WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY FURTHER PLANS TO BE PREPARED.

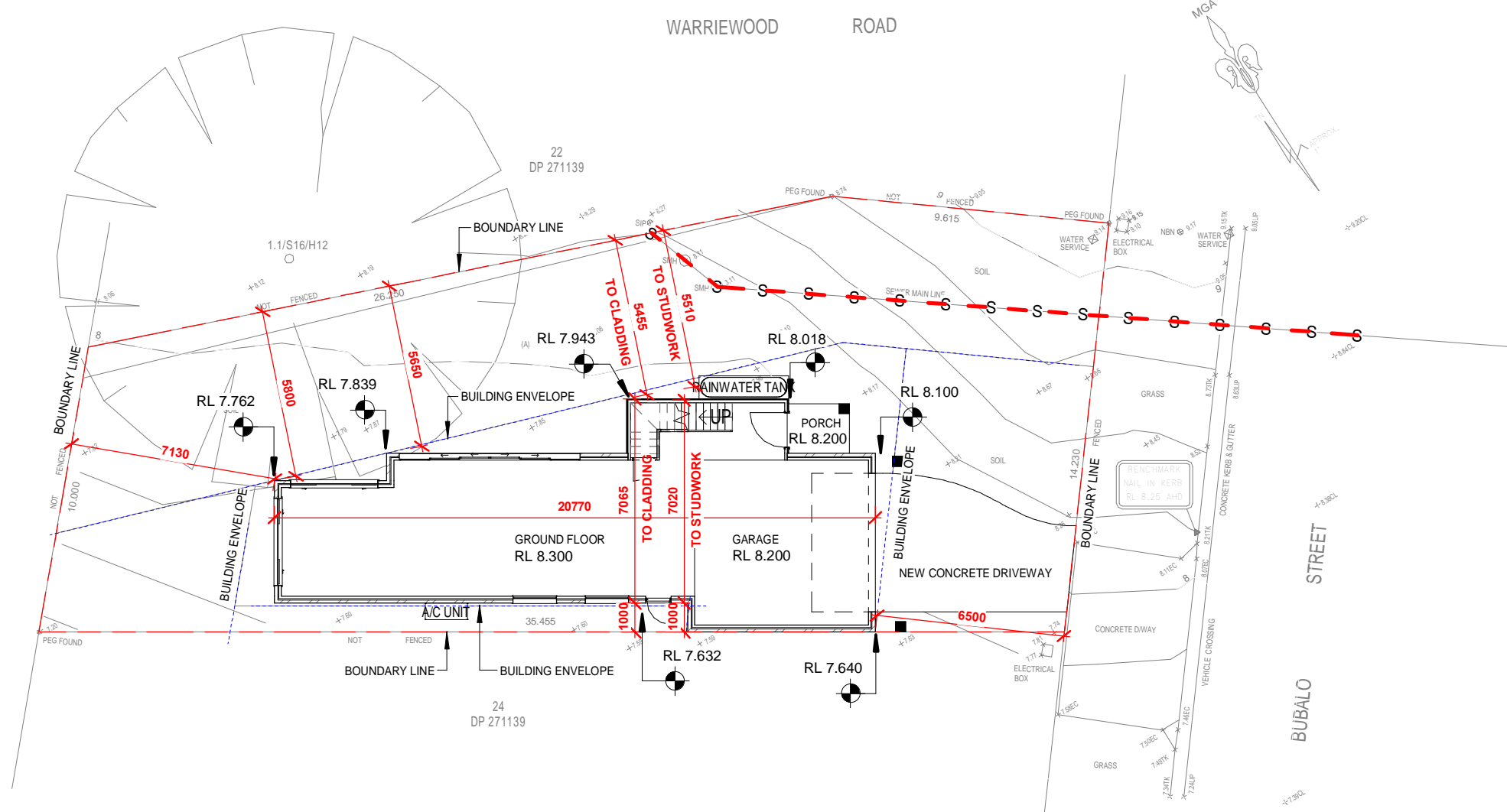
OWNER SIGNED: DATE:

OWNER SIGNED: DATE:

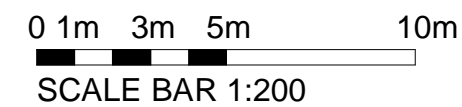
BUILDER SIGNED: DATE:

NOTE:

" FRONT SETBACK IS TO BE AT LEAST: 6.5m



1 SITE PLAN
1 : 200



DRAWING REVISION SCHEDULE		
No.	AMENDMENTS	DATE
A	FIRST ISSUE	20/03/2019
B	ADDED WINDOW TO LOUNGE, DOOR TO LAUNDRY, 2 WINDOWS TO KITCHEN, SKYLIGHT, A/C. CHANGES TO COLUMNS, WIR , WINDOW IN FF LOUNGE. POSITION TO WATER TANK	12/04/2019
C	REMOVE STONE CLADDING FROM COLUMNS	17/04/2019
D	UPDATE TO FULL SET DA ISSUE	23/04/2019
E	CHANGES TO BED 4 WALL, WALLS / DOOR TO STAIRS, NIB WALL IN KITCHEN, BALUSTRADE FINISH. ADDED AC DUCT TO LINEN, BASIX	30/04/2019

© COPYRIGHT. THIS DRAWING REMAINS THE PROPERTY OF G.J GARDNER HOMES & IS PROVIDED FOR THE USE AS DESCRIBED & MAY NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION. ANY LANDSCAPING (WHEN SHOWN) ARE FOR ILLUSTRATIVE PURPOSES ONLY AND DO NOT FORM PART OF ANY CONTRACT

G.J. Gardner. HOMES
Builders Details

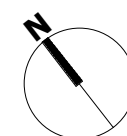
© COPYRIGHT EXCLUSIVE TO G.J. GARDNER HOMES

DRAFTERS:
KJR DRAFTING
SUITE 302
5 CELEBRATION DRIVE
BELLA VISTA NSW 2153
ABN 15 078 937 238
(02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: DOUBLE STOREY DWELLING
SHERWOOD & ROBERTSON
DRAWING TITLE:
SITE PLAN
SCALE: 1 : 200

PROJECT:
**LOT 23, 41 WARRIWOOD ROAD
WARRIWOOD NSW 2102**

PAGES: SHEET SIZE:
A02 A3
JOB NO:
DRAWN: NF
230247 - G.JGN088
DATE: 30/04/2019



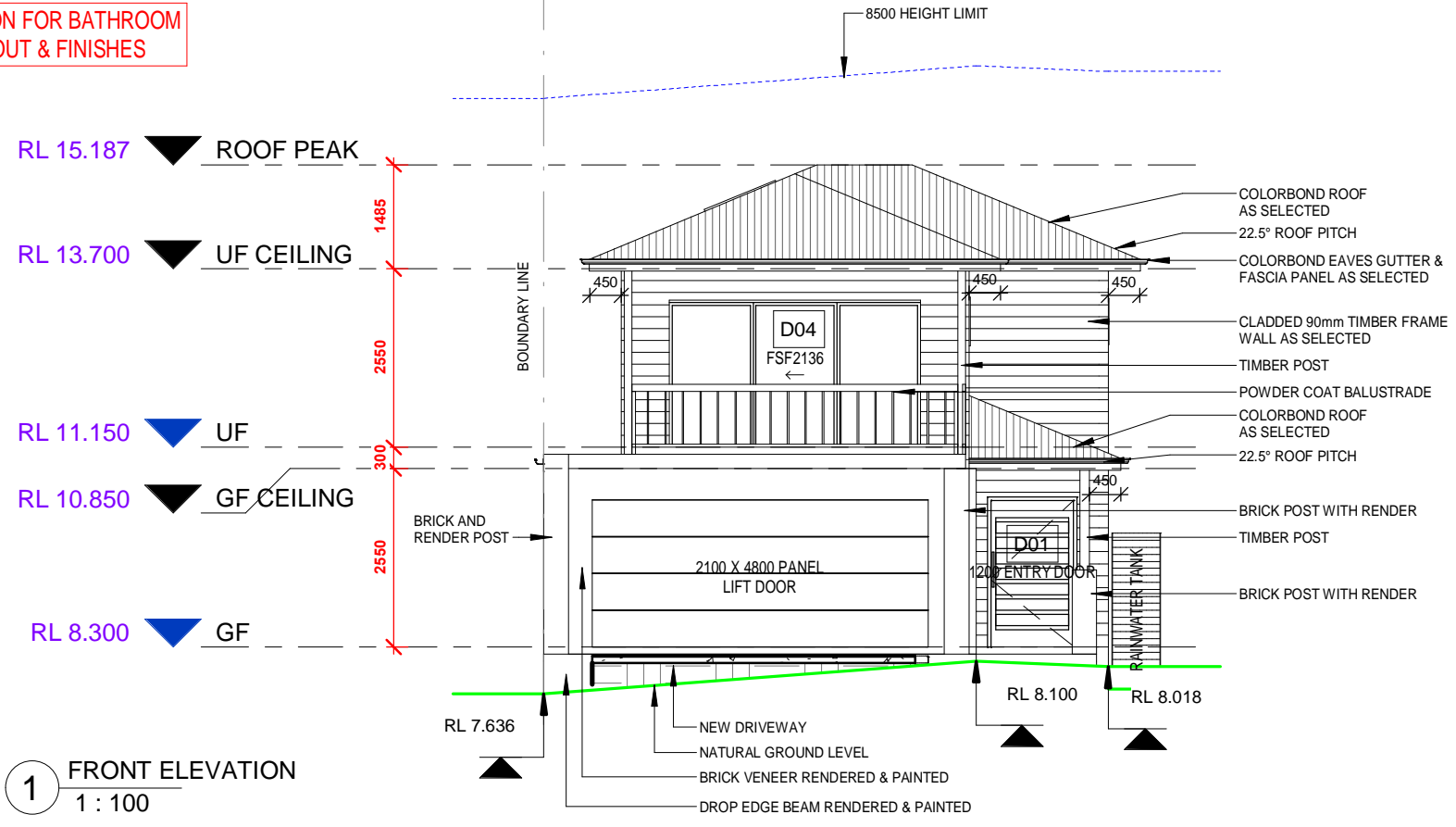
I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY FURTHER PLANS TO BE PREPARED.

OWNER SIGNED: DATE:

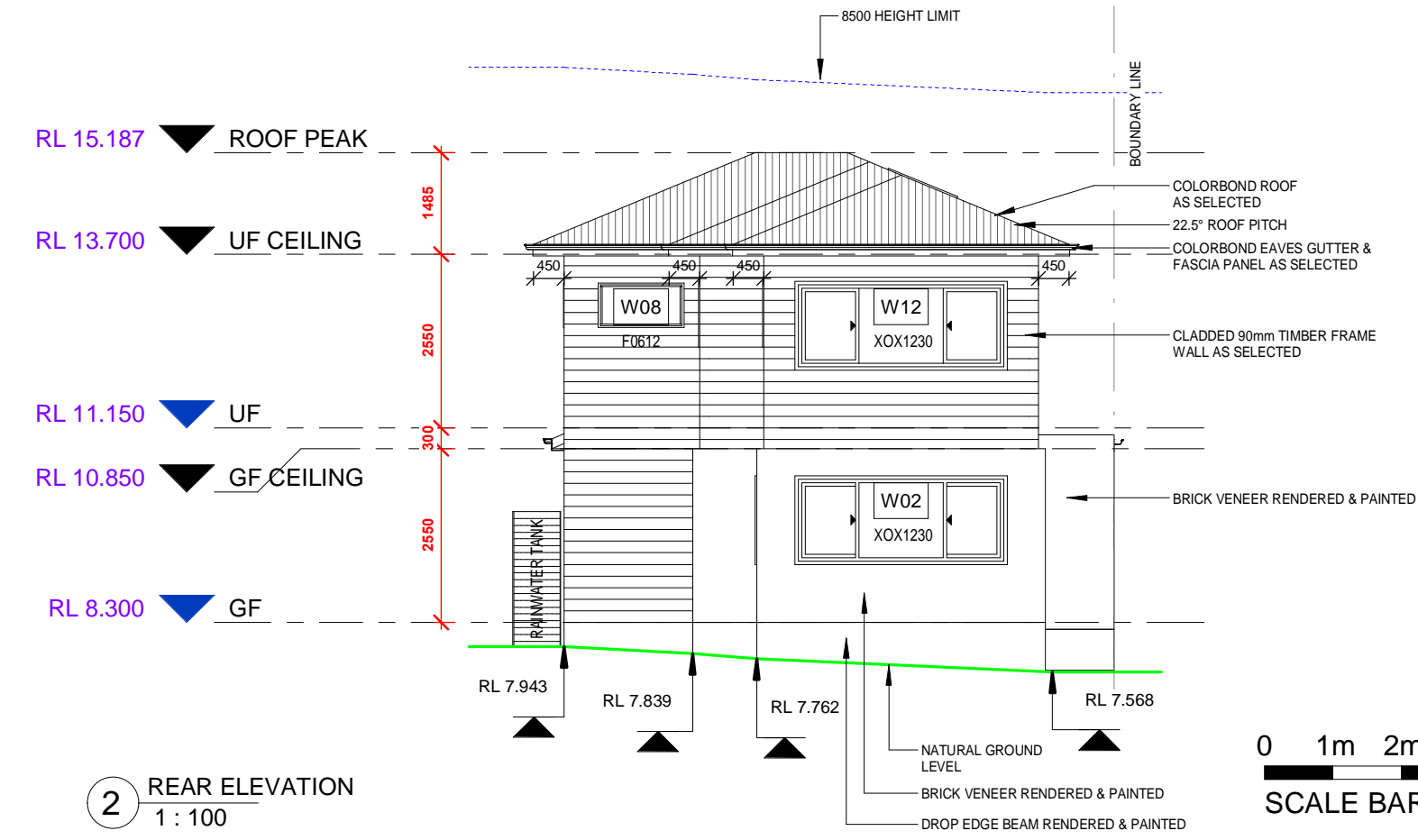
OWNER SIGNED: DATE:

BUILDER SIGNED: DATE:

REFER TO COLOUR SELECTION FOR BATHROOM AND LAUNDRY FINAL LAYOUT & FINISHES



1 FRONT ELEVATION
1 : 100



2 REAR ELEVATION
1 : 100

DOOR SCHEDULE

Code	Width	Height
D01	1200	2100
D02	6246	2100
D03	870	2100
D04	3588	2100
D05	790	2100

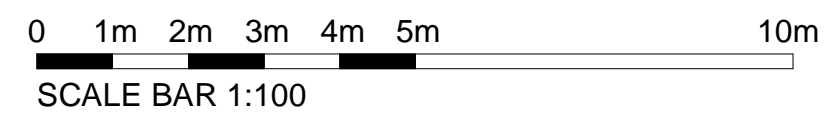
Grand total: 5

WINDOW SCHEDULE

Code	Width	Height
	1000	
W01	3010	1200
W02	3010	1200
W03	1500	600
W04	1500	600
W05	1810	600
W06	1200	600
W07	1200	600
W08	1200	600
W09	3010	860
W10	3010	860
W11	3010	860
W12	3010	1200
W13	2410	860
W14	1210	860
W15	2410	860
W16	2410	860

Grand total: 17

DRAWING REVISION SCHEDULE		
No.	AMENDMENTS	DATE
A	FIRST ISSUE	20/03/2019
B	ADDED WINDOW TO LOUNGE, 2 WINDOWS TO KITCHEN, SKYLIGHT, A/C, CHANGES TO COLUMNS, WIR. WINDOW IN FF LOUNGE. POSITION TO WATER TANK	12/04/2019
C	REMOVE STONE CLADDING FROM COLUMNS	17/04/2019
D	UPDATE TO FULL SET DA ISSUE	23/04/2019
E	CHANGES TO BED 4 WALL, WALLS / DOOR TO STAIRS, NIB WALL IN KITCHEN, BALUSTRADE FINISH. ADDED AC DUCT TO LINEN, BASIX	30/04/2019



© COPYRIGHT. THIS DRAWING REMAINS THE PROPERTY OF G.J. GARDNER HOMES & IS PROVIDED FOR THE USE AS DESCRIBED & MAY NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION. ANY LANDSCAPING (WHEN SHOWN) ARE FOR ILLUSTRATIVE PURPOSES ONLY AND DO NOT FORM PART OF ANY CONTRACT

G.J. Gardner. HOMES
Builders Details

© COPYRIGHT EXCLUSIVE TO G.J. GARDNER HOMES

DRAFTERS:
KJR DRAFTING
SUITE 302
5 CELEBRATION DRIVE
BELLA VISTA NSW 2153
ABN 15 078 937 238
(02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: DOUBLE STOREY DWELLING
SHERWOOD & ROBERTSON
DRAWING TITLE:
ELEVATIONS
SCALE: 1 : 100

PROJECT:
**LOT 23, 41 WARRIEWOOD ROAD
WARRIEWOOD NSW 2102**

PAGES: SHEET SIZE:
A05 A3
JOB NO:
DRAWN: NF
230247 - G.JGN088
DATE: 30/04/2019

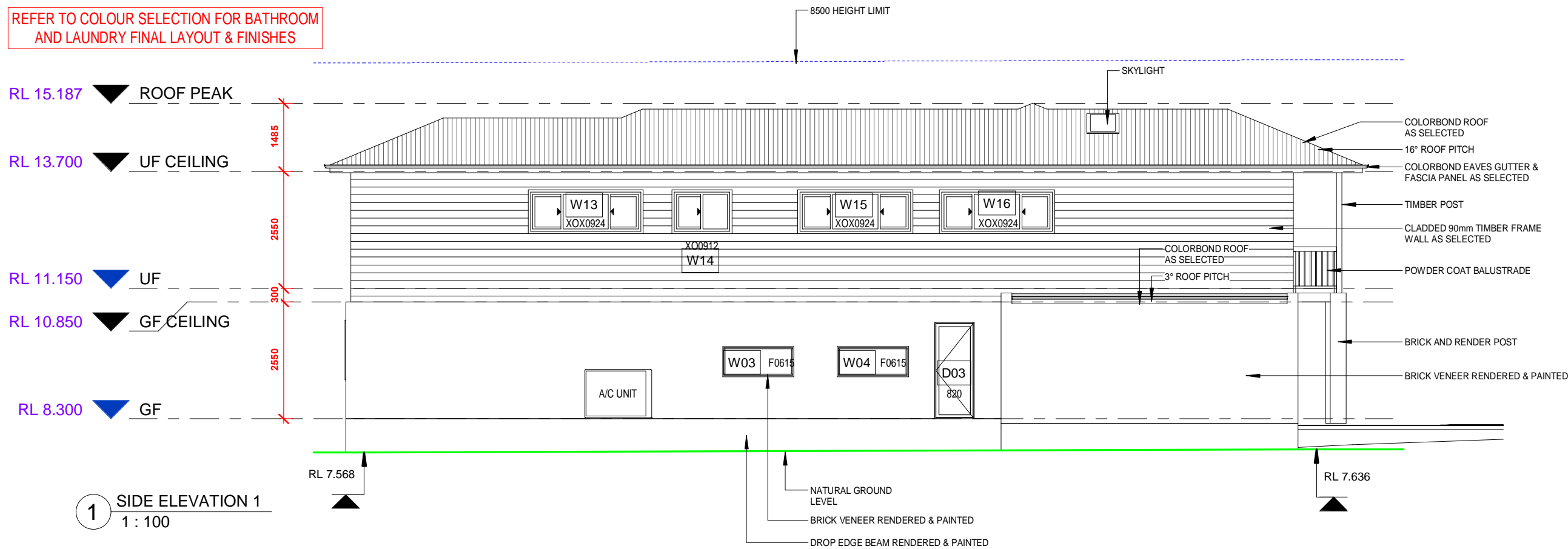
WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY FURTHER PLANS TO BE PREPARED.

OWNER SIGNED: DATE:

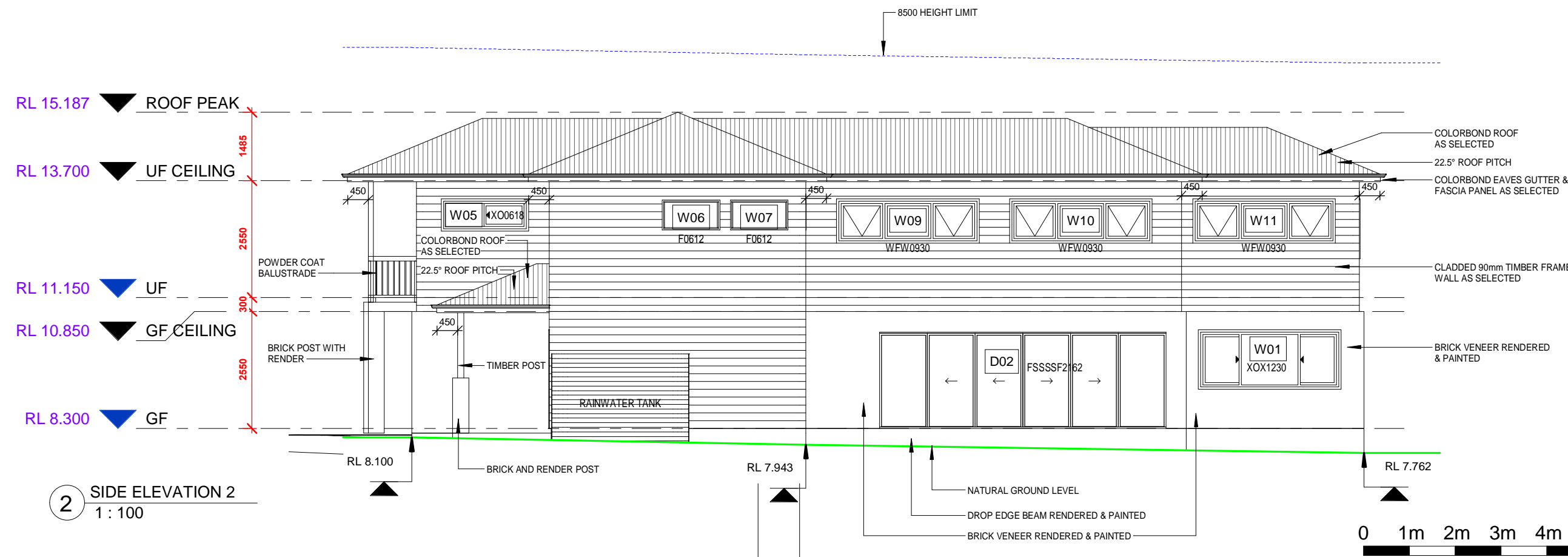
OWNER SIGNED: DATE:

BUILDER SIGNED: DATE:

REFER TO COLOUR SELECTION FOR BATHROOM AND LAUNDRY FINAL LAYOUT & FINISHES



1 SIDE ELEVATION 1
1 : 100



2 SIDE ELEVATION 2
1 : 100

DOOR SCHEDULE

Code	Width	Height
D01	1200	2100
D02	6246	2100
D03	870	2100
D04	3588	2100
D05	790	2100

Grand total: 5

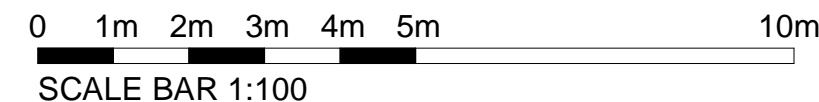
WINDOW SCHEDULE

Code	Width	Height
W01	3010	1200
W02	3010	1200
W03	1500	600
W04	1500	600
W05	1810	600
W06	1200	600
W07	1200	600
W08	1200	600
W09	3010	860
W10	3010	860
W11	3010	860
W12	3010	1200
W13	2410	860
W14	1210	860
W15	2410	860
W16	2410	860

Grand total: 17

DRAWING REVISION SCHEDULE

No.	AMENDMENTS	DATE
A	FIRST ISSUE	20/03/2019
B	ADDED WINDOW TO LOUNGE, DOOR TO LAUNDRY, 2 WINDOWS TO KITCHEN, SKYLIGHT, A/C, CHANGES TO COLUMNS, WIR, WINDOW IN FF LOUNGE. POSITION TO WATER TANK	12/04/2019
C	REMOVE STONE CLADDING FROM COLUMNS	17/04/2019
D	UPDATE TO FULL SET DA ISSUE	23/04/2019
E	CHANGES TO BED 4 WALL, WALLS / DOOR TO STAIRS, NIB WALL IN KITCHEN, BALUSTRADE FINISH. ADDED AC DUCT TO LINEN, BASIX	30/04/2019



© COPYRIGHT. THIS DRAWING REMAINS THE PROPERTY OF G.J. GARDNER HOMES & IS PROVIDED FOR THE USE AS DESCRIBED & MAY NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION. ANY LANDSCAPING (WHEN SHOWN) ARE FOR ILLUSTRATIVE PURPOSES ONLY AND DO NOT FORM PART OF ANY CONTRACT

G.J. Gardner. HOMES
Builders Details

© COPYRIGHT EXCLUSIVE TO G.J. GARDNER HOMES

DRAFTERS:
KJR
SUIITE 302
5 CELEBRATION DRIVE
BELLA VISTA NSW 2153
ABN 15 078 937 238
(02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: DOUBLE STOREY DWELLING
SHERWOOD & ROBERTSON
DRAWING TITLE:
ELEVATIONS
SCALE: 1 : 100

PROJECT:
**LOT 23, 41 WARRIEWOOD ROAD
WARRIEWOOD NSW 2102**

PAGES: SHEET SIZE:
A06 A3
JOB NO:
DRAWN: NF
230247 - G.JGN088
DATE: 30/04/2019

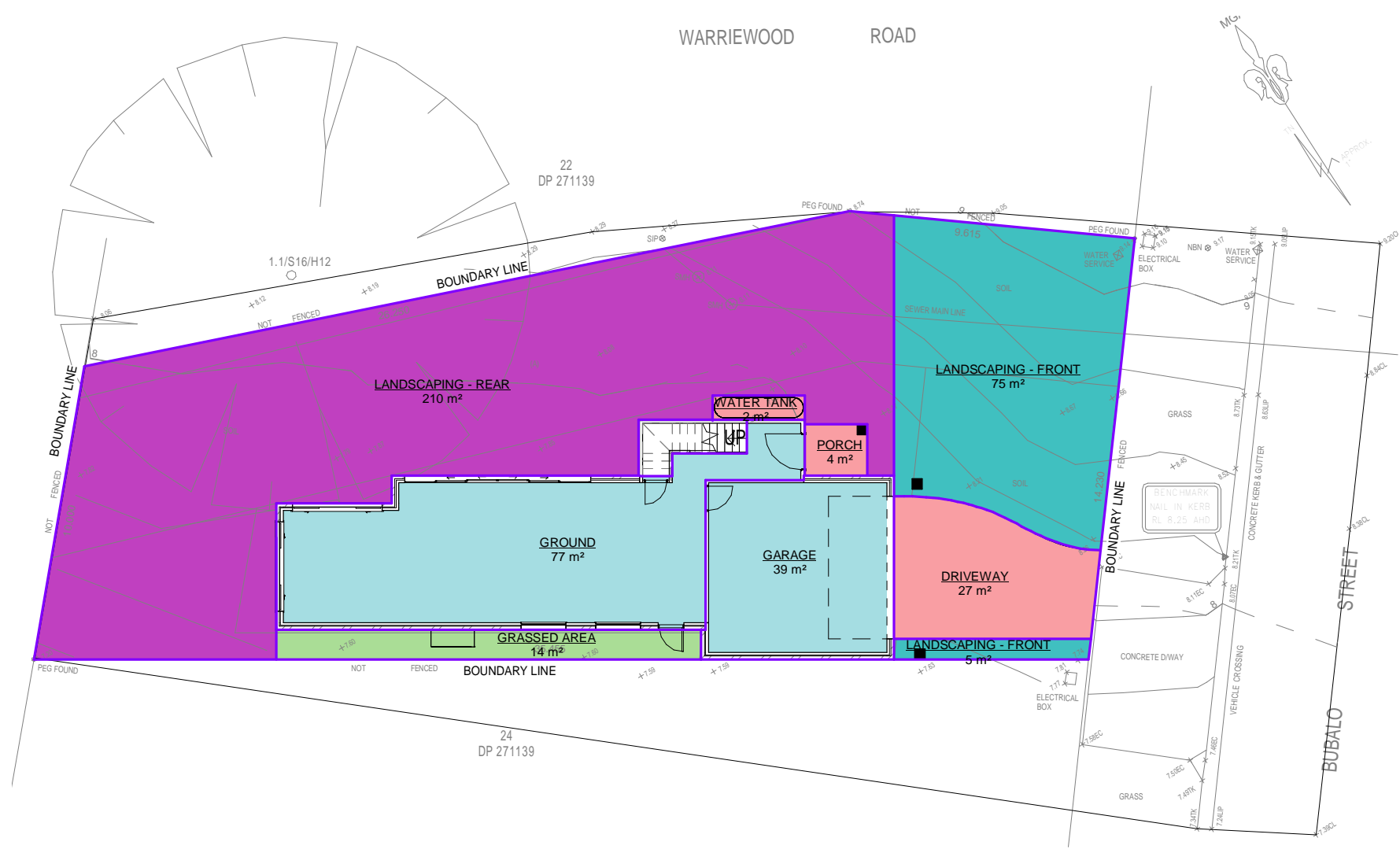
I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY FURTHER PLANS TO BE PREPARED.
OWNER SIGNED: _____ DATE: _____
OWNER SIGNED: _____ DATE: _____
BUILDER SIGNED: _____ DATE: _____

LANDSCAPE COLOURS

- BUILDING FOOTPRINT
- LANDSCAPING - FRONT
- LANDSCAPING - REAR
- OPEN LANDSCAPE
- OTHER AREAS

PROPOSED FLOOR SPACES		
NAME	AREA	%
FIRST FLOOR	101 m ²	47%
GARAGE	34 m ²	16%
GROUND	74 m ²	35%
PORCH	4 m ²	2%
TOTAL AREAS:	214 m ²	100%

LANDSCAPE SCHEDULE		
AREA NAME	AREA	%
BUILDING FOOTPRINT	116 m ²	26%
LANDSCAPING - FRONT	79 m ²	17%
LANDSCAPING - REAR	210 m ²	46%
OPEN LANDSCAPE	14 m ²	3%
OTHER AREAS	34 m ²	7%
TOTAL AREAS:	453 m ²	100%

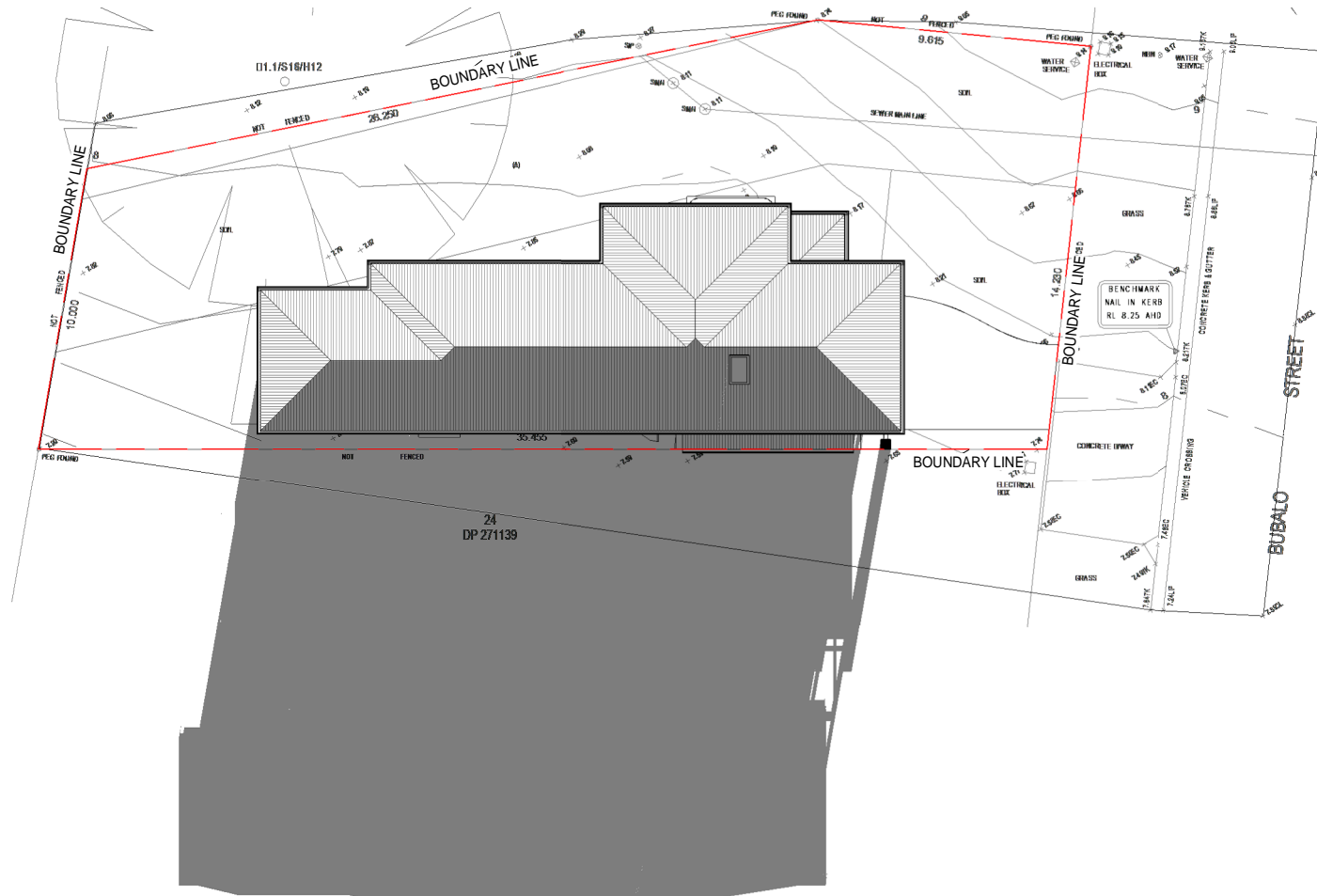


1 PROPOSED LANDSCAPE PLAN
1 : 200

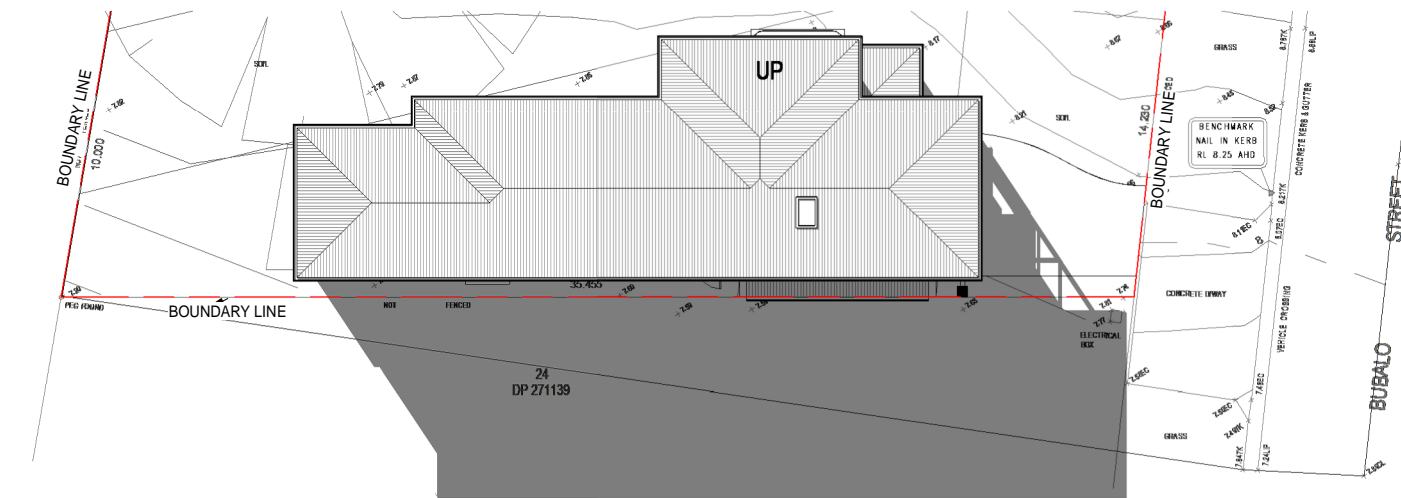
0 1m 3m 5m 10m
SCALE BAR 1:200

DRAWING REVISION SCHEDULE		
No.	AMENDMENTS	DATE
A	FIRST ISSUE	20/03/2019
B	ADDED WINDOW TO LOUNGE, DOOR TO LAUNDRY, 2 WINDOWS TO KITCHEN, SKYLIGHT, A/C. CHANGES TO COLUMNS, WIR , WINDOW IN FF LOUNGE. POSITION TO WATER TANK	12/04/2019
C	REMOVE STONE CLADDING FROM COLUMNS	17/04/2019
D	UPDATE TO FULL SET DA ISSUE	23/04/2019
E	CHANGES TO BED 4 WALL, WALLS / DOOR TO STAIRS, NIB WALL IN KITCHEN, BALUSTRADE FINISH. ADDED AC DUCT TO LINEN, BASIX	30/04/2019

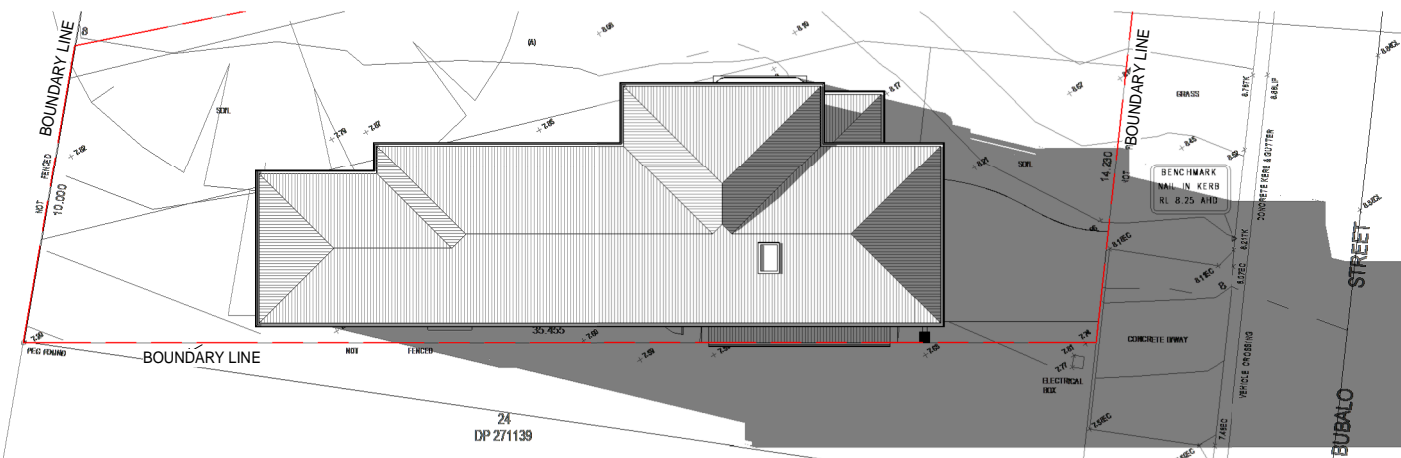
1 SHADOW DIAGRAM 9AM
1 : 250



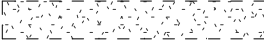
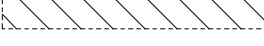
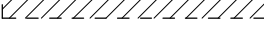
2 SHADOW DIAGRAM 12PM
1 : 250



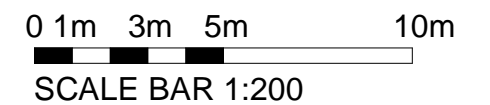
3 SHADOW DIAGRAM 3PM
1 : 250



SHADOW DIAGRAM LEGEND:
(21st JUNE)

-  9AM shadow
-  12PM shadow
-  3PM shadow

DRAWING REVISION SCHEDULE		
No.	AMENDMENTS	DATE
A	FIRST ISSUE	20/03/2019
B	ADDED WINDOW TO LOUNGE, DOOR TO LAUNDRY, 2 WINDOWS TO KITCHEN, SKYLIGHT, A/C, CHANGES TO COLUMNS, WIR, WINDOW IN FF LOUNGE. POSITION TO WATER TANK	12/04/2019
C	REMOVE STONE CLADDING FROM COLUMNS	17/04/2019
D	UPDATE TO FULL SET DA ISSUE	23/04/2019
E	CHANGES TO BED 4 WALL, WALLS / DOOR TO STAIRS, NIB WALL IN KITCHEN, BALUSTRADE FINISH. ADDED AC DUCT TO LINEN, BASIX	30/04/2019



© COPYRIGHT. THIS DRAWING REMAINS THE PROPERTY OF G.J GARDNER HOMES & IS PROVIDED FOR THE USE AS DESCRIBED & MAY NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION. ANY LANDSCAPING (WHEN SHOWN) ARE FOR ILLUSTRATIVE PURPOSES ONLY AND DO NOT FORM PART OF ANY CONTRACT

G.J. Gardner. HOMES
Builders Details

© COPYRIGHT EXCLUSIVE TO G.J. GARDNER HOMES

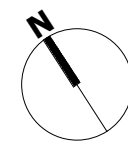
DRAFTERS:
KJR DRAFTING
SUITE 302
5 CELEBRATION DRIVE
BELLA VISTA NSW 2153
ABN 15 078 937 238
(02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: DOUBLE STOREY DWELLING
SHERWOOD & ROBERTSON

DRAWING TITLE:
SHADOW DIAGRAM
SCALE: As indicated

PROJECT:
**LOT 23, 41 WARRIEWOOD ROAD
WARRIEWOOD NSW 2102**

PAGES: SHEET SIZE:
A09 A3
JOB NO:
DRAWN: NF
230247 - G.JGN088
DATE: 30/04/2019

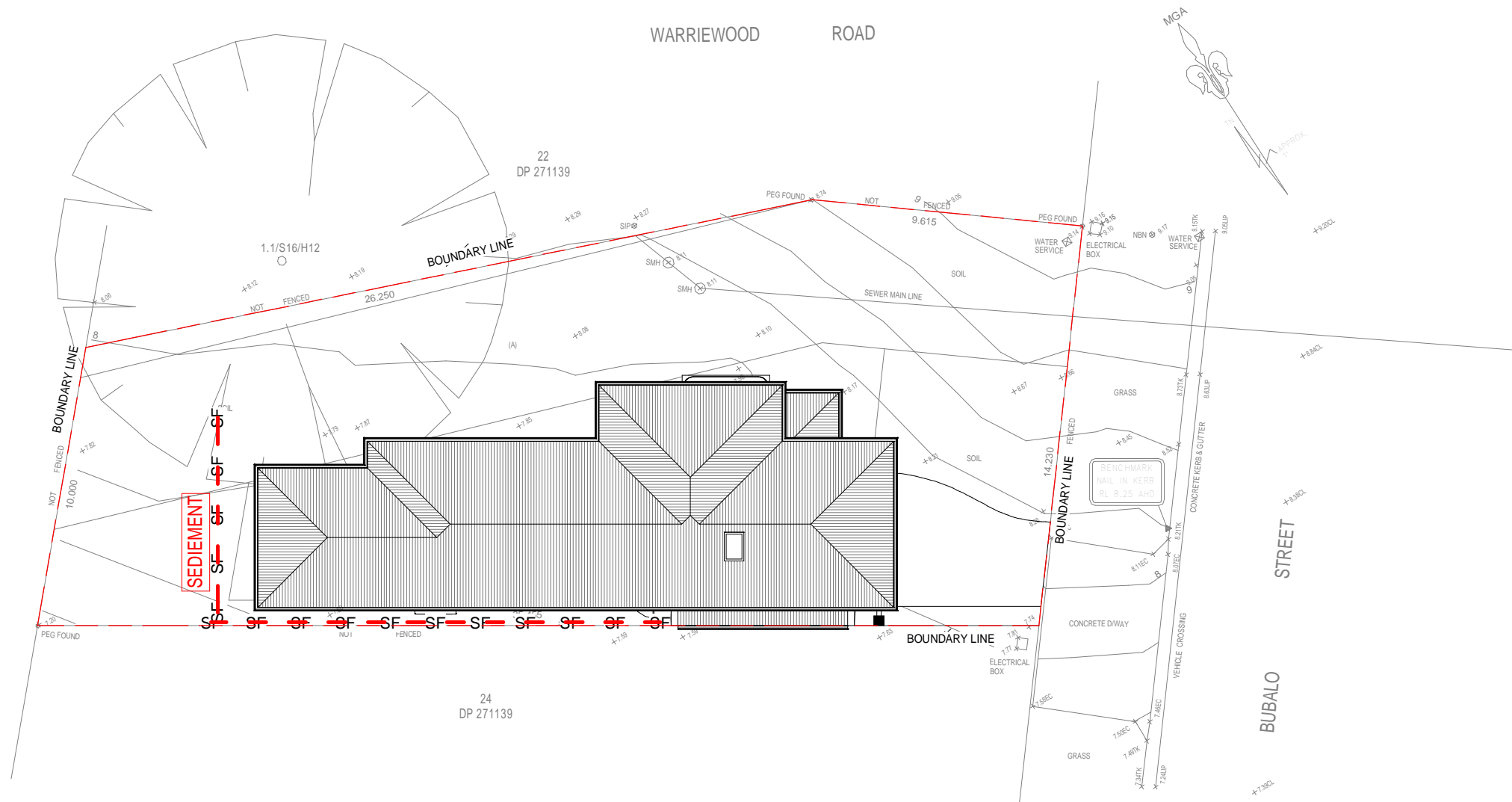


WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY FURTHER PLANS TO BE PREPARED.

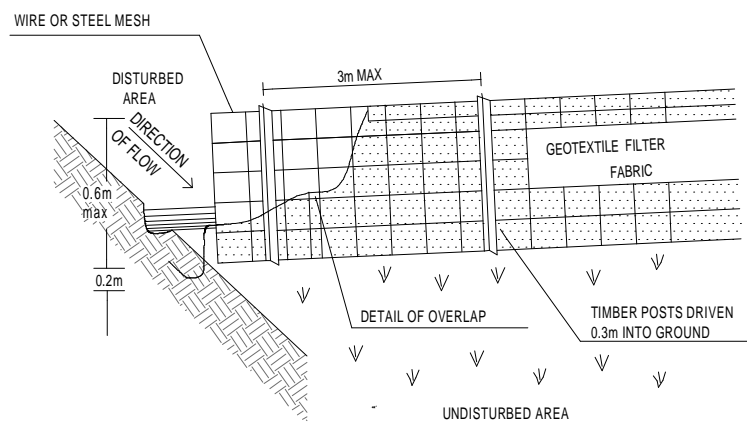
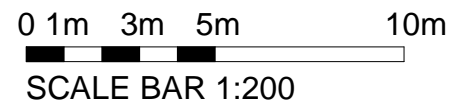
OWNER SIGNED: DATE:

OWNER SIGNED: DATE:

BUILDER SIGNED: DATE:



1 EROSION & SEDIMENT
1 : 200



SEDIMENT FENCE DETAILS

SEDIMENT CONTROL NOTES:

- ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL & TOP SOIL SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.
- ALL THE DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILISED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
- SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
- ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
- TOPSOIL FROM ALL AREAS THAT WILL BE DISTURBED TO STRIPPED AND STOCKPILED.
- SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AREA AREAS WHERE WATER MAY CONCENTRATE.
- STOCKPILE TOPSOIL SEPARATELY FROM SUBSOIL.
- STRIPPING OF GRASS AND VEGETATION ETC. FROM SITE SHALL BE KEPT TO A MINIMUM.
- FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.
- ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.

ALL SEDIMENT CONTROL STRUCTURES TO BE INSPECTED AFTER EACH RAINFALL EVENT FOR STRUCTURAL DAMAGE AND ALL TRAPPED SEDIMENT TO BE REMOVED TO A NOMINATED SOIL STOCKPILE SITE.

BOUNDARY NOTES:

- BOUNDARY INFORMATION SUPPLIED BY OWNER
- CONFIRM ALL BOUNDARY INFORMATION PRIOR TO COMMENCEMENT OF WORK.

SETOUT NOTES:

- BOUNDARY DIMENSIONS AND LOCATION OF DWELLING TO BE CONFIRMED AND SETOUT BY SURVEYOR PRIOR TO COMMENCEMENT OF WORK.
- BUILDER TO BE PRESENT TO CONFIRM PREFERENCE TO LOCATION.

DRAWING REVISION SCHEDULE		
No.	AMENDMENTS	DATE
A	FIRST ISSUE	20/03/2019
B	ADDED WINDOW TO LOUNGE, DOOR TO LAUNDRY, 2 WINDOWS TO KITCHEN, SKYLIGHT, A/C, CHANGES TO COLUMNS, WIR , WINDOW IN FF LOUNGE. POSITION TO WATER TANK	12/04/2019
C	REMOVE STONE CLADDING FROM COLUMNS	17/04/2019
D	UPDATE TO FULL SET DA ISSUE	23/04/2019
E	CHANGES TO BED 4 WALL, WALLS / DOOR TO STAIRS, NIB WALL IN KITCHEN, BALUSTRADE FINISH. ADDED AC DUCT TO LINEN, BASIX	30/04/2019

© COPYRIGHT. THIS DRAWING REMAINS THE PROPERTY OF G.J GARDNER HOMES & IS PROVIDED FOR THE USE AS DESCRIBED & MAY NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION. ANY LANDSCAPING (WHEN SHOWN) ARE FOR ILLUSTRATIVE PURPOSES ONLY AND DO NOT FORM PART OF ANY CONTRACT

G.J. Gardner. HOMES
Builders Details

© COPYRIGHT EXCLUSIVE TO G.J. GARDNER HOMES

DRAFTERS:
KJR
DRAFTING
SUITE 302
5 CELEBRATION DRIVE
BELLA VISTA NSW 2153
ABN 15 078 937 238
(02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: DOUBLE STOREY DWELLING
SHERWOOD & ROBERTSON
DRAWING TITLE:
EROSION & SEDIMENT PLAN
SCALE: 1 : 200

PROJECT:
**LOT 23, 41 WARRIEWOOD ROAD
WARRIEWOOD NSW 2102**

PAGES: SHEET SIZE:
A10 A3
JOB NO:
DRAWN: NF
230247 - G.JGN088
DATE: 30/04/2019

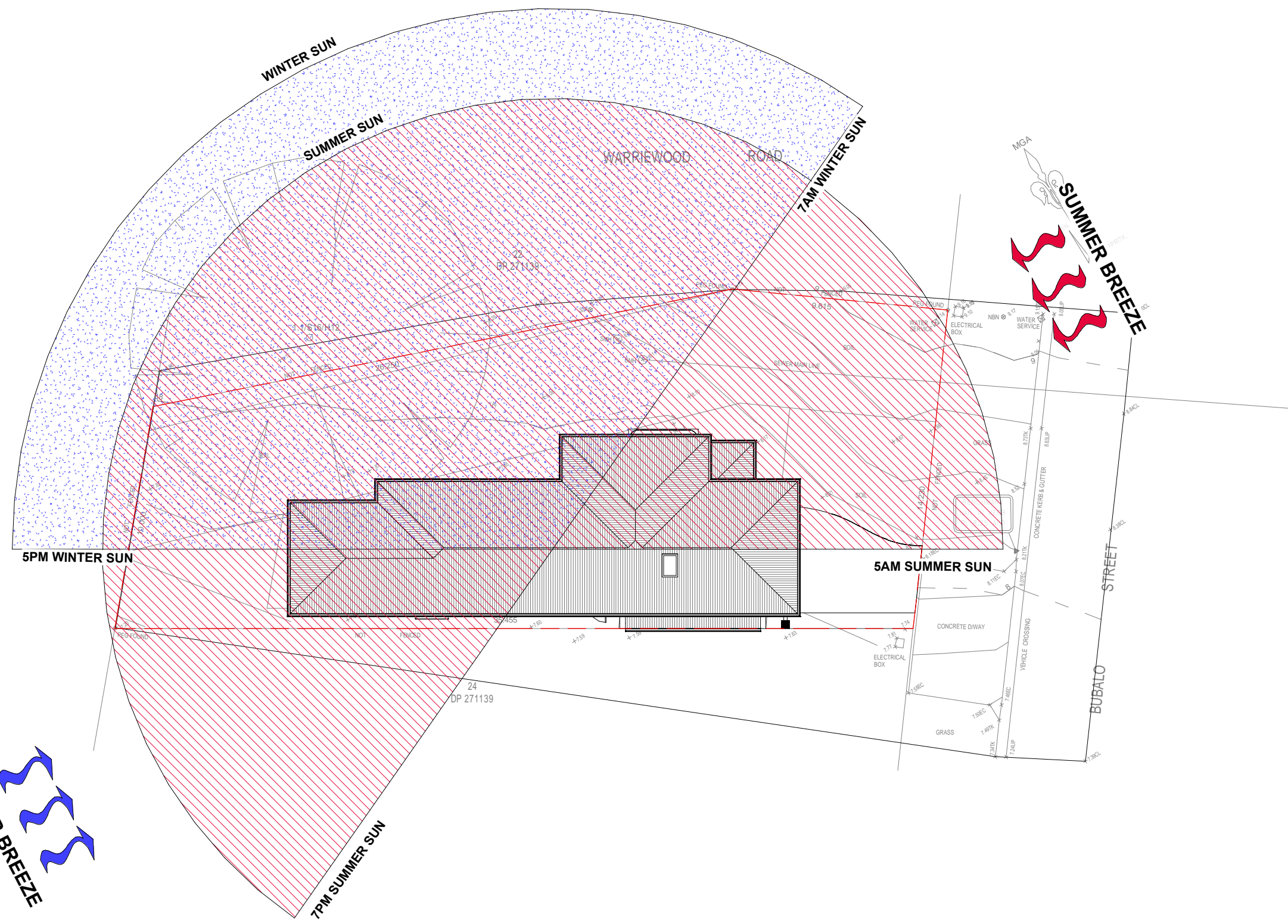


I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY FURTHER PLANS TO BE PREPARED.

OWNER SIGNED: DATE:

OWNER SIGNED: DATE:

BUILDER SIGNED: DATE:



DRAWING REVISION SCHEDULE		
No.	AMENDMENTS	DATE
A	FIRST ISSUE	20/03/2019
B	ADDED WINDOW TO LOUNGE, DOOR TO LAUNDRY, 2 WINDOWS TO KITCHEN, SKYLIGHT, A/C, CHANGES TO COLUMNS, WIR, WINDOW IN FF LOUNGE. POSITION TO WATER TANK	12/04/2019
C	REMOVE STONE CLADDING FROM COLUMNS	17/04/2019
D	UPDATE TO FULL SET DA ISSUE	23/04/2019
E	CHANGES TO BED 4 WALL, WALLS / DOOR TO STAIRS, NIB WALL IN KITCHEN, BALUSTRADE FINISH. ADDED AC DUCT TO LINEN, BASIX	30/04/2019

1 SITE ANALYSIS
1 : 200

© COPYRIGHT. THIS DRAWING REMAINS THE PROPERTY OF G.J GARDNER HOMES & IS PROVIDED FOR THE USE AS DESCRIBED & MAY NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION. ANY LANDSCAPING (WHEN SHOWN) ARE FOR ILLUSTRATIVE PURPOSES ONLY AND DO NOT FORM PART OF ANY CONTRACT

G.J. Gardner. HOMES Builders Details	DRAFTERS: SUITE 302 5 CELEBRATION DRIVE BELLA VISTA NSW 2153 ABN 15 078 937 238 (02) 8883 4344 kjrdrafting@kjr.net.au	CLIENT: DOUBLE STOREY DWELLING SHERWOOD & ROBERTSON	PROJECT: LOT 23, 41 WARRIEWOOD ROAD WARRIEWOOD NSW 2102	PAGES: A11 SHEET SIZE: A3		I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY FURTHER PLANS TO BE PREPARED. OWNER SIGNED: DATE: OWNER SIGNED: DATE: BUILDER SIGNED: DATE:
		DRAWING TITLE: SITE ANALYSIS SCALE: 1 : 200	JOB NO: DRAWN: NF 230247 - G.JGN088 DATE: 30/04/2019			

**WASTE MANAGEMENT PLAN FOR PROPOSED 2 STOREY DWELLING AT:
LOT 23, 41 WARRIEWOOD ROAD, WARRIEWOOD NSW**

DEMOLITION PHASE				
MATERIALS ON-SITE		DESTINATION		
		Reuse & Recycling		Disposal
Type of materials	Estimated volume (m3)	On-Site Specify proposed reuse or on-site recycling method	Offsite Specify contractor and recycling outlet	Specify contractor or landfill site
Green waste	2	Chip and compost for landscaping and new gardens	-	Nil to landfill
Bricks	Nil			Nil to landfill
Concrete	20		Waste Management centre for recycling	Nil to landfill
Timber	10	Used for formwork and studwork, site shed or temporary fence	Long lengths of good quality timber to Timber Recycling Company. Lengths less than 1 meter to Waste Management centre for recycling	Nil to landfill
Plasterboard	10		Waste Management centre	Taken to landfill
Roof tiles	8		Good tiles to Waste Management centre for recycling; sell to second hand building supplies	Nil to landfill
Metals	2		Waste Management centre for recycling	Nil to landfill
Asbestos	5		Cart to licensed asbestos tip	Taken to landfill

CONSTRUCTION PHASE				
MATERIALS ON-SITE		DESTINATION		
		Reuse & Recycling		Disposal
Type of materials	Estimated volume (m3)	On-Site Specify proposed reuse or on-site recycling method	Offsite Specify contractor and recycling outlet	Specify contractor or landfill site
Excavation Material	5	Re-use for backfill under slab. Remove top soil and stockpile for use in landscaping	-	
Green waste	Nil			
Bricks	Nil			
Concrete	2		Excess concrete returned to supplier	Nil to landfill
Timber	2		Excess timber returned to supplier	Nil to landfill
Plasterboard	0.5		Excess plasterboard returned to supplier	Nil to landfill
Roof colorbond	0.5		Excess colorbond roof returned to supplier	Nil to landfill
Metals	0.1		Waste Management centre for recycling	Nil to landfill

USE OF PREMISES			
Type of Waste to be Generated	Expected volume per week (m3)	On-Site Specify proposed reuse or on-site recycling method	Destination
Food, general domestic waste	0.4	Bins located on site	Disposal via council rubbish removal
Paper, Cardboard	0.1	Bins located on site	Disposal via council recycling collection
Glass, Bottles	0.1	Bins located on site	Disposal via council recycling collection

DRAWING REVISION SCHEDULE		
No.	AMENDMENTS	DATE
A	FIRST ISSUE	20/03/2019
B	ADDED WINDOW TO LOUNGE, DOOR TO LAUNDRY, 2 WINDOWS TO KITCHEN, SKYLIGHT, A/C, CHANGES TO COLUMNS, WIR, WINDOW IN FF LOUNGE. POSITION TO WATER TANK	12/04/2019
C	REMOVE STONE CLADDING FROM COLUMNS	17/04/2019
D	UPDATE TO FULL SET DA ISSUE	23/04/2019
E	CHANGES TO BED 4 WALL, WALLS / DOOR TO STAIRS, NIB WALL IN KITCHEN, BALUSTRADE FINISH. ADDED AC DUCT TO LINEN, BASIX	30/04/2019

© COPYRIGHT. THIS DRAWING REMAINS THE PROPERTY OF G.J GARDNER HOMES & IS PROVIDED FOR THE USE AS DESCRIBED & MAY NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION. ANY LANDSCAPING (WHEN SHOWN) ARE FOR ILLUSTRATIVE PURPOSES ONLY AND DO NOT FORM PART OF ANY CONTRACT

G.J. Gardner. HOMES
 Builders Details

© COPYRIGHT EXCLUSIVE
 TO G.J. GARDNER HOMES

DRAFTERS:

 SUITE 302
 5 CELEBRATION DRIVE
 BELLA VISTA NSW 2153
 ABN 15 078 937 238
 (02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: DOUBLE STOREY DWELLING
 SHERWOOD & ROBERTSON
 DRAWING TITLE:
 WASTE MANAGEMENT
 SCALE: 1 : 1

PROJECT:
 LOT 23, 41 WARRIEWOOD ROAD
 WARRIEWOOD NSW 2102

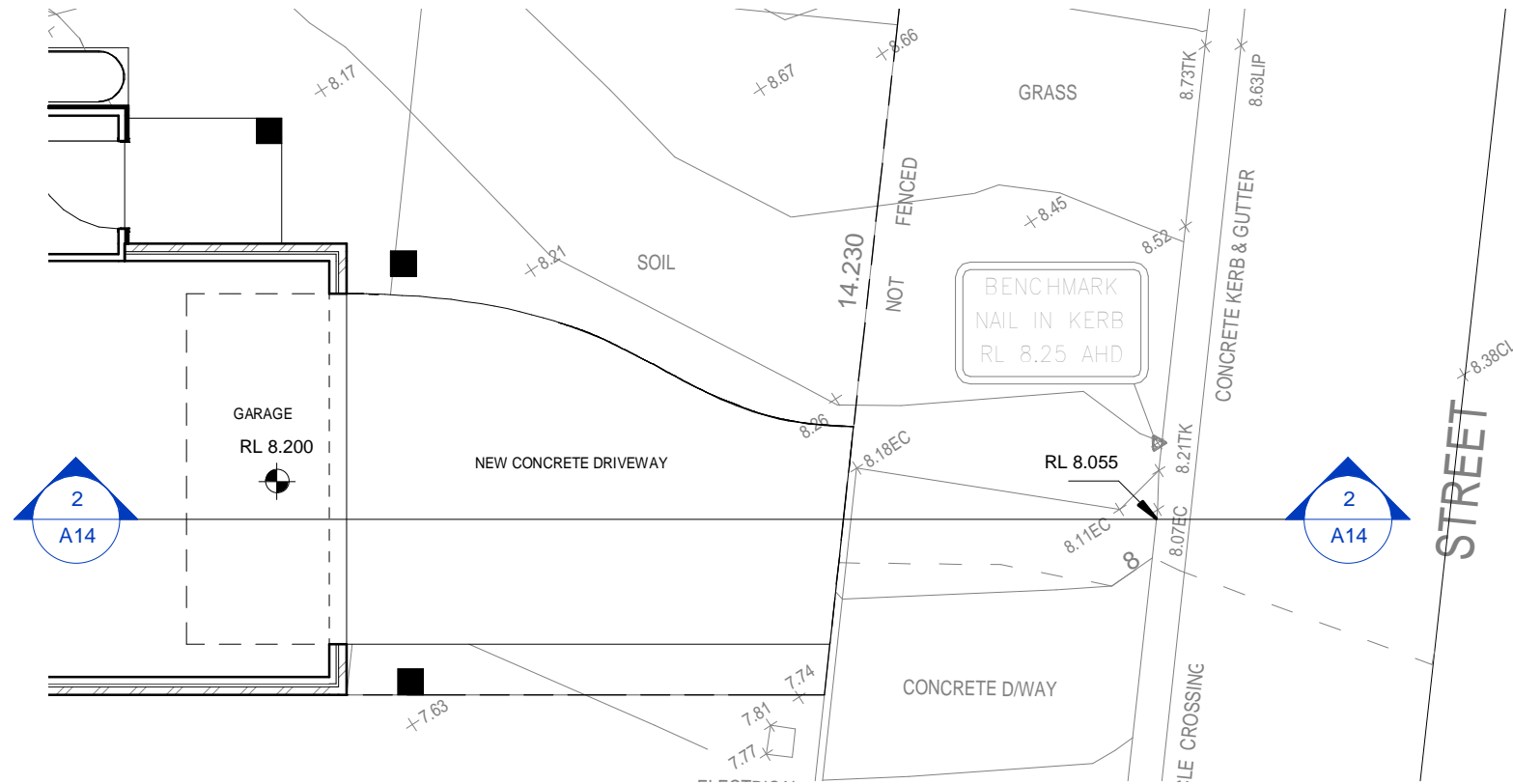
PAGES: SHEET SIZE:
 A12 A3
 JOB NO:
 DRAWN: NF
 230247 - G.JGN088
 DATE: 30/04/2019

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY
 DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS
 REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN
 ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY
 FURTHER PLANS TO BE PREPARED.

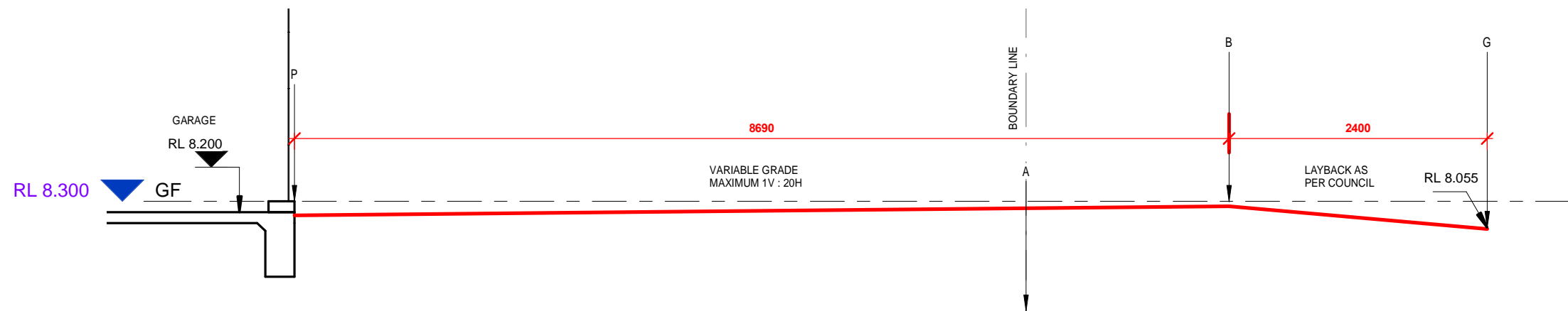
OWNER SIGNED: DATE:

OWNER SIGNED: DATE:

BUILDER SIGNED: DATE:



1 DRIVEWAY PLAN
1 : 100



2 DRIVEWAY
1 : 50

DRAWING REVISION SCHEDULE		
No.	AMENDMENTS	DATE
A	FIRST ISSUE	20/03/2019
B	ADDED WINDOW TO LOUNGE, DOOR TO LAUNDRY, 2 WINDOWS TO KITCHEN, SKYLIGHT, A/C, CHANGES TO COLUMNS, WIR, WINDOW IN FF LOUNGE. POSITION TO WATER TANK	12/04/2019
C	REMOVE STONE CLADDING FROM COLUMNS	17/04/2019
D	UPDATE TO FULL SET DA ISSUE	23/04/2019
E	CHANGES TO BED 4 WALL, WALLS / DOOR TO STAIRS, NIB WALL IN KITCHEN, BALUSTRADE FINISH. ADDED AC DUCT TO LINEN, BASIX	30/04/2019

© COPYRIGHT. THIS DRAWING REMAINS THE PROPERTY OF G.J GARDNER HOMES & IS PROVIDED FOR THE USE AS DESCRIBED & MAY NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION. ANY LANDSCAPING (WHEN SHOWN) ARE FOR ILLUSTRATIVE PURPOSES ONLY AND DO NOT FORM PART OF ANY CONTRACT

G.J. Gardner. HOMES
Builders Details

© COPYRIGHT EXCLUSIVE TO G.J. GARDNER HOMES

DRAFTERS:
KJR DRAFTING
SUITE 302
5 CELEBRATION DRIVE
BELLA VISTA NSW 2153
ABN 15 078 937 238
(02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: DOUBLE STOREY DWELLING
SHERWOOD & ROBERTSON
DRAWING TITLE:
DRIVEWAY DETAIL
SCALE: As indicated

PROJECT:
**LOT 23, 41 WARRIEWOOD ROAD
WARRIEWOOD NSW 2102**

PAGES: SHEET SIZE:
A14 A3
JOB NO:
DRAWN: NF
230247 - G.JGN088
DATE: 30/04/2019

WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY FURTHER PLANS TO BE PREPARED.
OWNER SIGNED: _____ DATE: _____
OWNER SIGNED: _____ DATE: _____
BUILDER SIGNED: _____ DATE: _____

NOTE:

BOUNDARIES HAVE BEEN DETERMINED BY SURVEY ON 01/03/2019.

PRIOR TO ANY CONSTRUCTION WORK, SURVEY MARKS SHOULD BE PLACED TO DEFINE THE PROPERTY BOUNDARIES.

SERVICES SHOWN ARE INDICATIVE ONLY. POSITIONS ARE BASED ON SURFACE INDICATOR(S) LOCATED DURING FIELD SURVEY. CONFIRMATION OF THE EXACT POSITION SHOULD BE MADE PRIOR TO ANY EXCAVATION WORK. OTHER SERVICES MAY EXIST WHICH ARE NOT SHOWN.

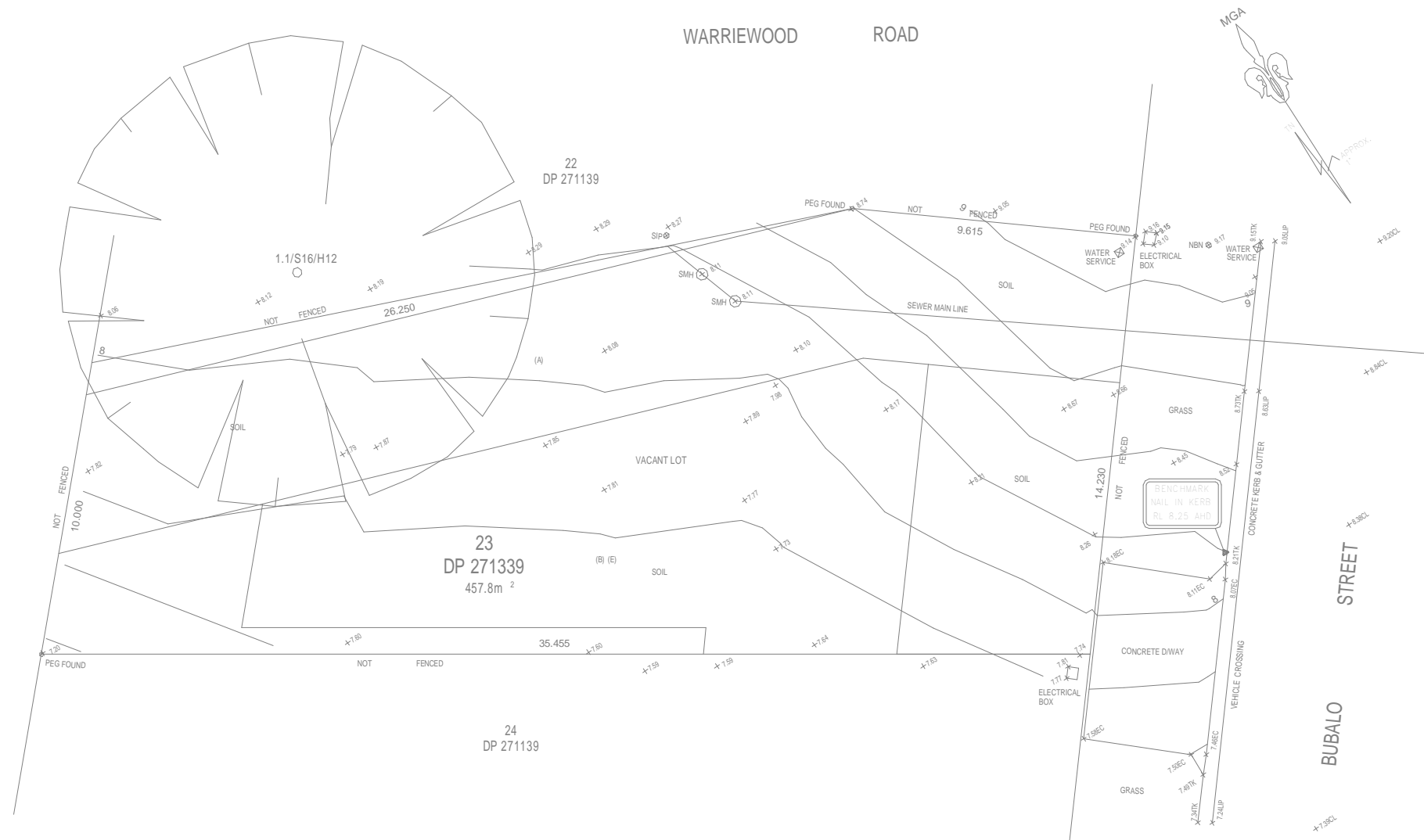
LEVELS ARE BASED ON AUSTRALIAN HEIGHT DATUM (AHD) USING SSM 24845 WITH RL 12.835 (AHD).

CONTOURS SHOWN DEPICT THE TOPOGRAPHY. EXCEPT AT SPOT LEVELS SHOWN THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. THE SPOT LEVELS ARE TRUE FOR THEIR POSITION, AND ARE INTENDED TO BE USEFUL TO REPRESENT THE GENERAL TERRAIN. CARE SHOULD BE TAKEN IF EXTRAPOLATING.

(A) EASEMENT FOR SEWAGE PURPOSES 5 WIDE (VIDE 6771995)
(B)(E) RESTRICTION ON THE USE OF LAND

LEGEND

BENCH MARK	▲
TELSTRA PIT	⊠ TEL
ELECTRIC LIGHT POLE	⊕ LP
POWER POLE	⊕ PP
SIGN POST	⊕ SP
SEWER INSPECTION PIT	⊕ SIP
SEWER VENT	⊕ SEWER
MANHOLE	⊕ MH
SEWER MANHOLE	⊕ SMH
STOP VALVE	⊕ SV
WATER HYDRANT	⊕ HYD
WATER METER	⊕ WM
GAS METER	⊕ G
STATE SURVEY MARK	⊕ SSM



TSS TOTAL SURVEYING SOLUTIONS
ARTARMON | CAMDEN | MANLY VALE

NOTE:
INFORMATION CONTAINED IN THIS PLAN IS THE COPYRIGHT OF TOTAL SURVEYING SOLUTIONS. THE USE OR DUPLICATION WITHOUT THE WRITTEN CONSENT OF TOTAL SURVEYING SOLUTIONS CONSTITUTES AN INFRINGEMENT OF COPYRIGHT.

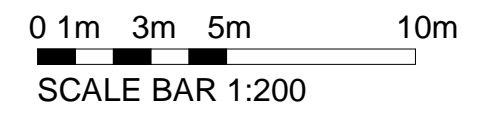
LEGEND
EC - EDGE OF CONCRETE
TK - TOP OF KERB
TG - TOP OF GUTTER
Ø.4/S10/H16 - TREE DIAMETER/SPREAD/HEIGHT

PLAN SHOWING DETAIL & LEVELS OVER LOT 23 IN DP271139
CLIENT: GJ GARDNER HOMES SYDNEY NORTH
PROJECT: WARRIEWOOD
ADDRESS: LOT 23, 41 WARRIEWOOD ROAD, WARRIEWOOD

JOB No: 190462	LGA: NORTHERN BEACHES
PLAN No: 190462_A	DATUM: AHD
DATE: 08/03/2019	SCALE: 1:100@A2
DRAWN: DF	CONT. INTERVAL: 0.25m
CHK: GS	SHEET 1 OF 1

DRAWING REVISION SCHEDULE		
No.	AMENDMENTS	DATE
A	FIRST ISSUE	20/03/2019
B	ADDED WINDOW TO LOUNGE, DOOR TO LAUNDRY, 2 WINDOWS TO KITCHEN, SKYLIGHT, A/C, CHANGES TO COLUMNS, WIR, WINDOW IN FF LOUNGE. POSITION TO WATER TANK	12/04/2019
C	REMOVE STONE CLADDING FROM COLUMNS	17/04/2019
D	UPDATE TO FULL SET DA ISSUE	23/04/2019
E	CHANGES TO BED 4 WALL, WALLS / DOOR TO STAIRS, NIB WALL IN KITCHEN, BALUSTRADE FINISH. ADDED AC DUCT TO LINEN, BASIX	30/04/2019

1 EXISTING SURVEY
1 : 200



<p>G.J. Gardner. HOMES Builders Details</p>	<p>© COPYRIGHT EXCLUSIVE TO G.J. GARDNER HOMES</p>	<p>DRAFTERS: KJR DRAFTING SUITE 302 5 CELEBRATION DRIVE BELLA VISTA NSW 2153 ABN 15 078 937 238 (02) 8883 4344 kjrdrafting@kjr.net.au</p>	<p>CLIENT: DOUBLE STOREY DWELLING SHERWOOD & ROBERTSON</p>	<p>PROJECT: LOT 23, 41 WARRIEWOOD ROAD WARRIEWOOD NSW 2102</p>	<p>PAGES: A15 SHEET SIZE: A3</p>	<p>OWNER SIGNED: _____ DATE: _____ OWNER SIGNED: _____ DATE: _____ BUILDER SIGNED: _____ DATE: _____</p>
		<p>DRAWING TITLE: EXISTING SURVEY PLAN SCALE: 1 : 200</p>	<p>DATE: 30/04/2019</p>			

© COPYRIGHT. THIS DRAWING REMAINS THE PROPERTY OF G.J. GARDNER HOMES & IS PROVIDED FOR THE USE AS DESCRIBED & MAY NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION. ANY LANDSCAPING (WHEN SHOWN) ARE FOR ILLUSTRATIVE PURPOSES ONLY AND DO NOT FORM PART OF ANY CONTRACT

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY FURTHER PLANS TO BE PREPARED.

Proposed Lot 23 Warriewood Road, Warriewood

External Finishes Schedule



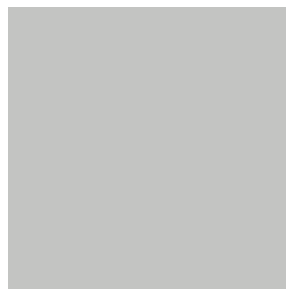
Roof & Gutters – Colorbond Windspray

Windows – Pearl White

Fascia – Colorbond Thredbo White



Garage Door – Dover White



James Hardie Cladding & Render – Dulux Tranquil Retreat

Front Door and Trim – Dulux Lexicon Quarter

PLEASE NOTE: Colours reflected on this schedule do NOT necessarily reflect true colours