

Council
Copy



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CONSTRUCTION CERTIFICATE No 2007/476(A)

Signature  **Approval Date** 27/08/09
Issued in accordance with the provisions of the Environmental & Assessment Act 1979 under Sections 109C(1)(b) and 109F

COUNCIL Pittwater

DEVELOPMENT CONSENT NO N0724/06 **APPROVAL DATE** 18/04/07
Name of Certifying Authority Fitzgerald Building Certifiers Pty Ltd
Name of Accredited Certifier Paul Fitzgerald - No BPB0119
Accreditation Body BUILDING PROFESSIONALS BOARD

Applicant Emma & Daniel Moran
Address 183 Barrenjoey Rd Newport NSW 2106
Contact Number 9940 0990

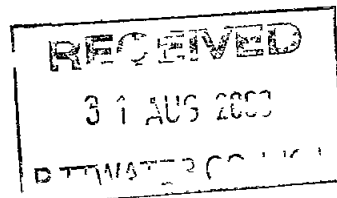
Owner Emma & Daniel Moran
Address 183 Barrenjoey Rd Newport
Contact Number 0404 319 687

Subject Land Lot DP No 183 Barrenjoey Rd Newport
Description of Development - Alterations & Additions
Building Code of Australia Classification 1a **Value of Work \$** 20 000 00

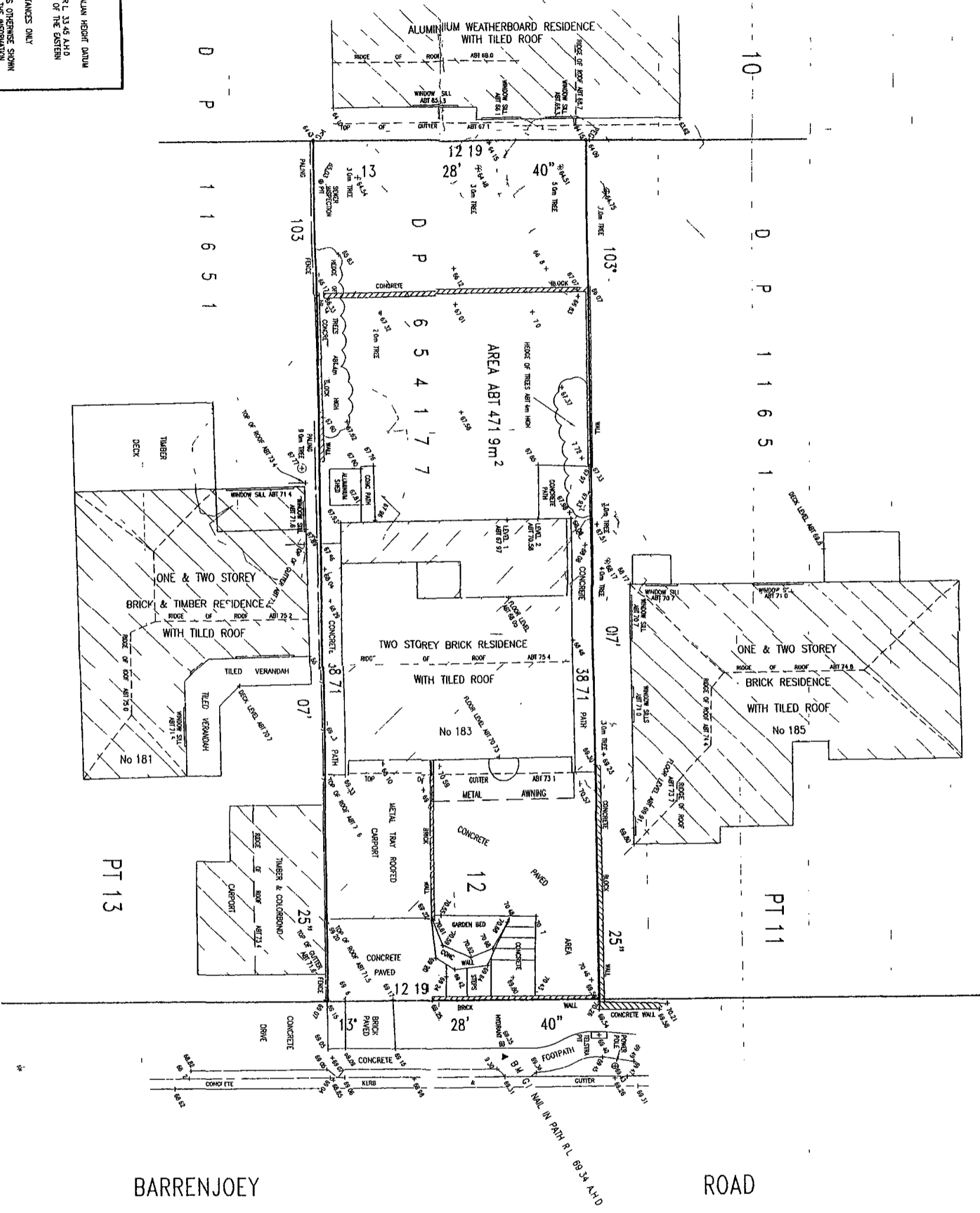
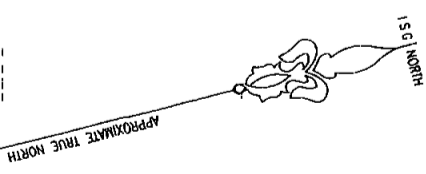
Owner Builder
Name Emma Moran
Permit Number 322150P
Address 183 Barrenjoey Rd Newport
Contact Number 0404 319 687

Approved Plans And Documents

Plans Prepared By	Drawing Nos	Dated
JJDrafting	DA1 - DA4	April 09
Engineers Details Prepared By	Drawing Nos	Dated
Byrne & Associates	A1 - S635	25/02/04



PRUC - \$30 - R - 265541



NOTE

1. LEVELS SHOWN THIS + ARE BASED ON AUSTRALIAN HEIGHT DATUM
2. ORIGIN OF LEVELS - STONEY WATER BOLT No 6 R.L. 33.45 A.H.D. LOCATED IN PHILIP ROAD ALONG THE PROLONGATION OF THE EASTERN BOUNDARY OF No 4 PHILIP ROAD
3. DO NOT SCALE - USE PROVIDED BEARINGS & DISTANCES ONLY
4. BASIC LEVEL AND DETAIL SURVEY ONLY - UNLESS OTHERWISE SHOWN THE POSITION OF ANY OBJECTS ARE APPROXIMATE. THE INFORMATION SHOWN HEREIN IS ONLY TO BE USED AT AN ACCURACY OF 1:100
5. FEATURES & LEVELS CRITICAL TO DESIGN SHOULD BE LOCATED BY A MORE ACCURATE SURVEY
6. ALL SET OUT WITH REGARD TO LEVELS SHOULD BE REFERRED TO THE BENCH MARK
7. NO SERVICES SEARCH HAS BEEN CARRIED OUT FOR THIS SURVEY
8. ORIGIN OF THE NORTH POINT IS D.P. 1008993. THE POSITION OF TRUE NORTH IS APPROXIMATE ONLY. A MORE ACCURATE SURVEY WOULD BE REQUIRED TO DETERMINE ITS EXACT POSITION
9. THE POSITION OF SURVEY MARKS PLACES ARE AS SHOWN ON THE PLAN

BARRENJOE ROAD

27.8.09
 2007/1476(A)

BYRNE & ASSOCIATES Pty Ltd	CONSULTING SURVEYORS & ENGINEERS
83 WATERLOO STREET	MARRADEEN 2001
Ph: (02) 9913 7110	Fax: (02) 9913 4593
Email: byrne@bzeml.com.au	
LEVEL & DETAIL SURVEY	
OF LOT 12 D P 654177	
NO 183 BARRENJOE ROAD	
NEWPORT	
DATE: 27/08/09	SCALE: AS SHOWN
BY: [Signature]	CHECKED: [Signature]

- All structure including stormwater & drainage to engineers details
- Do not obtain dimensions by scaling drawings
- All dimensions are to be checked on site prior to starting work
- These drawings are to be read in conjunction with all other consultants drawings & specifications
- All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the relevant SAA Codes of Practice the Building Code of Australia & local Council requirements
- New materials are to be used throughout unless otherwise noted
- For concrete footings & any structural beams or any other structural members are to be designed & endorsed by a practising engineer

Landscaping to be provided as per condition B6

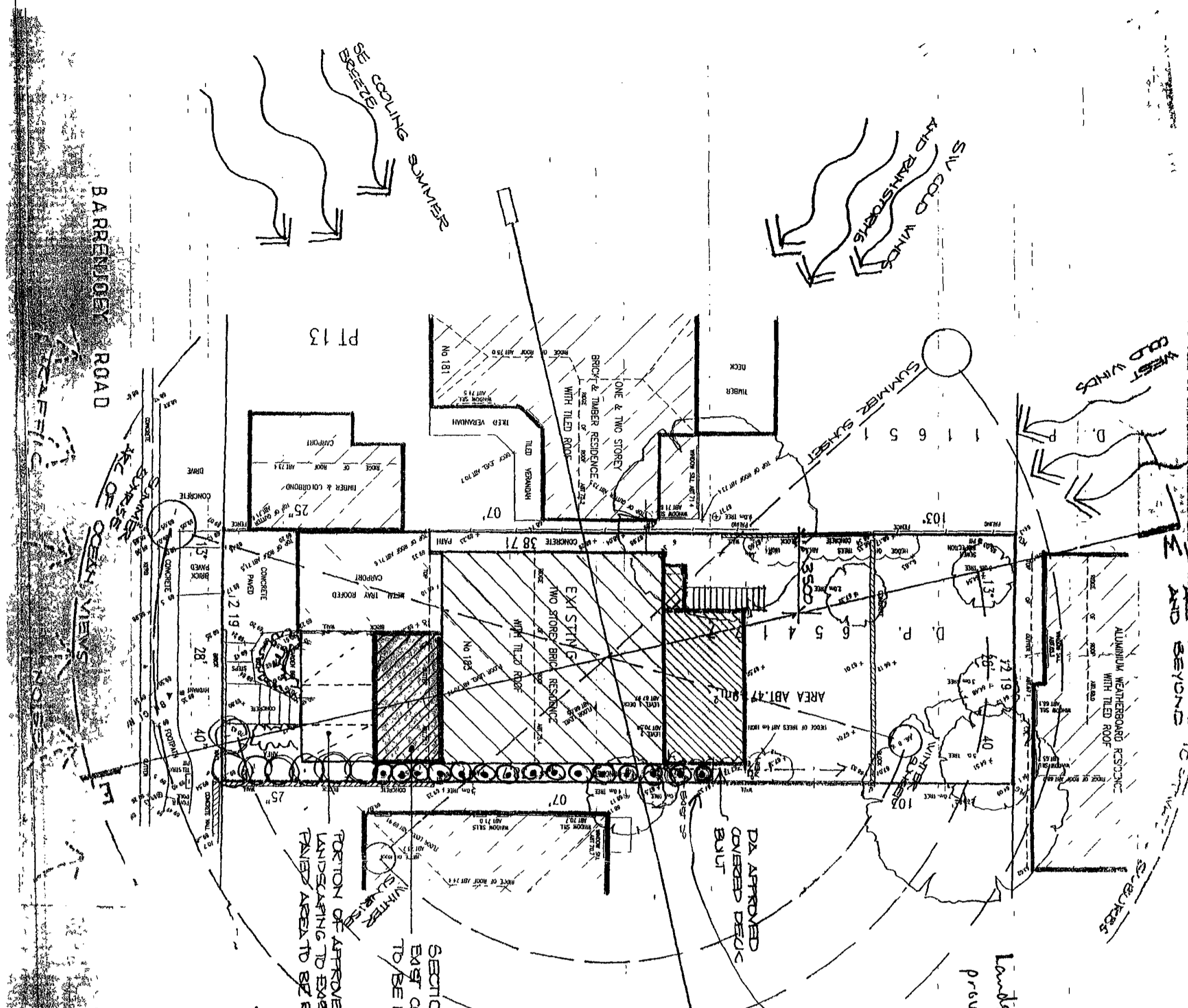
SITE AREA 4719m².
 LANDSCAPED OPEN SPACE REQUIREMENT
 60% - 28314m²
 APPROVED DA - 105 - 208 365 (43%)
 NEW AMENDED L05 - 187 725 (LESS 4 5%)

SECTION 96 - AMENDMENT
 PORTION OF REINSTATED LANDSCAPED AREA TO REMAIN AS CONCRETE DUE TO SAFETY AND STRUCTURAL MEANS

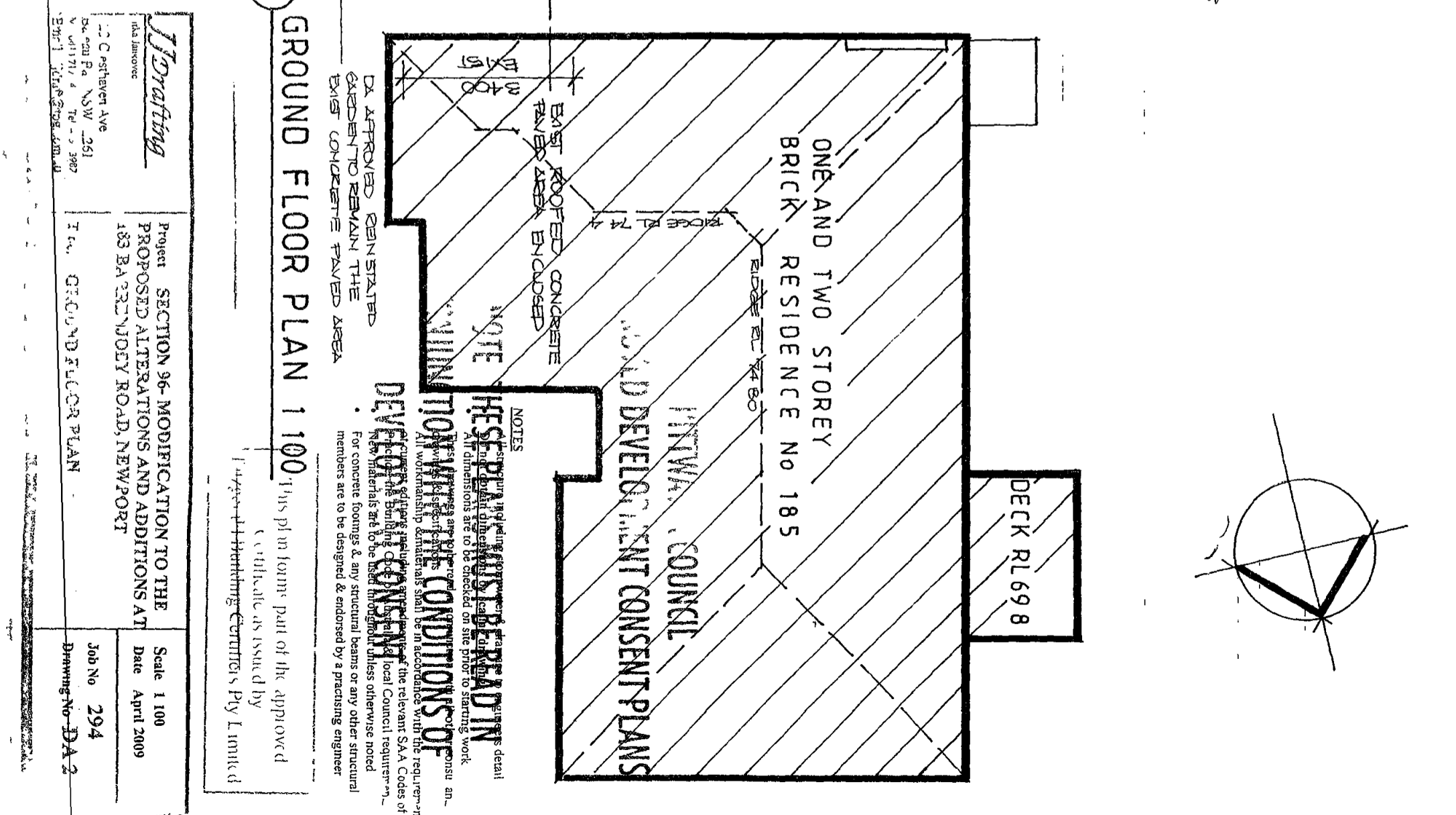
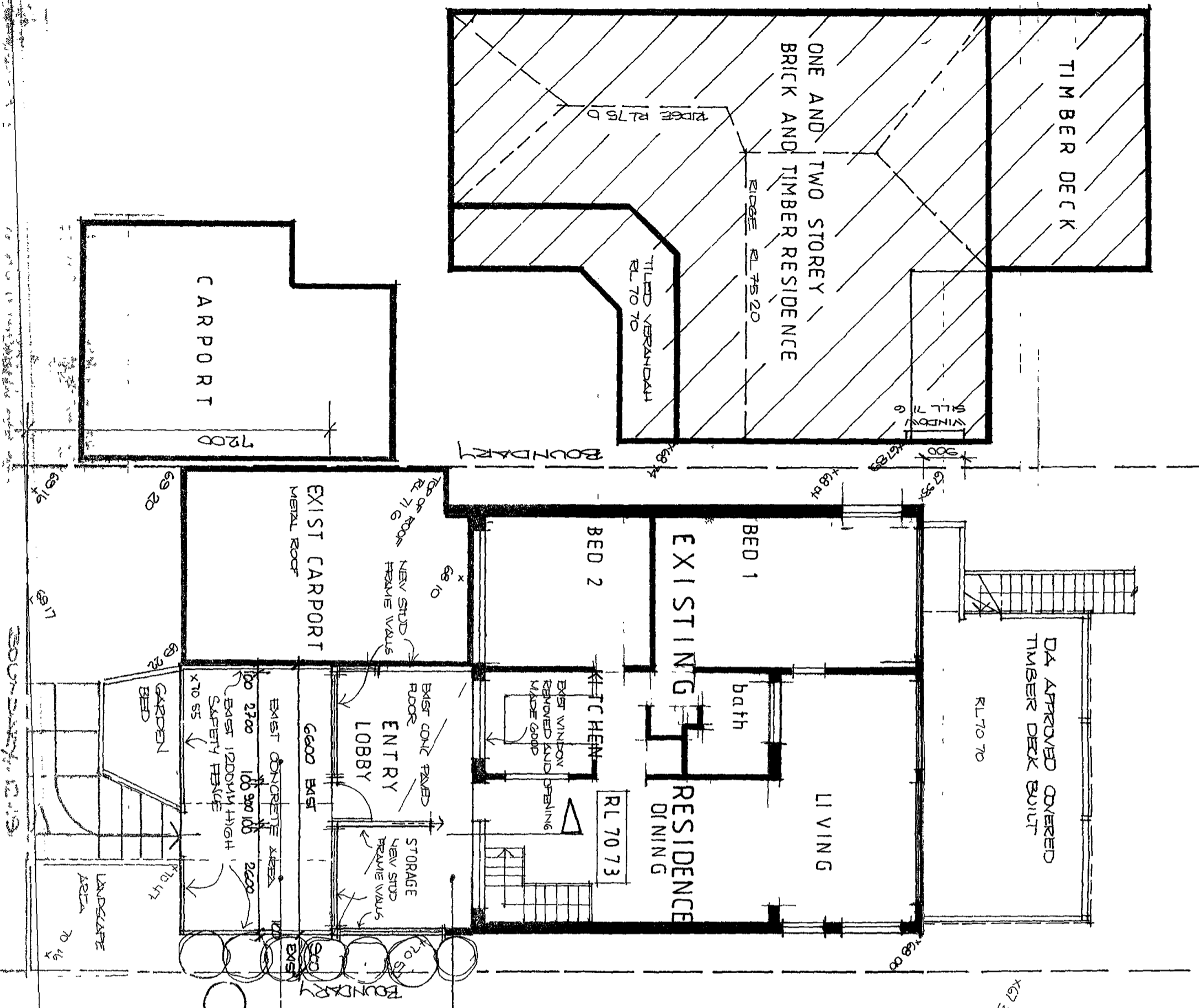
PITTSWATER COUNCIL
 APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

cc 2007/476(A)
 27 8 09



J Drafting Jodie Birkovec 123 Cresthaven Ave Bareilly Bay NSW 2261 M 0414 717 541 Tel 4 3 3982 Email j.birkovec@jbdrafting.com.au		Project SECTION 96 - MODIFICATION TO THE PROPOSED ALTERATIONS AND ADDITIONS AT 183 BARENJOEY ROAD, NEWPORT Title SITE ANALYSIS	Scale 1:200 Date April 2009 Job No 294 Drawing No DA1
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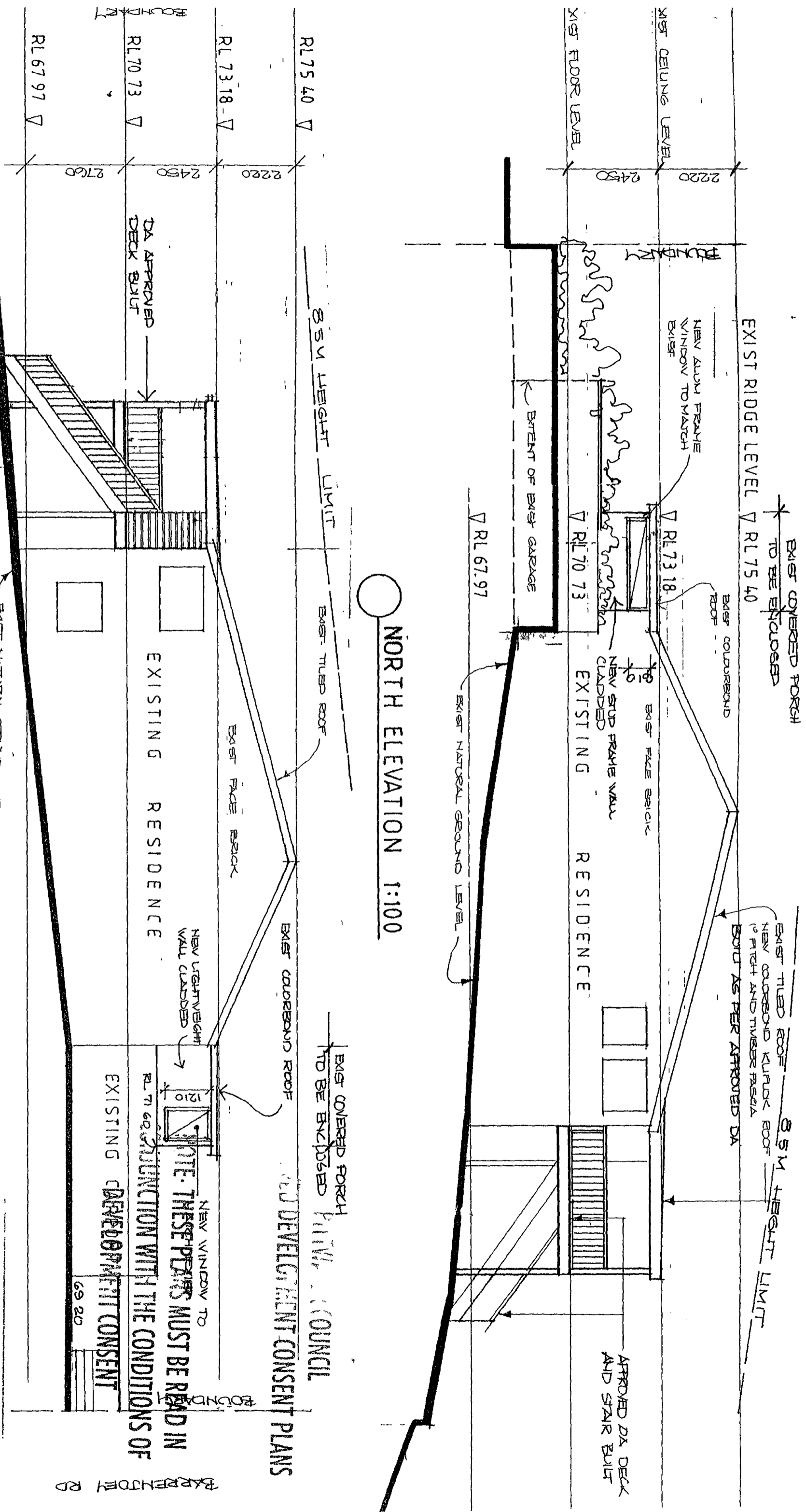


NOTES
 1. All dimensions are to be checked on site prior to starting work.
 2. All workmanship shall be in accordance with the requirements of the Building Code of Australia and local Council requirements.
 3. Materials are to be used in accordance with the requirements of the Building Code of Australia and local Council requirements.
 4. For concrete footings & any structural beams or any other structural members are to be designed & endorsed by a practising engineer.

CONDITIONS OF DEVELOPMENT CONSENT PLANS
 1. THE DEVELOPER SHALL OBTAIN APPROVAL FROM THE LOCAL COUNCIL FOR THE PROPOSED DEVELOPMENT.
 2. THE DEVELOPER SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES.
 3. THE DEVELOPER SHALL MAINTAIN THE EXISTING DRIVEWAY AND CARPORT.

GROUND FLOOR PLAN 1 100
 This plan forms part of the approved development consent as issued by the Pittwater Council.

		Project SECTION 96- MODIFICATION TO THE PROPOSED ALTERATIONS AND ADDITIONS AT 183 BARRADJOEY ROAD, NEWPORT	
10 Cesthaven Ave Newport NSW 2261 Ph: 02 9390 3902 Fax: 02 9390 3903	Scale 1:100 Date April 2009	Title GROUND FLOOR PLAN	Job No 294 Drawing No DA2



NORTH ELEVATION 1:100

SOUTH ELEVATION 1:100

NOTES

- All structure including stormwater & drainage to engineers details
- Do not obtain dimensions by scaling drawings
- All dimensions are to be checked on site or or to starting work
- These drawings are to be read in conjunction with all other consultants drawings & specifications
- All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the relevant SAA Codes of Practice the Building Code of Australia & local Council requirements
- New materials are to be used throughout unless otherwise noted
- Concrete footings, slab, structural beams or any other structural members are to be designed & approved by a registered structural engineer

J Drafting

123 Cheltenham Ave
Batemans Bay NSW 2261
M 0414 717541 Tel 0414 717542
Email jdrafting@bigpond.com.au

Project SECTION 96- MODIFICATION TO THE PROPOSED ALTERATIONS AND ADDITIONS AT 183 BARRENJOEY ROAD, NEWPORT

Title DEVELOPMENTS

Scale 1:100
Date April 2009

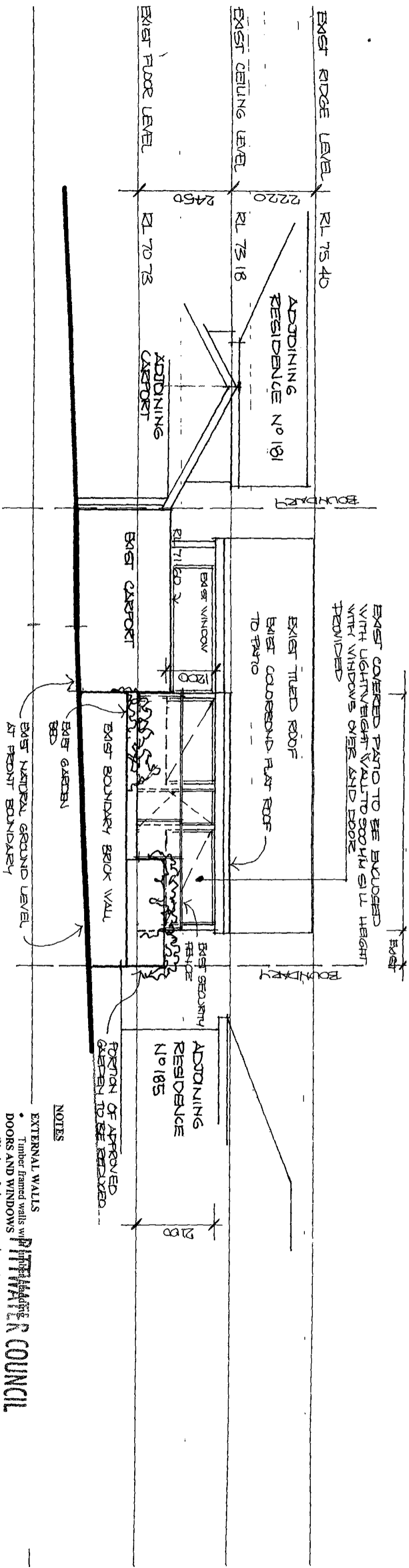
Job No 294
Drawing No DA 3

This plan forms part of the approved development consent issued by the Council of the City of Shellharbour Council Pty Limited

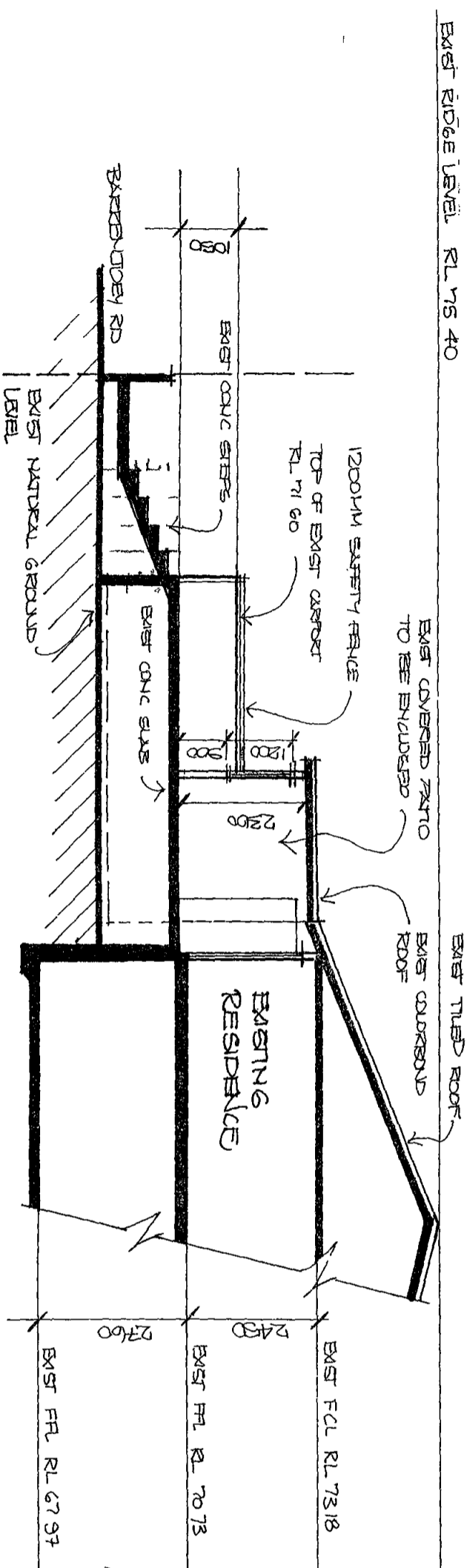
NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF EXISTING DEVELOPMENT CONSENT

DEVELOPMENT CONSENT PLANS

AMENDMENTS
SECTION 96
EXISTING PART TO
SEE EVIDENCE
PORTION OF LANDMARKING TO
SEE EVIDENCE



EAST ELEVATION 1:100



SECTION A-A 1:100

NOTES

- EXTERNAL WALLS
- Timber framed walls with timber cladding
- DOORS AND WINDOWS
- Windows to be replaced with new windows
- Weatherstripping to be provided
- INSULATION
- Provide thermal wool insulation (R2.5) to external stud work walls
- Insulation to ceiling (R2.5)
- Provide (R2.5) insulation to the underside of roof cladding
- FLOORS
- Existing concrete slab
- STORMWATER
- There will be no new stormwater
- TERMITES CONTROL
- These plans must be read in conjunction with the conditions of consent

TERMITES CONTROL

- These plans must be read in conjunction with the conditions of consent
- Do not use timber unsuitable for exposure to moisture in exposed locations
- All workmanship shall be in accordance with AS 1684 and 1720 as applicable
- Provide structure fixings in accordance with AS 1684 use galvanised fixings where exposed to weather

CONCRETE

- All workmanship & materials shall be in accordance with current editions of the AS 3600
- Footings to be in accordance with AS 1480
- All reinforcement shall conform to AS 1302 AS 1303 & AS 1304

SMOKE ALARMS

- Connect to consumer mains power & install to AS 1670 6 1997
- (Fire detection warning control and intercom systems design installation and commissioning Smoke Alarms) and AS 3786 1996 (Smoke Alarms)

LIGHTING

- Provide low voltage halogen downlights spaced at average 17mm centres

WASTE MANAGEMENT

- All waste shall be taken away by trucks to a suitable landfill or recycle depot
- All waste shall be covered during transportation
- Waste generated during construction shall be placed in steel bins & taken away by an approved contractor to an approved land fill site

SERVICES

- All services are existing and shall be protected to the proposed new addition
- A filter cloth system shall be installed to stop any sediment entering the stormwater system

<p>Drafting Mia Jarlovic 123 Creshaven Ave Batemans Bay NSW 2261 M 0414 717 541 Tel 433 982 Email - jydrafting@pg.com.au</p>		<p>Project SECTION 96- MODIFICATION TO THE PROPOSED ALTERATIONS AND ADDITIONS AT 183 BARRENJOEY ROAD NEWPORT</p>	<p>Title ELEVATION AND SECTION</p>	<p>Scale 1:100 Date April 2009</p>	<p>Job No 294 Drawing No DA 4</p>
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