



9 POATE PLACE, DAVIDSON

**Statement of Environmental Effects
for alterations and additions to an existing dwelling**



Report prepared for
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1. Introduction

- 1.1. This is a statement of environmental effects for alterations and additions to an existing dwelling at 9 Poate Place, Davidson.
- 1.2. The report describes how the application addresses and satisfies the objectives and standards of the Warringah Local Environmental Plan 2011, the Warringah Development Control Plan 2000 and the heads of consideration listed in Section 4.15 of the Environmental Planning and Assessment Act 1979 (as amended).
- 1.3. This statement of environmental effects has been prepared with reference to the following:
 - Site visit
 - Architectural drawings prepared by Design OC
 - Survey plan prepared by Stutchbury Jaques Pty Ltd
 - Bushfire Report prepared by Bushfire Hazard Solutions
 - Geotechnical report prepared by Ascent
- 1.4. The proposed development is compliant with all Council controls, considerate of neighbouring residents and streetscape and results in improved amenity for the residents of the site. It is an appropriate development worthy of Council consent.

2. The site and its locality

- 2.1. The site is located at the eastern side of the cu-de-sac bulb of Poate Place in Davidson, with a secondary street frontage to Sir Thomas Mitchell Drive.
- 2.2. It is an irregularly shaped lot with an arced front boundary of 7.105 metres, a rear boundary of 20.015 metres and an area of 738.2m². The site slopes from the street front to the rear, with a steep drop to Sir Thomas Mitchell Road to the north-east.
- 2.3. The site is currently occupied by a two storey rendered dwelling with a tile roof. A single garage is provided attached on the eastern side of the site. A spa and cubby house are also situated in the rear yard within landscaped gardens.
- 2.4. The site is surrounded by detached residential dwellings in all directions with bushland, open space and play fields located to the east including Lionel Watts reserve. The site is in close proximity of the Glenrose shopping centre, public transport services on Sir Thomas Mitchell Drive.



Figure 1 - The site and its immediate surrounds

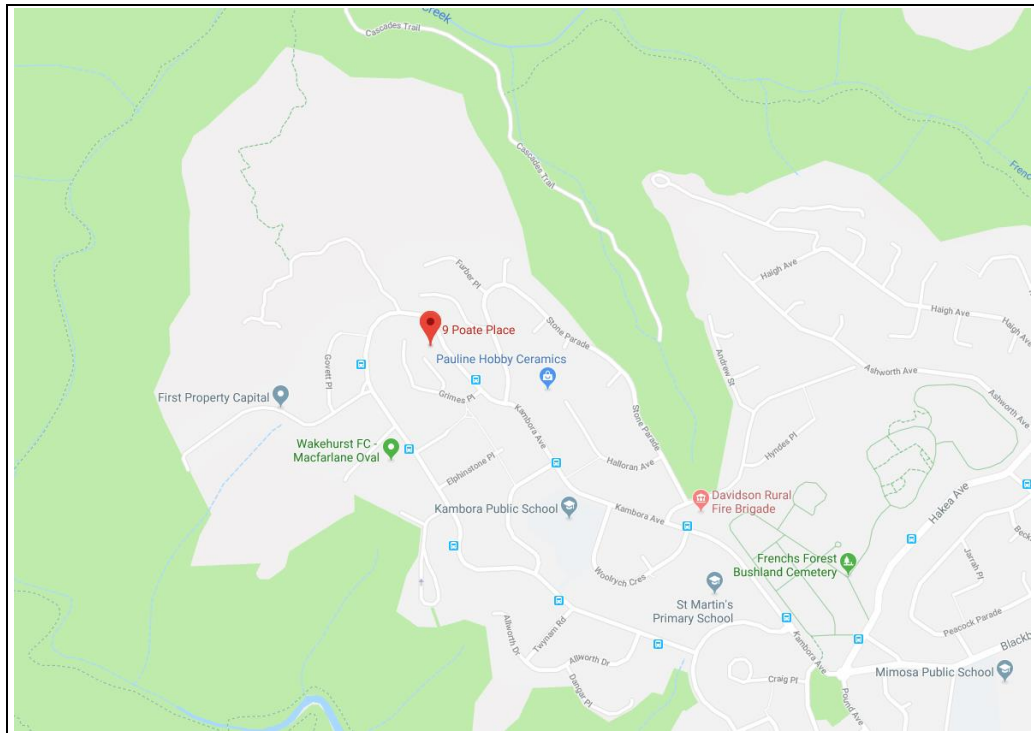


Figure 2 - The site within the locality

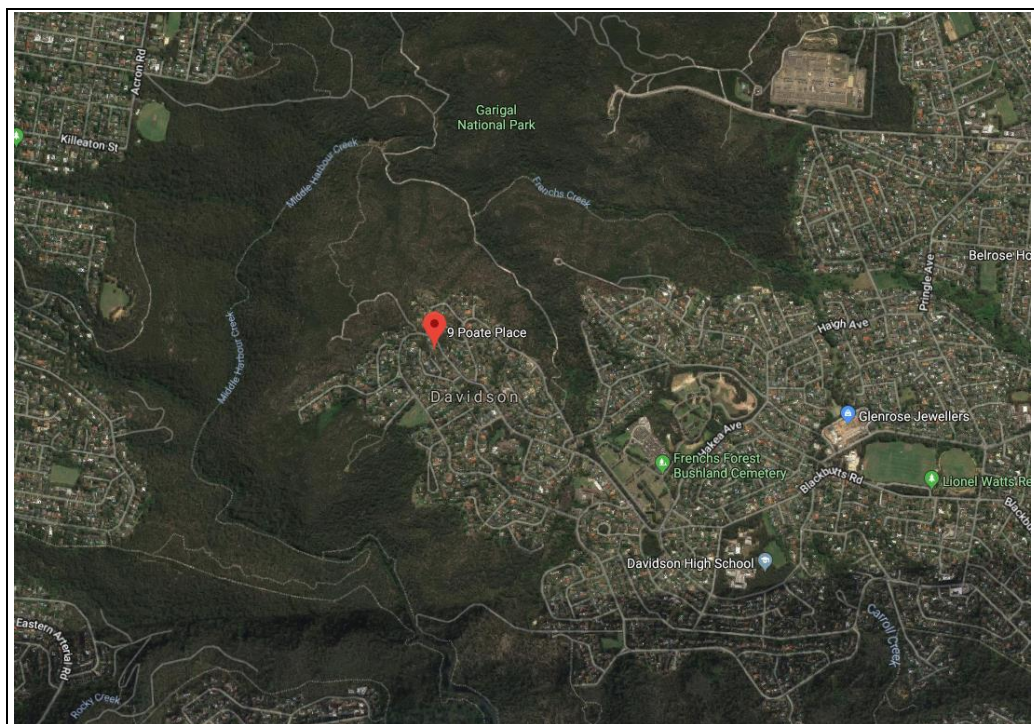


Figure 3. Aerial photograph of the site and its immediate surrounds

3. Proposed Development

3.1. It is proposed to add to the existing two storey building with internal alterations to create an improve laundry/WC at the rear of the existing garage and a new upper level master bedroom suite.

3.2. The additions have been designed to ensure that the appearance of the dwelling form remains consistent with the existing dwelling and streetscape. The two storey addition maintains the scale and character of the dwellings in the immediate vicinity, and next door.

3.3. The additions to the dwelling will be made up as follows:

Ground Floor

- Demolish existing internal laundry at rear of garage
- New laundry/WC
- New windows in northern (rear) elevation of garage

First Floor

- Master bedroom with ensuite and walk-in robe and rear tiled balcony
- Linen cupboard
- Built in robe for extended bedroom 3.

3.4. The additions have been designed to ensure privacy and solar access is maintained for both neighbours and the subject site.



Figure 4 - The rear of the existing dwelling



Figure 5. Existing garage and laundry

4. Statutory Framework

4.1. Warringah Local Environmental Plan 2011

Zoning

The site is zoned R2 pursuant to the provisions of the Warringah Local Environmental Plan 2011. The proposed development is a permissible use in the R2 zone which permits residential dwelling with development consent.

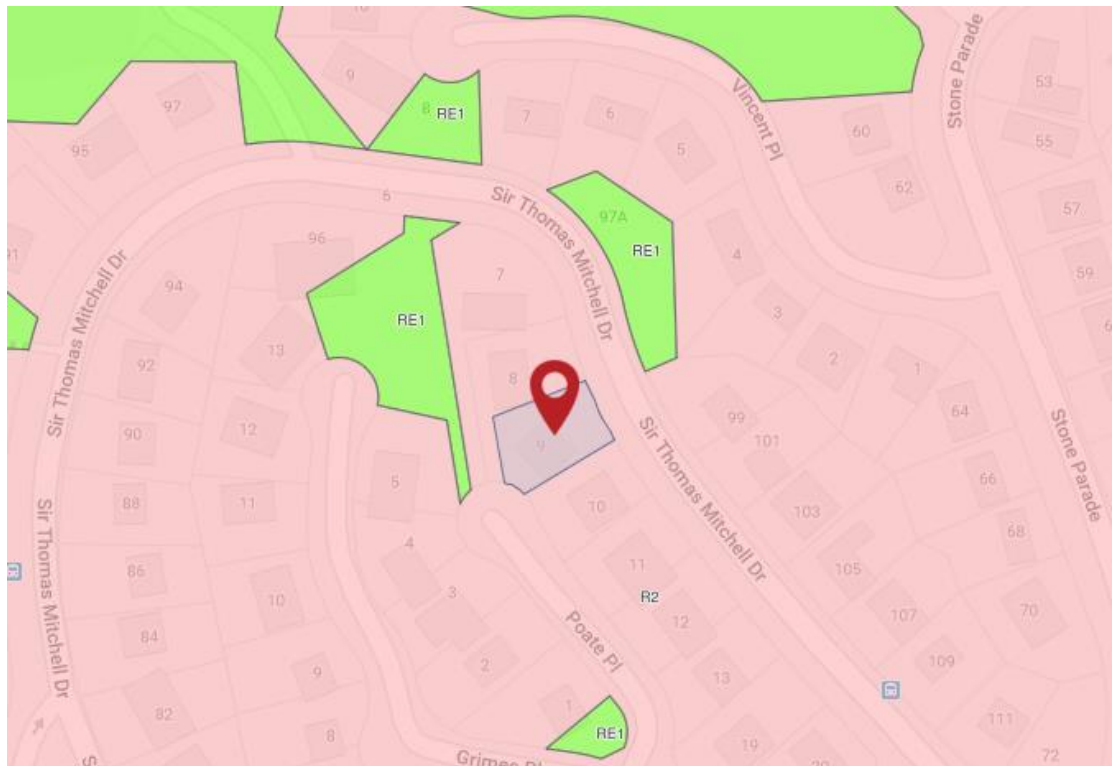


Figure 6. Extract from Warringah LEP zoning map

Height

The LEP restricts the height of any development on the subject site to 8.5 metres. The proposed development complies with this with the maximum height with the new second storey reaching a maximum height of 6.63 metres, matching the remainder of the existing dwelling.

Heritage items

The site is not a heritage item, located within a heritage conservation area or located near any heritage items which will be impacted by the proposed development.

Acid Sulfate soils

The site is not located in an area nominated as Acid Sulfate soils.

Development on Sloping land

The site is located in an area nominated as Area B Flanking Slopes 5 to 25. A report has been provided by Ascent Geotechnical Engineers confirming that the development is appropriate as proposed.

4.2. Warringah Development Control Plan 2000

The relevant sections of the DCP are addressed below.

4.2.1. Part B General Controls

4.2.2. Wall Heights

A maximum wall height of 7.2 metres is permitted. The proposed development will result in a maximum wall height of 6.5 metres, with the total ridge height at only 6.63 metres. Accordingly, the development is easily compliant with Council's DCP control.

4.2.3. Side Building Envelope

The proposed alterations and additions will be sited well within the side boundary envelopes of 4m/45°. The additions proposed are to be on the eastern side of the site and as is demonstrated on the development plans, are entirely located within the relevant envelope.

4.2.4. Side Boundary Setbacks

Side setbacks of 900mm and are permitted on the subject site. The proposed new eastern side setbacks vary from 3.79 metres to 6.086 metres. These easily comply with planning control.

4.2.5. Front Setback

A front setback of 6.5 metres is permitted on the subject site. The development the subject of this application, proposes a setback of 8.996 metres at its closest point for the new additions to the upper level. This is easily compliant with the DCP control and consistent with the existing dwelling. Additionally, it is consistent with average setback in the street which is apparent when viewing the site analysis plan provided with the application.

4.2.6. Rear setback

A rear setback of 6 metres is required by the DCP. The new upper level will maintain a minimum 12.73 metre rear setback at its closest point. This is easily compliant with Council's control.

4.2.7. Part C Siting factors

4.2.8. Parking

The site currently has a single garage which will be maintained. There will also be the retention of ample space in the driveway for a car to be parked.

4.2.9. Stormwater

The dwelling will be connected to Council's existing storm water system.

4.2.10. Demolition and construction

All works will be undertaken as required by Council controls and compliant with any relevant conditions of consent.

4.2.11. Waste Management

Appropriate waste management will be undertaken during the demolition and construction process. All demolished materials will be recycled with very limited waste resulting from the small demolition proposed. This is detailed further in the accompanying Waste Management Plan.

The existing dwelling has appropriate waste storage areas which will be retained with the additions proposed.

4.2.12. Part D Design

4.2.13. Landscaping and Open space and bush land setting

The DCP requires 40% landscaping on the site which is equivalent to 295.28m² for the site area of 738.2m². The proposed development retains the existing landscaped area of 464m² and accordingly it will be fully compliant.

4.2.14. Private open space

Private open space area in excess of 60m² will be retained for the site in the rear yard as required by the DCP.

4.2.15. Noise

The development is appropriate and will not result in noise levels inappropriate to a residential area. The site is not located in close proximity to a noise generating activity.

4.2.16. Access to sunlight

The site has a north - south orientation and accordingly the minimal additional shadow will primarily fall to the front of the site, with a minimal additional afternoon shadow over the neighbour to the east. As demonstrated by the shadow diagrams, the extent of shadow is limited and reasonable. The alterations will allow for the neighbour and the subject site to retain ample solar access to living areas and open space.

4.2.17. Views

No views will be impacted by the proposed development.

4.2.18. Privacy

Privacy will be retained for neighbours with ample setbacks and no direct overlooking into any key living areas. The siting of the dwellings and orientation of lots within the cul-de-sac aid in ensuring that privacy is maximised and the alterations to the existing dwelling are not to the detriment of privacy.

The upper level deck proposed is off a bedroom and not a living area and accordingly is not an entertaining space. The orientation of this and setbacks ensure that it will not overlook neighbours.

4.2.19. Building Bulk

The building bulk is increased to a compliant and appropriate degree. The building will be consistent with the streetscape and surrounding dwellings. The overall impact of the additions to the existing dwelling on bulk is an aesthetically pleasing and complementary addition to Poate Place.

4.2.20. Building Colours and Materials

Natural colours to match the existing dwelling and the bushland surrounds are proposed.

4.2.21. Roofs

The addition to the existing dwelling will provide for a new roof to match the existing pitched tile structure. The addition has been designed to ensure continuity with the existing dwelling.

4.2.22. Glare and Reflection

Materials have been chosen to ensure no glare and reflection issues.

4.2.23. Site facilities

The existing dwelling has appropriate waste, recycling areas and drying facilities. These will be retained as a part of the proposed application.

4.2.24. Safety and Security

An ability to view the street frontage is retained allowing for casual surveillance which is to the benefit of the safety and security.

4.2.25. Conservation of Energy and Water

The design has achieved a BASIX Certificate which accompanies the application.

4.2.26. Part E Design

4.2.27. Preservation of Trees or Bushland Vegetation

No trees are to be removed or detrimentally impacted as a result of the proposed development which primarily sits within the envelope of the portion of the dwelling which is to be demolished.

4.2.28. Retaining Unique Environmental Factors

The development will have no impact on any unique environmental factors.

4.2.29. Landslip

The site is located within Land slip Area B. A report prepared by Ascent Geotechnical Engineers is provide in support of the development.

5. Section 4.15 Considerations

The following matters are to be taken into consideration when assessing an application pursuant to section 4.15 of the Environmental Planning and Assessment Act 1979 (as amended). Guidelines to help identify the issues to be considered have been prepared by the former Department of Urban Affairs and Planning. The relevant issues are:

5.1. The provision of any planning instrument, draft environmental planning instrument, development control plan or regulations

This report clearly and comprehensively addresses the statutory regime applicable to the application and demonstrates that the proposed land use is complimentary and compatible with adjoining development. The proposal achieves the aims of the Warringah LEP and DCP.

The development is permissible in the zone.

5.2. The likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economical impacts in the locality

5.2.1. Context and Setting

What is the relationship to the region and local context in terms of:

- *the scenic qualities and features of the landscape?*
- *the character and amenity of the locality and streetscape?*
- *the scale, bulk, height, mass, form, character, density and design of development in the locality?*
- *the previous and existing land uses and activities in the locality?*

These matters have been discussed in detail in the body of the statement.

What are the potential impacts on adjacent properties in terms of:

- *relationship and compatibility of adjacent land uses?*
- *sunlight access (overshadowing)?*
- *visual and acoustic privacy?*
- *views and vistas?*
- *edge conditions such as boundary treatments and fencing?*

The proposed additions to the existing dwelling have been designed to complement the site and its surrounds. The alterations are appropriate and will have negligible impacts for adjacent properties.

5.2.2. Access, transport and traffic

Would the development provide accessibility and transport management measures for vehicles, pedestrians, bicycles and the disabled within the development and locality, and what impacts would occur on:

- *travel demand?*
- *dependency on motor vehicles?*
- *traffic generation and the capacity of the local and arterial road network?*
- *public transport availability and use (including freight rail where relevant)?*
- *conflicts within and between transport modes?*
- *traffic management schemes?*
- *vehicular parking spaces?*

The additions will be suitable for the site, meet the demands of the dwelling and improve parking facilities. No conflicts or issues will arise as a result of the proposed development.

5.2.3. Public domain

The proposed development will have a positive impact on the public domain as the proposal is consistent with character of the existing dwelling and streetscape of the area.

5.2.4. Utilities

There will be no impact on the site, which is already serviced.

5.2.5. Flora and fauna

There will be no impact.

5.2.6. Waste

There will be no impact.

5.2.7. Natural hazards

The site is not affected by both slip and bushfire. Reports have been provided by experts with regard to both of these factors and are supportive of the proposal subject to recommendations. These expert reports accompany the development application.

5.2.8. Economic impact in the locality

There will be no impact, other than the possibility of a small amount of employment during construction.

5.2.9. Site design and internal design

Is the development design sensitive to environmental conditions and site attributes including:

- *size, shape and design of allotments?*
- *the proportion of site covered by buildings?*
- *the position of buildings?*
- *the size (bulk, height, mass), form, appearance and design of buildings?*
- *the amount, location, design, use and management of private and communal open space?*
- *landscaping?*

The proposed additions are highly appropriate to the site with regards to all of the above factors. The development fits well within the context of the surrounds and the buildings on the site will remain of minimal scale and well suited to its residential surrounds.

How would the development affect the health and safety of the occupants in terms of:

- *lighting, ventilation and insulation?*
- *building fire risk – prevention and suppression/*
- *building materials and finishes?*
- *a common wall structure and design?*
- *access and facilities for the disabled?*
- *likely compliance with the Building Code of Australia?*

The proposed development will comply with the provisions of the Building Code of Australia. Additionally finishes, building materials and all facilities will be compliant with all relevant Council controls.

5.2.10. Construction

What would be the impacts of construction activities in terms of:

- *the environmental planning issues listed above?*
- *site safety?*

Site safety measures and procedures compliant with relevant legislation will ensure that no site safety or environmental impacts will arise during construction.

5.3. The suitability of the site for the development

Does the proposal fit in the locality?

- *are the constraints posed by adjacent developments prohibitive?*
- *would development lead to unmanageable transport demands and are there adequate transport facilities in the area?*
- *are utilities and services available to the site adequate for the development?*

The development does not impose any unusual development constraints.

Are the site attributes conducive to development?

The site is appropriate for the minimal additions proposed.

5.4. Any submissions received in accordance with this Act or the regulations

It is envisaged that the consent authority will consider any submissions made in relation to the proposed development.

5.5. The public interest

It is considered that the proposal is in the public interest as it allows for appropriate and positive additions to an existing residential site.

Section 4.15(1) of the Environmental Planning and Assessment Act has been considered and the development is considered to fully comply with all relevant elements of this section of the Environmental Planning and Assessment Act 1979.

6. Conclusions

- 6.1. The proposed development application for the alterations and additions to an existing dwelling at 9 Poate Place, Davidson is appropriate considering all State and Council controls.
- 6.2. When assessed under the relevant heads of consideration of Section 4.15 of the Environmental Planning and Assessment Act, the proposed development is meritorious and should be granted consent.
- 6.3. Considering all the issues, the development is considered worthy of Council's consent.