

+

DA No: N0366/08

The General Manager  
Pittwater Council  
PO Box 882  
MONA VALE NSW 1660

Name  
Address  
Phone  
Date

(Fax No: 9970 7150)

**Proposed Development** Additions of an existing single storey nursing home

**At** 194 GARDEN STREET WARRIEWOOD NSW 2102

I have inspected the DA plans, I have considered them in the context of the relevant Locality Plans and Development Control Plans  Yes  No

I am willing to provide expert reports to supplement my comments should a conflict in opinion arise  Yes  No

I am willing to provide evidence to the Land and Environment Court if the application is appealed  Yes  No

**In the interests of public transparency please note that your submission in its entirety will be available to the applicant or other interested persons on request and will also be made available on Council's Internet site through Council's transparent Development Application tracking process. You are encouraged, as is the applicant, to discuss with each other any matters that may be of concern**

**COMMENTS:**

These additions <sup>seen to</sup> fall outside the building line of the existing buildings and set a precedent

The nursing home has not proved to be a good neighbour as they would not pay for half of our adjoining wooden fence even though the existing fence was only rusted chicken wire.

If this is <sup>outside the building line and is</sup> approved it is quite likely it will be a precedent for other building/additions outside the building line.

Signature M E Kirk  
MOYA KIRKMAN



# PITTWATER COUNCIL

## Business Hours

8am to 5 30pm Monday to Thursday  
8am to 5 00pm Friday

**08/08/2008**

M E KIRKMAN  
12 BANKSIA PARADE  
WARRIEWOOD NSW 2102

**DA No: N0366/08**

ABN61 340837871  
Telephone 02 9970 1111  
Facsimile 02 9970 7150  
Postal Address  
PO Box 882  
Mona Vale NSW 1660  
DX 9018, Mona Vale

Dear Sir/Madam

**Notification of Development Application for Additions of an existing single storey nursing home**

**S/P 22115  
194 GARDEN STREET WARRIEWOOD NSW 2102**

I would like to advise you that a Development Application has been received relating to the above property. The applicant for this proposal is **MCHP ARCHITECTS**.

Please find attached reduced copies of plans (not to scale). If you wish to view the Development Application plans they are available at Council offices during business hours as outlined above or on Council's Internet site at [www.pittwater.nsw.gov.au](http://www.pittwater.nsw.gov.au) (see e-Services – Tracking Your Development Application).

As only relevant matters associated with the Development Application are able to be considered, your comments need to be based on the relevant Development Control Plan. These are freely available on Council's Internet site or you may purchase them at Council offices.

If you have no issues you wish to raise in regard to the development no response is required and you may ignore the attached form.

**In the interests of public transparency please note that your submission in its entirety will be available to the applicant or other interested persons on request and will also be made available on Council's Internet site through Council's transparent Development Application tracking process. You are encouraged, as is the applicant, to discuss with each other any matters that may be of concern.**

You are invited to support your submission with expert reports/evidence at your own expense where a conflict in opinion arises during the assessment and determination process.

Written comments on the proposal should be forwarded to Council on the attached form within fourteen (14) days of the date of this letter to ensure these are taken into consideration in assessing this application. Should you wish to raise other matters not related to this Development Application please include those matters separately to your comments on this proposal.

Yours faithfully  
**GRANT WALSH**  
**SENIOR PLANNER**

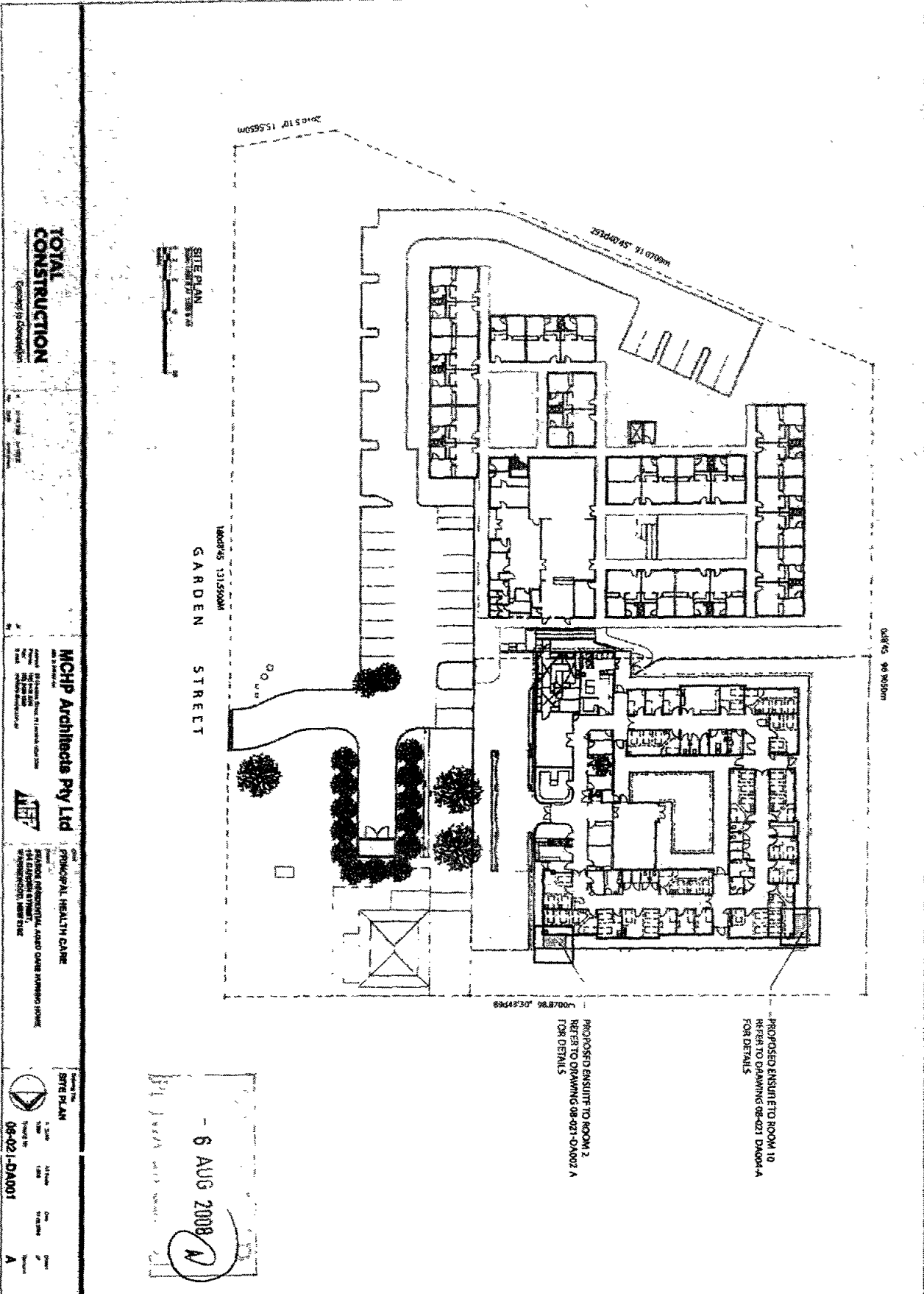
Email [pittwater\\_council@pittwater.nsw.gov.au](mailto:pittwater_council@pittwater.nsw.gov.au) Web [pittwater.nsw.gov.au](http://pittwater.nsw.gov.au)

Mona Vale Customer Service Centre  
Village Park 1 Park Street, Mona Vale

Avalon Customer Service Centre  
59A Old Barrenjoey Road, Avalon

Support Services  
Units 11, 12, 13 + 16/5 Vuko Place, Warriewood

Boondah Depot  
1 Boondah Road, Warriewood



1800x16 1315500A  
 GARDEN STREET

2010 S 10' 155650A

1800x16 534000A

0410'x5 90 20500A

PROPOSED ENSUITE TO ROOM 2  
 REFER TO DRAWING 08-021-DA002 A  
 FOR DETAILS

PROPOSED ENSUITE TO ROOM 10  
 REFER TO DRAWING 08-021-DA004 A  
 FOR DETAILS

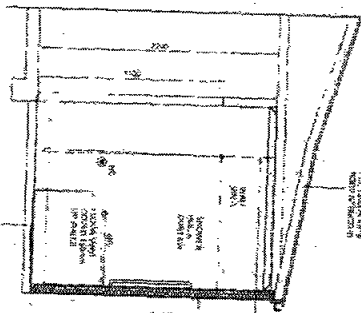
6 AUG 2008  
 N

**TOTAL CONSTRUCTION**  
 Concept to Construction

**MCHP Architects Pty Ltd**  
 PRINCIPAL HEALTH CARE  
 1800x16 1315500A  
 1800x16 534000A  
 0410'x5 90 20500A

**SITE PLAN**  
 08-021-DA001  
 A

*PS Subsequent pages are unresolvable*

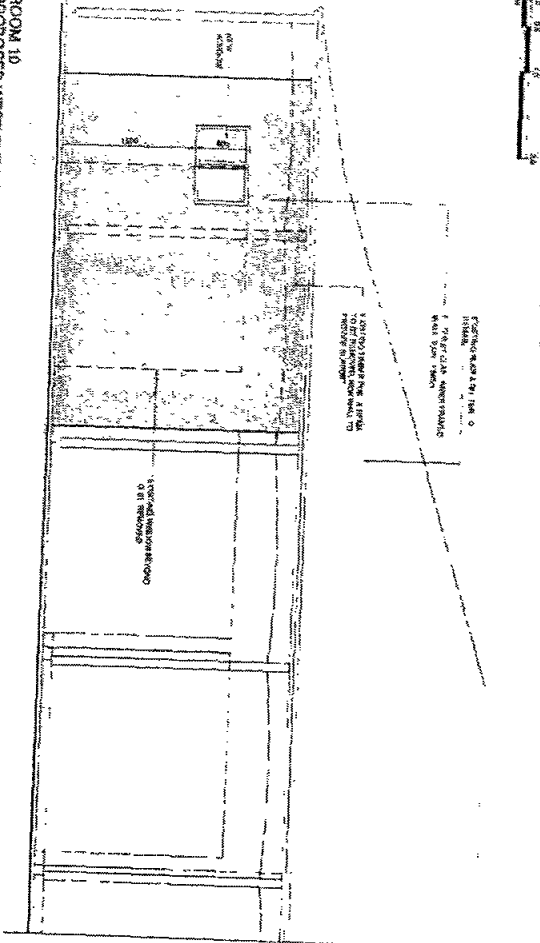


TYPICAL SECTION

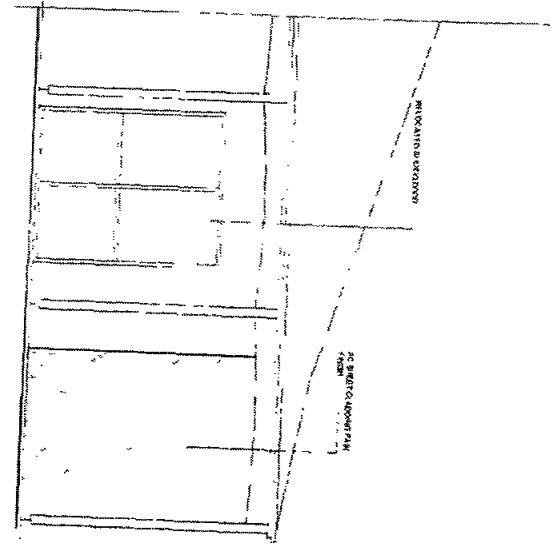


SECTION THROUGH GLASS  
 1. 1/2" MINIMUM GLASS  
 2. 1/2" MINIMUM AIR SPACE  
 3. 1/2" MINIMUM INSULATION  
 4. 1/2" MINIMUM AIR SPACE  
 5. 1/2" MINIMUM GLASS  
 6. 1/2" MINIMUM AIR SPACE  
 7. 1/2" MINIMUM INSULATION  
 8. 1/2" MINIMUM AIR SPACE  
 9. 1/2" MINIMUM GLASS  
 10. 1/2" MINIMUM AIR SPACE  
 11. 1/2" MINIMUM INSULATION  
 12. 1/2" MINIMUM AIR SPACE  
 13. 1/2" MINIMUM GLASS  
 14. 1/2" MINIMUM AIR SPACE  
 15. 1/2" MINIMUM INSULATION  
 16. 1/2" MINIMUM AIR SPACE  
 17. 1/2" MINIMUM GLASS  
 18. 1/2" MINIMUM AIR SPACE  
 19. 1/2" MINIMUM INSULATION  
 20. 1/2" MINIMUM AIR SPACE  
 21. 1/2" MINIMUM GLASS  
 22. 1/2" MINIMUM AIR SPACE  
 23. 1/2" MINIMUM INSULATION  
 24. 1/2" MINIMUM AIR SPACE  
 25. 1/2" MINIMUM GLASS  
 26. 1/2" MINIMUM AIR SPACE  
 27. 1/2" MINIMUM INSULATION  
 28. 1/2" MINIMUM AIR SPACE  
 29. 1/2" MINIMUM GLASS  
 30. 1/2" MINIMUM AIR SPACE  
 31. 1/2" MINIMUM INSULATION  
 32. 1/2" MINIMUM AIR SPACE  
 33. 1/2" MINIMUM GLASS  
 34. 1/2" MINIMUM AIR SPACE  
 35. 1/2" MINIMUM INSULATION  
 36. 1/2" MINIMUM AIR SPACE  
 37. 1/2" MINIMUM GLASS  
 38. 1/2" MINIMUM AIR SPACE  
 39. 1/2" MINIMUM INSULATION  
 40. 1/2" MINIMUM AIR SPACE  
 41. 1/2" MINIMUM GLASS  
 42. 1/2" MINIMUM AIR SPACE  
 43. 1/2" MINIMUM INSULATION  
 44. 1/2" MINIMUM AIR SPACE  
 45. 1/2" MINIMUM GLASS  
 46. 1/2" MINIMUM AIR SPACE  
 47. 1/2" MINIMUM INSULATION  
 48. 1/2" MINIMUM AIR SPACE  
 49. 1/2" MINIMUM GLASS  
 50. 1/2" MINIMUM AIR SPACE  
 51. 1/2" MINIMUM INSULATION  
 52. 1/2" MINIMUM AIR SPACE  
 53. 1/2" MINIMUM GLASS  
 54. 1/2" MINIMUM AIR SPACE  
 55. 1/2" MINIMUM INSULATION  
 56. 1/2" MINIMUM AIR SPACE  
 57. 1/2" MINIMUM GLASS  
 58. 1/2" MINIMUM AIR SPACE  
 59. 1/2" MINIMUM INSULATION  
 60. 1/2" MINIMUM AIR SPACE  
 61. 1/2" MINIMUM GLASS  
 62. 1/2" MINIMUM AIR SPACE  
 63. 1/2" MINIMUM INSULATION  
 64. 1/2" MINIMUM AIR SPACE  
 65. 1/2" MINIMUM GLASS  
 66. 1/2" MINIMUM AIR SPACE  
 67. 1/2" MINIMUM INSULATION  
 68. 1/2" MINIMUM AIR SPACE  
 69. 1/2" MINIMUM GLASS  
 70. 1/2" MINIMUM AIR SPACE  
 71. 1/2" MINIMUM INSULATION  
 72. 1/2" MINIMUM AIR SPACE  
 73. 1/2" MINIMUM GLASS  
 74. 1/2" MINIMUM AIR SPACE  
 75. 1/2" MINIMUM INSULATION  
 76. 1/2" MINIMUM AIR SPACE  
 77. 1/2" MINIMUM GLASS  
 78. 1/2" MINIMUM AIR SPACE  
 79. 1/2" MINIMUM INSULATION  
 80. 1/2" MINIMUM AIR SPACE  
 81. 1/2" MINIMUM GLASS  
 82. 1/2" MINIMUM AIR SPACE  
 83. 1/2" MINIMUM INSULATION  
 84. 1/2" MINIMUM AIR SPACE  
 85. 1/2" MINIMUM GLASS  
 86. 1/2" MINIMUM AIR SPACE  
 87. 1/2" MINIMUM INSULATION  
 88. 1/2" MINIMUM AIR SPACE  
 89. 1/2" MINIMUM GLASS  
 90. 1/2" MINIMUM AIR SPACE  
 91. 1/2" MINIMUM INSULATION  
 92. 1/2" MINIMUM AIR SPACE  
 93. 1/2" MINIMUM GLASS  
 94. 1/2" MINIMUM AIR SPACE  
 95. 1/2" MINIMUM INSULATION  
 96. 1/2" MINIMUM AIR SPACE  
 97. 1/2" MINIMUM GLASS  
 98. 1/2" MINIMUM AIR SPACE  
 99. 1/2" MINIMUM INSULATION  
 100. 1/2" MINIMUM AIR SPACE

ROOM 10  
 PROPOSED WEST ELEVATION



ROOM 10  
 PROPOSED NORTH ELEVATION



**TOTAL CONSTRUCTION**

**MCHP Architects Pty Ltd**

Principal Health Care  
 100-105 Sturt Street  
 Melbourne, VIC 3000  
 Phone: (03) 9600 1111  
 Fax: (03) 9600 1112  
 Email: info@mchp.com.au  
 Website: www.mchp.com.au

Principal Health Care  
 100-105 Sturt Street  
 Melbourne, VIC 3000  
 Phone: (03) 9600 1111  
 Fax: (03) 9600 1112  
 Email: info@mchp.com.au  
 Website: www.mchp.com.au

ROOM 10 ENSUITE RELEVATIONS  
 08-021-DA005  
 C