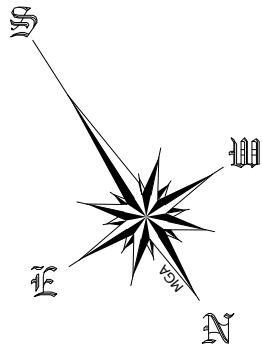
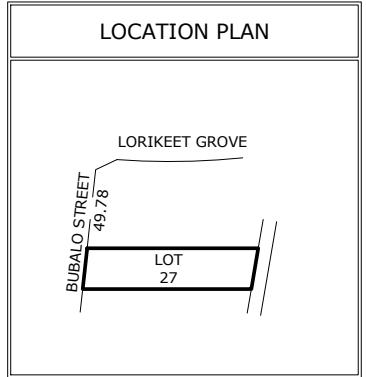
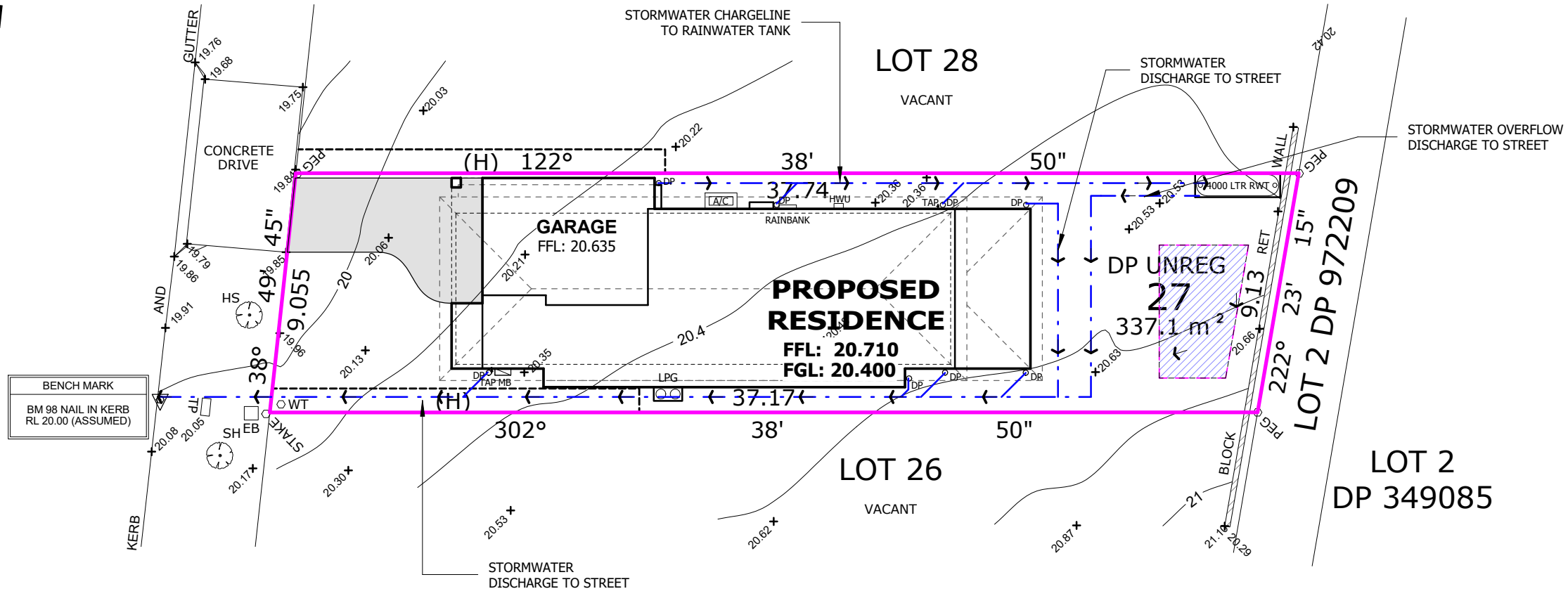


(H): EASEMENT FOR ACCESS & MAINTENANCE 0.9 WIDE

THIS DRAWING IS SUBJECT TO COPYRIGHT LAWS AND MAY NOT BE COPIED WITHOUT THE WRITTEN PERMISSION OF RAWSON HOMES PTY LTD-ACN 053 733 841



BUBALO STREET



LEGEND	
	BENCH MARK
	PHOTO POINT
	GULLY PIT
	VEHICULAR CROSSING
	TOP OF BANK
	BOTTOM OF BANK

ABBREVIATIONS	
EB	- ELECTRICAL BOX
EM	- ELECTRICAL METER
GM	- GAS METER
H	- HYDRANT
R	- HYDRANT RECYCLED
KO	- KERB OUTLET
LP	- LIGHT POLE
LH	- LAMP HOLE
MH	- MAN HOLE
MS	- MAINTENANCE SHAFT
PP	- POWER POLE
SH	- SHRUB
SMH	- SEWER MAN HOLE
SIO	- SEWER INSPECTION OPENING
SV	- STOP VALVE
SR	- STOP VALVE RECYCLED
SVP	- SEWER VENT PIPE
SWP	- STORM WATER PIT
T	- TREE
TP	- TELECOMMUNICATIONS PIT
VER	- VERANDAH
WT	- WATER TAG
WM	- WATER METER
WMR	- WATER METER RECYCLED
WC, GC, EC, TC	- SERVICE CONDUIT
W/C	- WATER CLOSET

**- WARNING -**  
UNREGISTERED PLAN

- 1) THIS CONTOUR AND DETAIL SURVEY IS BASED UPON AN UNREGISTERED PLAN.
- 2) ALL BOUNDARIES AND EASEMENTS ARE UNREGISTERED AND MAY BE AMENDED TO SUIT THE REQUIREMENTS OF COUNCIL OR THE LAND TITLES OFFICE.
- 3) THIS INFORMATION MUST BE VERIFIED UPON REGISTRATION
- 4) NO FURTHER INVESTIGATION HAS BEEN UNDERTAKEN TO DISCLOSE EASEMENTS ETC OMITTED FROM THE UNREGISTERED PLAN

**DISCLAIMER**  
DONOVAN ASSOCIATES CAN ACCEPT NO LIABILITY FOR ANY LOSS OR DAMAGE HOWSOEVER ARISING, TO ANY PERSON OR CORPORATION, DUE TO OMISSIONS, ERRORS OR VARIATIONS ON THE UNREGISTERED PLAN.  
COPIES OF THIS CONTOUR PLAN MUST NOT BE REPRODUCED WITHOUT THIS NOTICE

**NOTE**  
THIS SURVEY IS FOR CONTOUR PURPOSES ONLY SERVICES SHOWN HAVE BEEN LOCATED WHERE POSSIBLE BY FIELD SURVEY.



**NOTES:**  
PLEASE NOTE: DETAILS SHOWN ON THESE PLANS ARE INTENDED TO BE ACCURATE - HOWEVER INFORMATION WRITTEN INTO INDIVIDUAL CONTRACTS WILL TAKE PRECEDENCE OVER PLANS  
\* ALL DIMENSIONS ARE IN MILLIMETRES  
\* DO NOT SCALE - USE WRITTEN DIMENSIONS  
\* ALL DIMENSIONS ARE TO STRUCTURAL FRAMES ONLY EXCLUDING FINISHED SURFACES

**RAWSON HOMES**  
1 HOMEBUSH BAY DRIVE, BLDG. F  
LEVEL 2, SUITE 1  
RHODES NSW 2138  
TELEPHONE 02 8765 5500  
FAX 02 8765 8099  
Builder's licence No. 33493C

**CLIENT:**  
MR. M. GEORG & MRS. T. OSTERMAIER

**SITE ADDRESS:**  
LOT 27, DP UNREG  
BUBALO STREET  
WARRIEWOOD

**HOUSE TYPE**  
MODEL: ELLERSTON 26 MKII  
FACADE: CLASSIC  
TYPE: SINGLE GARAGE  
SPECIFICATION: LUX

**DRAWING TITLE:**  
STORMWATER PLAN

<b>DRAWN BY:</b> MTT	<b>DATE DRAWN:</b> 19.11.19	<b>CHECKED BY:</b> MTT	<b>APPROVED FOR CONSTRUCTION</b>
<b>COUNCIL AREA:</b> NORTHERN BEACHES		<b>SCALE:</b> 1 : 200	
<b>JOB No:</b> A009172	<b>DRWG No:</b> 11	<b>ISSUE:</b> B	