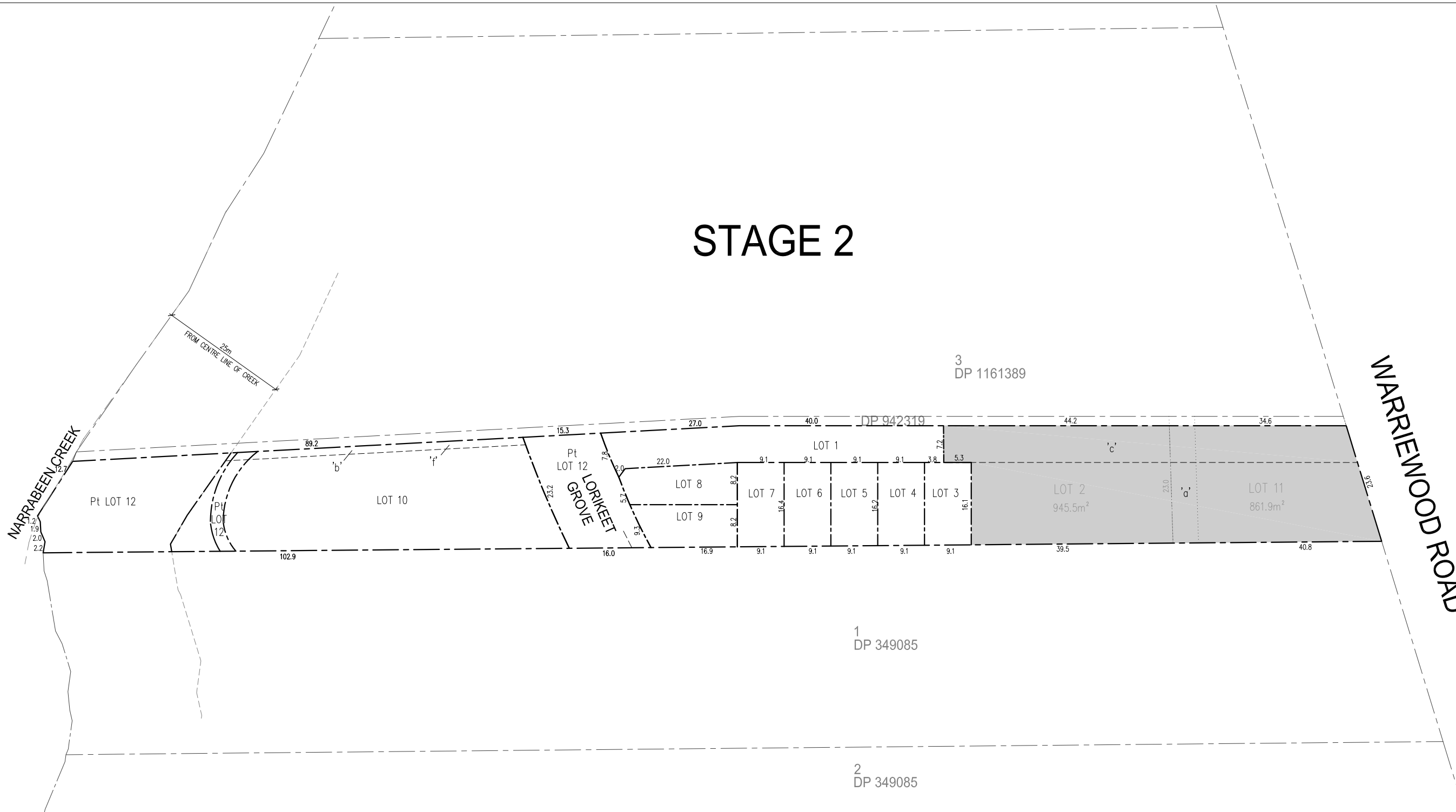


# STAGE 2



- 'a' – Easement for sewerage purposes 5 metre(s) wide affecting the part(s) shown burdened in the title diagram.
- 'b' – Easement to drain sewage and stormwater burdening lot 10 and benefiting lot 1 and 12.
- 'c' – Temporary easement for access and services burdening lot 2 and lot 11 in favour of lots 2 to 10
- 'f' – Right of way for public access burdening lot 10 benefiting lot 12

**Note**

Lot 12 will be dedicated to council after issue of subdivision certificate and upon registration of Titles.  
 A reciprocal ROW for lot 3 DP 1161389 over lot 1 will be created upon registration of Titles.

○ STAGE 2 SUBDIVISION OF LOT 4 DP1115877

## S96 APPLICATION

REV.	DESCRIPTION	DATE	REV.	DESCRIPTION	DATE	<b>ARH WARRIEWOOD PTY LTD</b>	<b>STEPHEN BOWERS ARCHITECTS</b> ABN 64 087 958 423 REG ARCHITECT: STEPHEN BOWERS (5810) SUITE 91, 26-32 PIRRAMA ROAD, JONES BAY WHARF PYRMONT NSW 2009 p 02 8212 9705 m 0414 780 450 email: stephen.bowers@stephenbowersarchitects.com www.stephenbowersarchitects.com	● STEPHEN BOWERS ARCHITECTS This drawing is protected by copyright. Reproduction or publication of the whole or part of the drawing without a license of the owner of the copyright is an infringement of copyright. Do not scale drawings Verify all dimensions on site Report any discrepancies in documents to Architect	Address  <b>53C WARRIEWOOD ROAD WARRIEWOOD NSW 2102</b>		Drawing Title  <b>STAGE 2 SUBDIVISION OF LOT 4 DP 1115877</b>	Scale 1:400(A1)/1:800(A3)	Date AUG 2015
-	FOR S96 APPLICATION	AUG 2015			Drawn by LN							Check by S.B	Drawing No. DA - 03