

7 April 2011

Pittwater Council
P.O. Box 882
Mona Vale NSW 1660

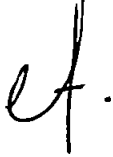
Dear Sir/Madam

Re: RE: Lodgement of CC2011/101 for DA No. NO690/10
Site address: 48 Nareen Parade, North Narrabeen NSW 2101

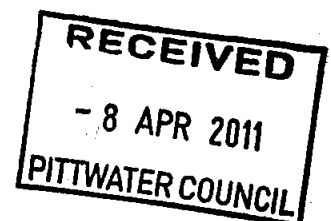
Please find attached all required documentation relied upon to issue Construction Certificate and Notice of Commencement for the above development:

- Part 4A Lodgement Fee \$30.00 payable to Council.
- 1 Owners Builder Permit.
- Sydney Water approval
- 1 full set of Council approved plans/Construction Certificate Plans.
- 1 Geotechnical Site Inspection Report

Yours faithfully

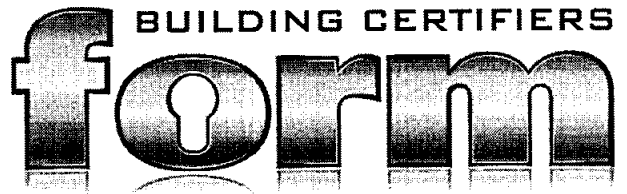


Craig Formosa



\$30 REC, 259920 8/4/11

POSTED
Permit



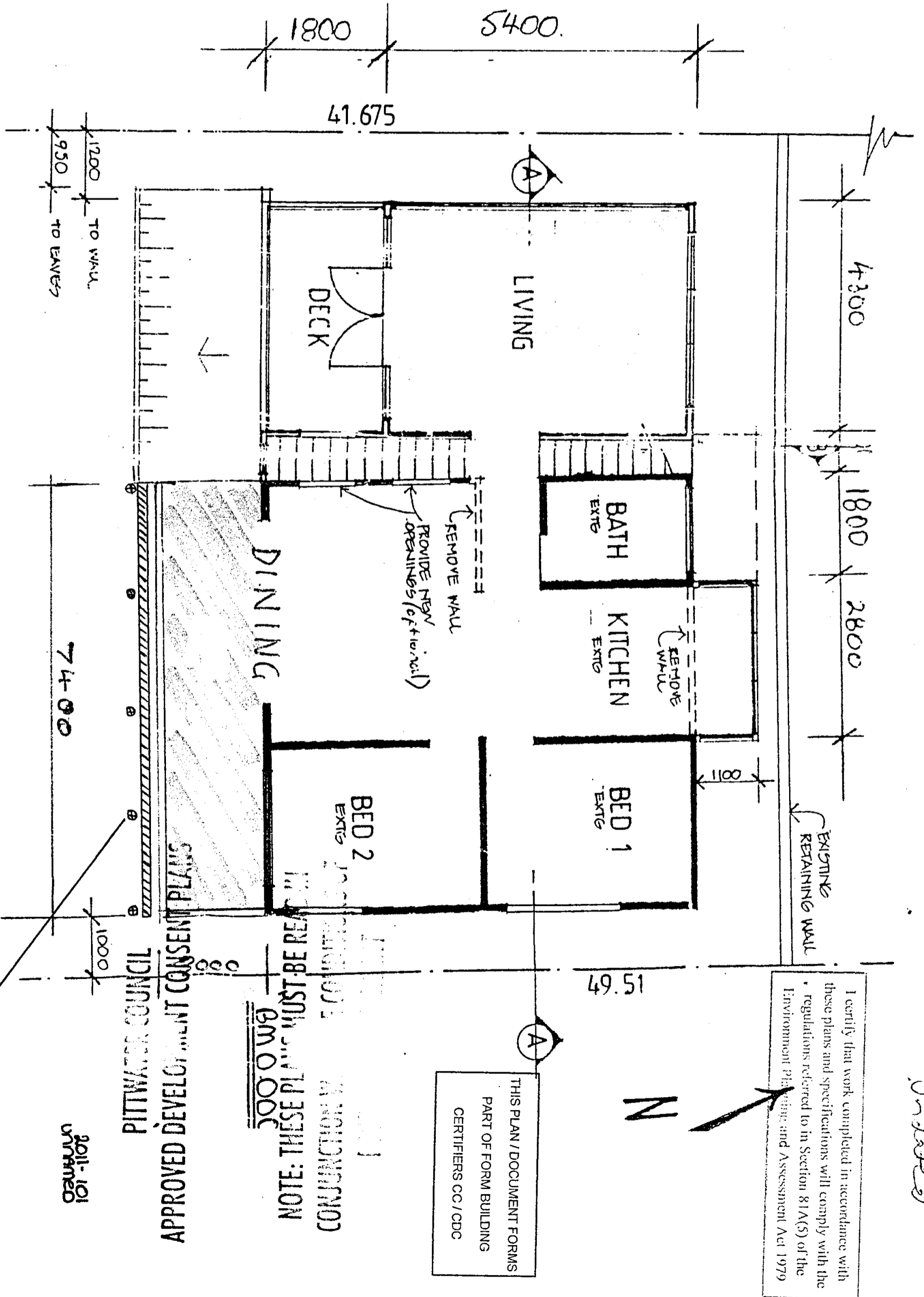
CONSTRUCTION CERTIFICATE # 2011-101

Approved 07/04/11

Issued in accordance with the provisions of the Environmental & Assessment Act 1979 under Sections 109C(1)(b) and 109F

Date Application Received	07/04/11		
Council	Pittwater		
Development Consent No.	N0690/10	Date Approved	02.03.11
Certifying Authority	Craig Formosa	Accredited Certifier	Craig Formosa - BPB0124
Accreditation Body	Building Professionals Board		
APPLICANT DETAILS			
Name	Amika Morriss	Ph No.	0423 84907
Address	48 Nareen Parade, North Narrabeen NSW 2101		
OWNER DETAILS			
Name	Amika Morriss & Jordon Sun		
Address	48 Nareen Parade, North Narrabeen NSW 2101		
DEVELOPMENT DETAILS			
Subject Land	48 Nareen Parade, North Narrabeen NSW 2101	Lot No.	34 DP 11
Description of Development	Alterations and additions to an existing dwelling		
Class of Building	1a	Value of Work	\$9,375.00
OWNER BUILDER DETAILS			
Name	Amika Morriss		
Address	48 Nareen Parade, North Narrabeen NSW 2101		
Contact Number	0423 84907	Permit No.	384509P
APPROVED PLANS & DOCUMENTS			
Plans Prepared By	Un named		
Drawing Numbers	Sheet 1 - 3	Dated	Un dated
CERTIFICATION			
<p>I, Craig Formosa, as the certifying authority am satisfied that;</p> <p>(a) The requirements of the regulations referred to in s81A (5) have been complied with. That is, work completed in accordance with the documentation accompanying the application for this certificate (with such modifications verified by the certifying authority as may be shown on that documentation) will comply with the requirements of the Regulation as referred to in section 81A (5) of the Act, and</p> <p>(b) Long Service Levy has been paid where required under s34 of the Building & Construction Industry Long Service Payments Act 1986.</p>			
Signed:			Date: 07/04/11

LOWER LEVEL PLAN



5 x 150 mm treated pine posts on 1200 x 400 concrete piers supporting 200 x 75 mm treated pine bearers and 200 x 45 mm treated pine joists at 400 mm centres

2011-101
UNFRAMED

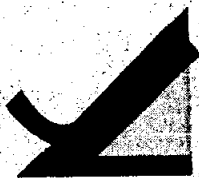
PITTSBURGH COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE REVISIONED IN ACCORDANCE WITH THE BUILDING REGULATIONS 2011 (B.M.O.O.C)

THIS PLAN / DOCUMENT FORMS PART OF FORM BUILDING CERTIFIERS CC / CDC

I certify that work completed in accordance with these plans and specifications will comply with the regulations referred to in Section 81A(5) of the Environment Planning and Assessment Act 1979

UNFRAMED
UNDATED



Jack Hodgson Consultants Pty Limited

CONSULTING CIVIL, GEOTECHNICAL AND STRUCTURAL ENGINEERS

ABN: 94 053 405 011

VU 26055.

18th February, 2011.

Page 1.

The General Manager
Pittwater Council
P O Box 882
MONA VALE NSW 1660

Dear Sir,

48 NAREEN PARADE, NORTH NARRABEEN.

A Geotechnical Site Inspection was carried out at the above address on the 17th February 2011.

The proposed work consists of enclosing the existing lower deck. Details of the proposed works are shown on 3 drawings prepared by an unnamed draftsman.

The works are considered minor works.

The property has an Acceptable Risk Level in accordance with the 2009 Geotechnical Risk Management Policy for Pittwater.

JACK HODGSON CONSULTANTS PTY. LIMITED.

**Ben White M.Sc. Geol.,
AusIMM., CP GEOL.
No. 222757
Engineering Geologist.**

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CERTIFIERS CC / CDC.

DIRECTOR: J.D. HODGSON, M.Eng.Sc., F.I.E. Aust., Nper3 Struc. Civil 149788
67 Darley Street, Mona Vale NSW 2103
PO Box 389 Mona Vale NSW 1660
Telephone: 9979 6733. Facsimile: 9979 6926

**GEOTECHNICAL RISK MANAGEMENT POLICY FOR PITTWATER
FORM NO. 1 – To be submitted with Development Application**

Development Application for _____ Name of Applicant
Address of site <u>48 NAREEN PARADE, N NARRABEEN</u>

Declaration made by geotechnical engineer or engineering geologist or coastal engineer (where applicable) as part of a geotechnical report

I, Ben White (insert name) on behalf of Jack Hodgson Consultants Pty Ltd (Trading or Company Name)

on this the _____ certify that I am a geotechnical engineer or engineering geologist or coastal engineer as defined by the Geotechnical Risk Management Policy for Pittwater - 2009 and I am authorised by the above organisation/company to issue this document and to certify that the organisation/company has a current professional indemnity policy of at least \$2million. I have:

Please mark appropriate box

- Prepared the detailed Geotechnical Report referenced below in accordance with the Australia Geomechanics Society's Landslide Risk Management Guidelines (AGS 2007) and the Geotechnical Risk Management Policy for Pittwater - 2009
- I am willing to technically verify that the detailed Geotechnical Report referenced below has been prepared in accordance with the Australian Geomechanics Society's Landslide Risk Management Guidelines (AGS 2007) and the Geotechnical Risk Management Policy for Pittwater - 2009
- Have examined the site and the proposed development in detail and have carried out a risk assessment in accordance with paragraph 6.0 of the Geotechnical Risk Management Policy for Pittwater - 2009. I confirm the results of the risk assessment for the proposed development are in compliance with the Geotechnical Risk Management Policy for Pittwater - 2009 and further detailed geotechnical reporting is not required for the subject site.
- Have examined the site and the proposed development/alteration in detail and am of the opinion that the Development Application only involves Minor Development/Alterations that do not require a Detailed Geotechnical Risk Assessment and hence my report is in accordance with the Geotechnical Risk Management Policy for Pittwater - 2009 requirements for Minor Development/Alterations.
- Provided the coastal process and coastal forces analysis for inclusion in the Geotechnical Report

Geotechnical Report Details:

Report Title: <u>48 NAREEN PARADE, N NARRABEEN</u>
Report Date: <u>18/2/11</u>
Author: <u>BEN WHITE</u>
Author's Company/Organisation: <u>JACK HODGSON CONSULTANTS PTY LTD</u>

Documentation which relate to or are relied upon in report preparation:

I am aware that the above Geotechnical Report, prepared for the abovementioned site is to be submitted in support of a Development Application for this site and will be relied on by Pittwater Council as the basis for ensuring that the Geotechnical Risk Management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure, taken as at least 100 years unless otherwise stated and justified in the Report and that reasonable and practical measures have been identified to remove foreseeable risk.

Signature *Ben White*
 Name Ben White
 Chartered Professional Status MScGEOLAusIMM CP GEOL
 Membership No. 222757
 Company Jack Hodgson Consultants Pty Ltd

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**Fair
Trading**

Tel 13 32 20
TTY 02 9338 4943
ABN 81 913 830 179
www.fairtrading.nsw.gov.au

Amika Morriss
48 Nareen Pde
NORTH NARRABEEN NSW 2101

HOME BUILDING ACT 1989

OWNER BUILDER PERMIT

Permit : 384509P
Receipt: 1-968722009

Issued : 25/03/2011
Amount: \$151.00

BUILDING SITE

48 Nareen Pde, NORTH NARRABEEN, NSW 2101 AUSTRALIA

AUTHORISED BUILDING WORK

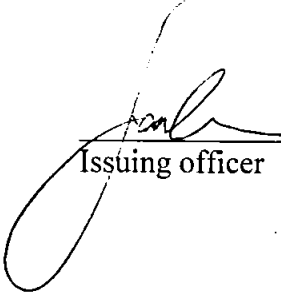
Enclosure of balcony 7mx3m

Authority No : DA-N0690/10
Council Area : PITTWATER (S) COUNCIL

Should the property be sold within 6 years of completion of the work it will be necessary to obtain home warranty building insurance from approved insurers if the value of the work was greater than \$12,000. A certificate of insurance must be attached to any contract of sale.

You should obtain professional advice from general insurers regarding public liability and property damage cover, etc.

Note: This permit is only valid when an official receipt has been imprinted.
If payment is made by cheque, the permit is conditional on the cheque being met on presentation. *GST amount included in total fee: \$0.00



Issuing officer

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CERTIFIERS CC / CDC

***** END OF PERMIT *****



Application Lodgement Summary



Reference Number 3122201

Date Requested: Sat March 19 2011

Agent Reece Mona Vale, 10 Taronga Pl Mona Vale
Applicant Al Morriss Jj Sun, 48 Nareen Pde North Narrabeen 2101
Property/Asset 48 Nareen Pde, North Narrabeen 2101 (Al Morriss Jj Sun) PNum: 3437134
 Property Connection Point - (2953515)
 150 mm VC Sewer Main - (2776333)
 100 mm CICL Watermain - (2532682)
Product Building Plan Approval Application

Charge	Product Cost	GST	Total
Building Plan Approval Application Fee	\$26.45	\$0.00	\$26.45

Property Special Conditions for Plumbers

Boundary Trap Required	No
Watercharged/Tidal area	No
Partial Drainage area	No
Aggressive Soil area	No
Cast Iron Pipe area	Yes
Sewer Surcharge area	No
Minimum Gully Height area	No
Sewer Available	Yes
Connection Type	Gravity

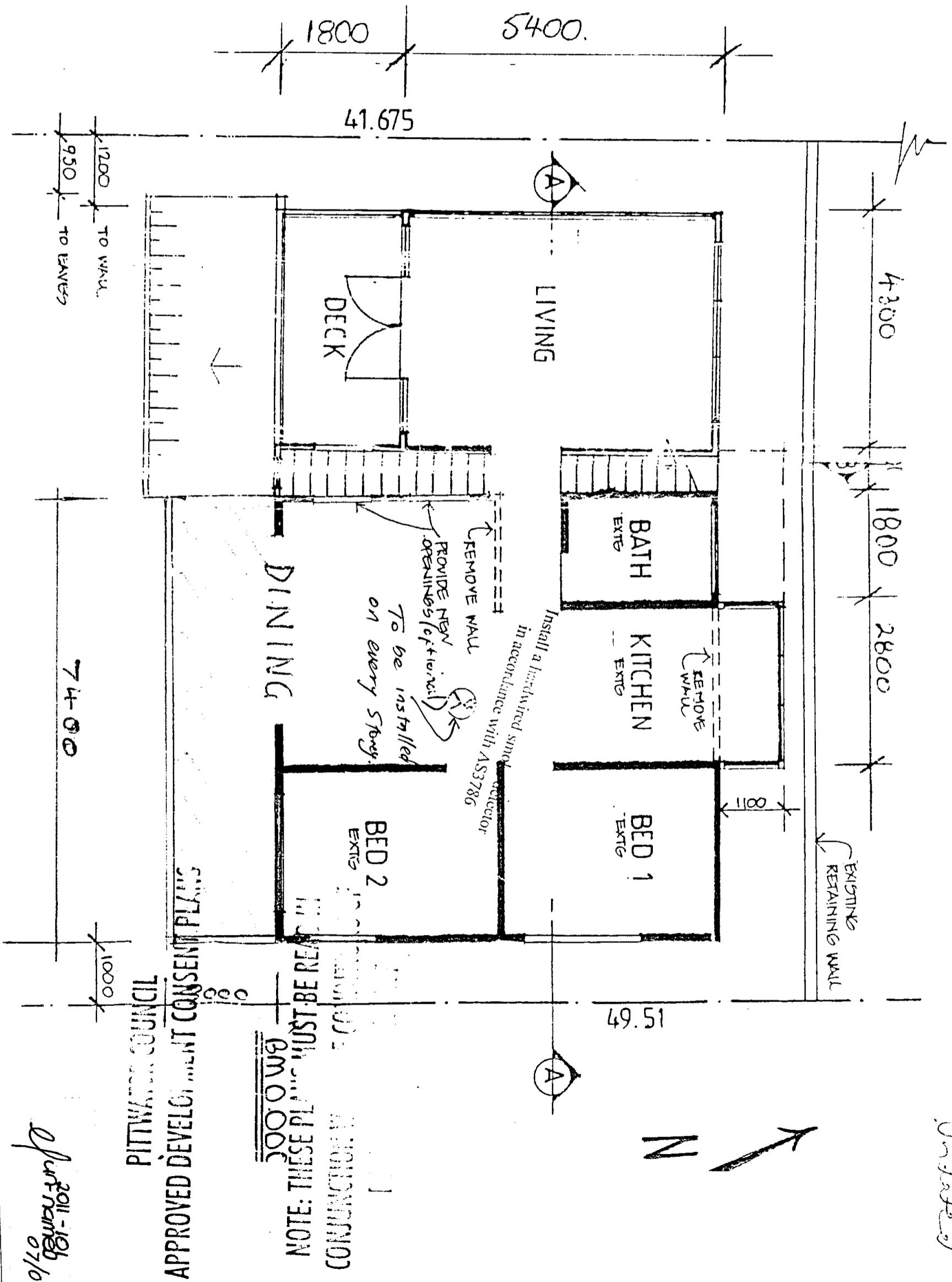
You must contact Sydney Water to clarify the property special conditions where the property special conditions are not shown (yes or no), are shown as "unset", "unknown" or "not available" or if the proposed development is being built over more than one existing property.

Please note that boundary traps must be fitted for all commercial and industrial properties and you must ensure that all plumbing/drainage and building works are carried out in accordance with the relevant codes and standards.

A water meter is required to be fitted to the property during construction. You will need to ensure that your licensed plumber carries out this work in accordance to the relevant codes and standards.

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CERTIFIERS CC / CDC

LOWER LEVEL PLAN

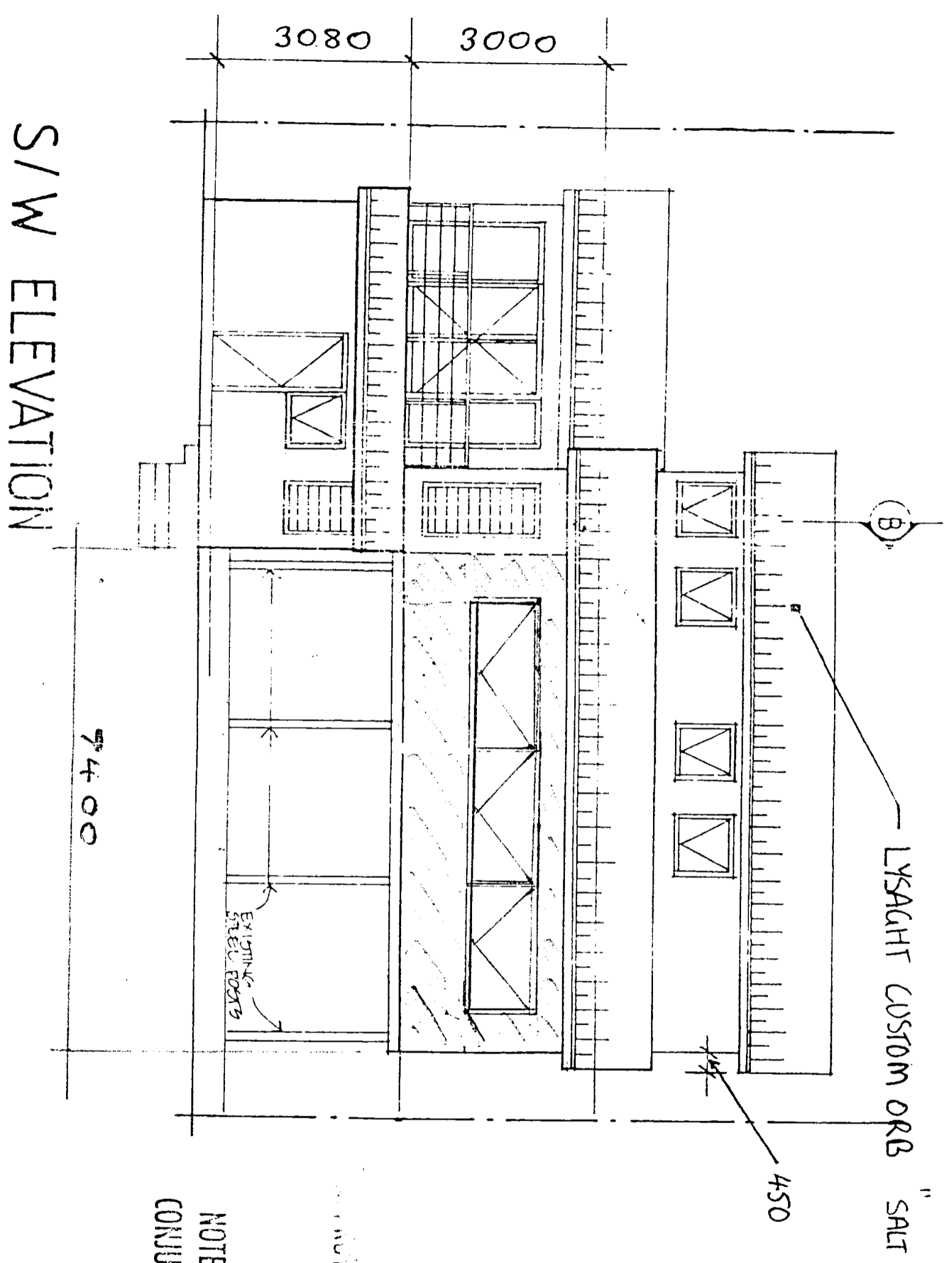


Sheet 1/3
 Unmarked
 Undated

I certify that work completed in accordance with these plans and specifications will comply with the regulations referred to in Section 81A(5) of the Environmental Planning and Assessment Act 1979

2011-108
 J. F. ...
 07/04/11

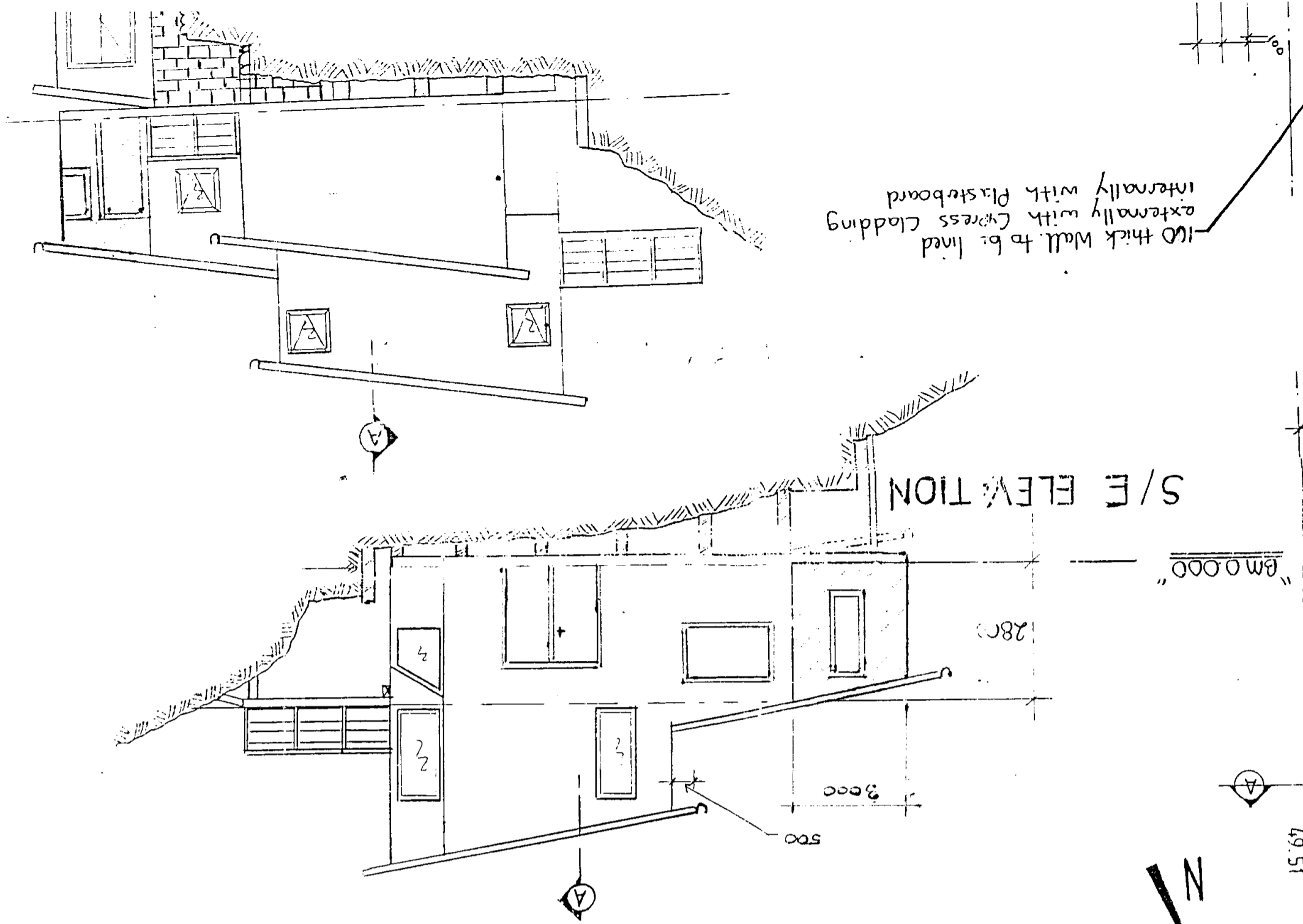
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NOTED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

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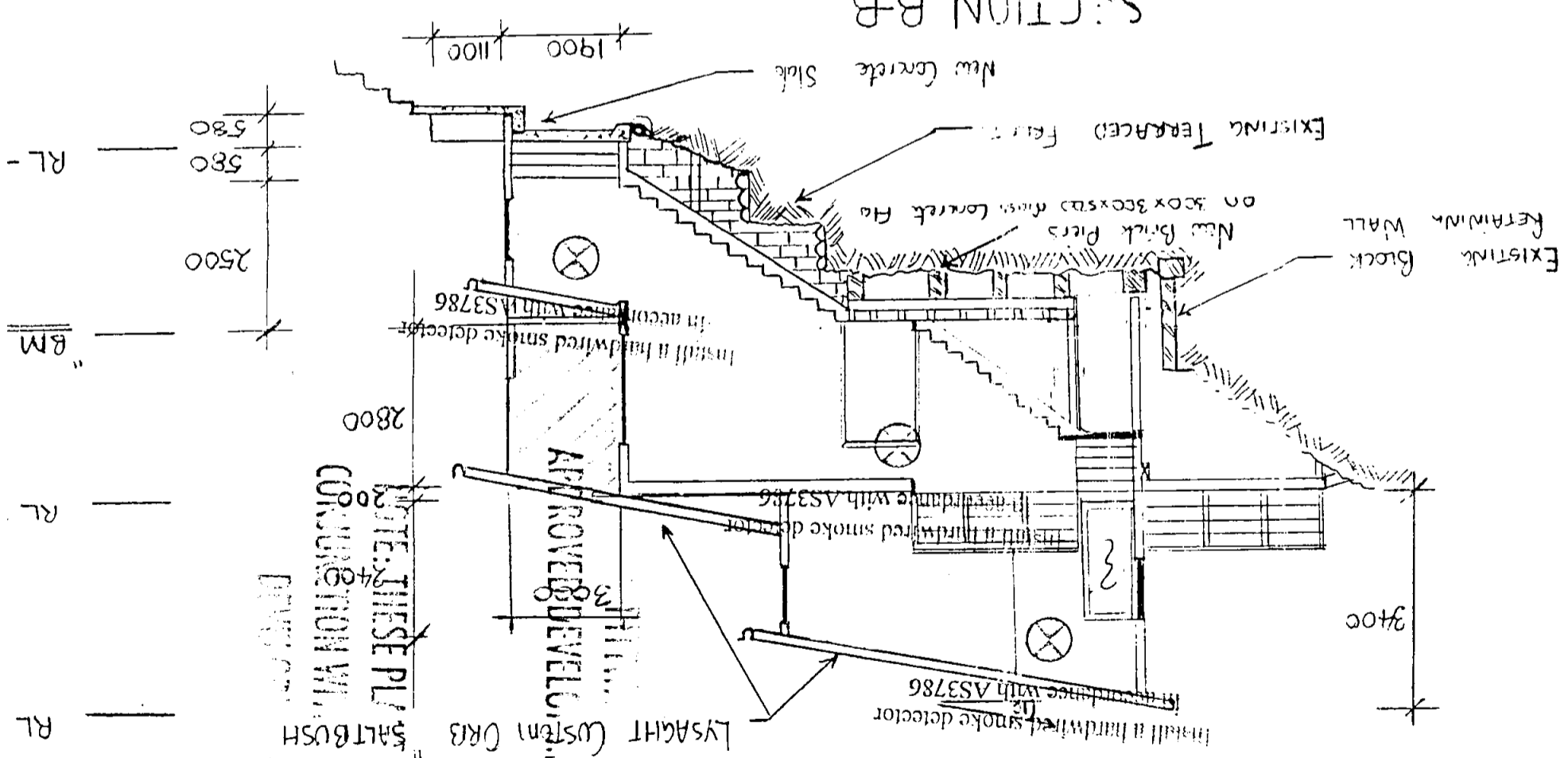
100 thick wall to be lined externally with Cypress cladding internally with Plasterboard

S/E ELEVATION



49.51

SECTION B-B



NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF CONSENT

APPROVED LEVEL
UNCIL
PLANT CONSENT PLANS

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