



The General Manager
Pittwater Council
PO Box 882
MONA VALE NSW 1660

Your reference: 0267/13/s96/3
Our reference: D16/1261

24 May 2016



Attention: Rebecca Englund

Dear Sir/Madam,

**Integrated Development (Section 96 Modification) – Request to amend conditions
Lots 1-5 DP 1161389, 6-14 Macpherson Street WARRIEWOOD NSW 2102**

Reference is made to Council's correspondence dated 18 April 2016 seeking advice regarding bush fire protection in relation to the above application made in accordance with Section 96 of the *Environmental Planning and Assessment Act 1979*. The application seeks various modifications to the conditions of consent, particularly in relation to the use of skylights on bush fire prone dwellings.

The New South Wales Rural Fire Service (NSW RFS) advises that it has no objection to the proposed modification subject to the revised condition below.

Condition B25 is recommended to be amended to read:

- At the commencement of building works and in perpetuity a 24 metre asset protection zone along the northern boundary shall be managed as an inner protection area (IPA) as outlined within section 4.1.3 and Appendix 5 of *Planning for Bush Fire Protection 2006* and the NSW Rural Fire Service's document *Standards for asset protection zones*,
- Water, electricity and gas are to comply with sections 4.1.3 and 4.2.7 of *Planning for Bush Fire Protection 2006*,
- Property access roads shall comply with sections 4.1.3(2) and 4.2.7 of *Planning for Bush Fire Protection 2006*,
- New accommodation construction shall comply with section 5 (BAL 12.5) *Australian Standard AS3959-2009 - Construction of buildings in bush fire-prone areas* and section A3.7 Addendum Appendix 3 of *Planning for Bush Fire Protection 2006*,
- **Any framed glass skylights are to comply with Sections 3 and 5 (BAL 12.5) *Australian Standard AS3959-2009 - Construction of buildings in bush fire-prone areas* and section A3.7 Addendum Appendix 3 of *Planning for Bush Fire Protection 2006*. No polycarbonate roofing is to be used, including any located in a private open space area, awning, patio or the like,**
- The additional carports are to be erected in accordance with Clause 3.2.1 of *Australian Standard AS3959-2009 - Construction of buildings in bush fire-prone areas*.

You are advised this advice supersedes our previous correspondence dated 31 December 2015 (Our Ref: D15/3516).

Postal address

NSW Rural Fire Service
Records Management
Locked Bag 17
GRANVILLE NSW 2141

Street address

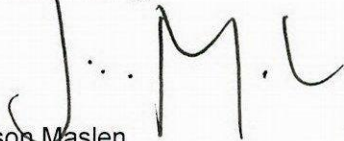
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GLENDENNING NSW 2761

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If you have any queries regarding this advice please contact Aaron Howard, Development Assessment and Planning Officer, on 1300 NSW RFS.

Yours sincerely,

A handwritten signature in black ink, appearing to read 'J.M.L.', with a stylized flourish at the end.

Jason Maslen
Team Leader – Development Assessment and Planning
Planning and Environment Services (East)