

Application for a construction certificate

John J Briggs Associates P/L
PO Box 800
Brookvale NSW 2100
Phone (02) 9907 1018
Fax (02) 9907 1344
johnjbriggs1@bigpond.com

If you want to carry out some building work or subdivision work (such as building roads or a stormwater drainage system), you need a construction certificate before you can start work. You can use this form to apply for a construction certificate. To complete the form, please place a cross in the boxes ☐ and fill out the white sections as appropriate. To minimise delay in receiving a decision about your application, please ensure you submit all relevant information. You need to apply to a certifying authority (either your council or a private certifier).

1. Details of the applicant

Mr ☐ Ms ☐ Mrs ☐ Dr ☐ Other

First name Family name

Flat/street no. Street name

Suburb or town State Postcode

Daytime telephone Fax Mobile

Email

2. Identify the land

Flat/street no. Street name

Suburb or town Postcode

Lot no. Section

DP/MPS no. Volume/folio

You can find the lot no., section, DP/MPS no. and volume/folio details on a map of the land or on the title documents for the land. If you need additional room, please attach a schedule and/or a map with these details.

3. Estimated cost of the development

\$ including GST

4. Describe the development

What type of work do you propose to carry out?

Building work ☒

Subdivision work ☐

Describe the work

STAGE 1.

Alterations & additions to existing dwelling excluding south side driveway, ensuite & walk-in robe lower level & a new garage.

For building work, what is the class of the building under the Building Code of Australia?

This can be found on the development consent

Has development consent been granted for the development?

No ☐

Yes ☒

What is the development application no.?

What date was development consent granted?

5. Information to be attached to the application

You need to provide material with your application that is relevant to the type of work you propose to do. Please indicate the material you have attached by placing a cross in the appropriate boxes ☐:

1. If you are going to carry out **building work**:

☐ a copy of any compliance certificates on which you rely

☒ detailed plans of the building (4 copies)

The plans must be drawn to a suitable scale and consist of a general plan and a block plan. The general plan of the building is to:

- show a plan of each floor section
- show each elevation of the building
- show the level of the lowest floor, the level of any yard or unbuilt area on that floor and the level of the ground
- indicate the fire safety and fire resistance measures (if any), and their height, design and construction

Where you propose to alter, add to or rebuild a building that is already on the land, or modify plans that have already been approved, please mark the general plan (by colour or otherwise) to show the change you propose to make.

☒ detailed specifications of the building (4 copies)

The specifications are to:

- describe the construction (including the standards that will be met), the materials which will be used to construct the building and the methods of drainage, sewerage and water supply
- state whether the materials proposed to be used are new or second hand and give details of any second-hand materials to be used.

Where you propose to modify specifications that have already been approved, please mark the approved specifications (by colour or otherwise) to show the modification.

☒ a plan of the existing building, drawn to scale, where the application involves building work to alter, enlarge or extend that building

This plan will assist the certifying authority to assess whether the work will reduce the fire protection capacity of the building.

5. continued

- ☐ where you propose to meet the performance requirements of the Building Code of Australia (BCA) by using an alternative solution to the deemed-to-satisfy provisions of the BCA:
 - a list of the performance requirements you will meet by using the alternative solution
 - the details of the assessment methods you will use to meet those performance requirements
 - a copy of any compliance certificates on which you rely

- ☐ evidence of any accredited component, process or design on which you seek to rely
Components, processes or designs that relate to the erection or demolition of a building are accredited under the Environmental Planning and Assessment Regulation 2000.

- ☐ details of the fire safety measures, unless you are building a single dwelling or a non-habitable building or structure (such as a private garage, carport, shed, fence, antenna, wall or swimming pool). These details are to include:
 - a list of any fire safety measures you propose to include in the building or on the land
 - if you propose to alter, add to or rebuild a building that is already on the land, a list of the fire safety measures that are currently used in the building or on the land

The lists must describe the extent, capability and the basis of design of each measure.

- ☐ the attached schedule, completed for the development
The information in the schedule will be used by the Australian Bureau of Statistics to report each quarter on the building activity that occurs in the economy. Building statistics allow governments and businesses to accurately identify main areas of population growth and demand for products and services

You may also need to pay a long service levy under section 34 of the Building and Construction Industry Long Service Payments Act 1986 (or where such a levy is payable by instalments, the first instalment of the levy) before the certifying authority can issue a certificate to you.

2. If you are going to **carry out work to do a subdivision** (eg building roads or a stormwater drainage system):

- ☐ the details of the existing and proposed subdivision pattern (including the number of lots and the location of roads)
- ☐ the details of the consultation you have carried out with the public authorities who provide or will increase the services you will need (like water, road, electricity, sewerage)
- ☐ the existing ground levels and the proposed ground levels when the subdivision is completed
- ☐ copies of any compliance certificates on which you rely
- ☐ detailed engineering plans (4 copies). The detailed plans might include the following:
 - earthworks
 - roadworks
 - road pavement
 - road furnishings
 - stormwater drainage
 - water supply works
 - sewerage works
 - landscaping works
 - erosion control works

Where you propose to modify plans that have already been approved, please mark the approved plans (by colour or otherwise) to show the modification.

5. continued

3. If you are going to change the use of a building or the classification of a building under the Building Code of Australia and you are doing building work (unless the building will now be used as a single dwelling or a non-habitable building or structure (such as a private garage, carport, shed, fence, antenna mast or swimming pool)):

- ☐ a list of any fire safety measures you propose to include in the building or on the land
- ☐ if you propose to alter, add to or rebuild a building that is already on the land, a list of the fire safety measures that are currently used in the building or on the land
- ☐ details as to how the building will comply with the Category One fire safety provisions of the Building Code of Australia

The list of fire safety measures must describe the extent, capability and the basis of design of each measure.

6. Signatures

The owner(s) of the land must sign this application if:

- at the time this owner signed the development application, the owner did not give consent to the application to lodge a construction certificate; or
- the owner of the land has changed since the owner signed the development application.

As the owner(s) of the above property, I/we consent to this application:

Signature

Adam Gilmour

Name

ADAM GILMOUR

Date

15/4/10

The applicant, or the applicant's agent, must sign the application.

Signature

D Gilmour

Name, if you are not the applicant

DIERKE GILMOUR

Date

14.04.2010

Signature

Michelle Gilmour

Name

Michelle Gilmour

Date

15/4/10

In what capacity are you signing if you are not the applicant?

agent

7. Privacy Policy

The information you provide in this application will enable your application to be assessed by the council authority. If the information is not provided, your application may not be accepted. Please contact the council if the information you have provided in your application is incorrect or changes.

ENTERED

15 APR 2010

Schedule to application for a construction certificate

Please complete this schedule. The information will be sent to the Australian Bureau of Statistics.

All new buildings

Please complete the following:

- Number of storeys (including underground floors)
- Gross floor area of new building (m²)
- Gross site area (m²)

N/A -

-

-

Residential buildings only

Please complete the following details on residential structures:

- Number of dwellings to be constructed
- Number of pre-existing dwellings on site
- Number of dwellings to be demolished
- Will the new dwelling(s) be attached to other new buildings?
- Will the new building(s) be attached to existing buildings?
- Does the site contain a dual occupancy?
(NB dual occupancy = two dwellings on the same site)

Yes ☐ No ☐

Yes ☐ No ☐

Yes ☐ No ☐

Materials – residential buildings

Please indicate the materials to be used in the construction of the new building(s):

Walls	Code	Roof	Code	Floor	Code	Frame	Code
Brick (double)	<input type="checkbox"/> 11	Tiles	<input type="checkbox"/> 10	Concrete or slate	<input type="checkbox"/> 20	Timber	<input type="checkbox"/> 40
Brick (veneer)	<input type="checkbox"/> 12	Concrete or slate	<input type="checkbox"/> 20	Timber	<input type="checkbox"/> 40	Steel	<input type="checkbox"/> 60
Concrete or stone	<input type="checkbox"/> 20	Fibre cement	<input type="checkbox"/> 30	Other	<input type="checkbox"/> 80	Aluminium	<input type="checkbox"/> 70
Fibre cement	<input type="checkbox"/> 30	Steel	<input type="checkbox"/> 60	Not specified	<input type="checkbox"/> 90	Other	<input type="checkbox"/> 80
Timber	<input type="checkbox"/> 40	Aluminium	<input type="checkbox"/> 70			Not specified	<input type="checkbox"/> 90
Curtain glass	<input type="checkbox"/> 50	Other	<input type="checkbox"/> 80				
Steel	<input type="checkbox"/> 60	Not specified	<input type="checkbox"/> 90				
Aluminium	<input type="checkbox"/> 70						
Other	<input type="checkbox"/> 80						
Not specified	<input type="checkbox"/> 90						

JOHN J BRIGGS

ASSOCIATES

ACCREDITED BUILDING CERTIFIERS
ABN 99 089 896 159

Ms D Gilmour
8 Bridge Street
Brooklyn NSW 2083

Construction Certificate

Certificate

I certify that if the work is completed in accordance with the attached plans and specifications which have been approved, it will comply with the requirements of the Environmental Planning and Assessment Regulation 2000 as referred to in Section 81A (5) of the Environmental Planning and Assessment Act 1979. This certificate is issued without any conditions for the following premises:

Address of Property: Lot 6, DP 822263, 2 Bilgola Terrace, Bilgola

Plan Numbers Approved: Drawings Job 5234 sheets 1/10, 4/10, 5/10, 6/10, 8/10 & 9/10 all Rev B & dated 13.7.09 & sheets 3/10 & 7/10 both Rev C dated 18.5.10 & 5.5.10 respectively & prepared by Emerald Designs.

NOTE: REFER TO THE ATTACHED 'SCHEDULE A' LIST OF DETAILS TO BE READ IN CONJUNCTION WITH THIS CONSTRUCTION CERTIFICATE.

Information attached to this decision:



A Fire Safety Schedule



The Conditions of the Certificate

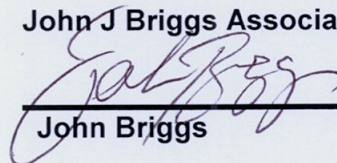
Construction Certificate No: 1482CC1

Date of this Decision and Certificate: 11th June 2010

Certifying Authority: John J Briggs Associates Pty Ltd

Signature:

Name of accredited Certifier:


John Briggs

**Building Professionals Board
Accreditation No:** BPB 0049

Proposal: Stage 1. - Alterations & additions to existing dwelling excluding south side driveway, ensuite & walk-in robe lower level & new garage.

Development Consent No: NO275/09

Date of Determination: 17.11.09

Council Area: Pittwater

Applicant's right of appeal – If the certifying authority is a council, a Minister or a public authority and the certifying authority has issued a construction certificate subject to conditions, you can appeal against these conditions to the Land and Environment Court within 12 months from the date of the decision.

PO Box 800 Brookvale 2100
Phone: 02 9907 1018 Fax: 02 9907 1344
johnjbriggs1@bigpond.com

JOHN J BRIGGS

ASSOCIATES

ACCREDITED BUILDING CERTIFIERS
ACN 089 896 159

Construction Certificate No.: 1482CC1

Address: 2 Bilgola Terrace, Bilgola

Applicant: Ms D Gilmour

SCHEDULE A

The following is a list of details/plan references that should be read in conjunction with Construction Certificate No. : 1482CC1

- Structural Engineers drawings Job 10001 sheets S1, S2 & S3 all rev1 all dated 2.2.10, and S4 driveway crossing & levels dated 10.5.10, prepared by D O'Brien Engineering Services Pty Ltd,
- Certificate of Structural Adequacy for existing structure to carry additional loads Ref C110001 prepared by D O'Brien Engineer Pty Ltd
- Form 2 Part B – Geotechnical Risk Management Policy for Pittwater
- Housing Industry Association Specifications
- Pittwater Council S189 Roads Act 1993 Consent.
- Long Service Levy receipt
- Certificate of Insurance Home Warranty
- Certificate of Currency – Public Liability
- Public Liability Insurance – Job11002
- External finishes schedule
- Basix Certificate commitments
- Garage roof garden construction detail
- Soil & sediment erosion control details
- Landscape Management Plan prepared by Leaf Landscapes.

PO Box 800 Brookvale NSW 2100
Phone: 02 9907 1018 Fax: 02 9907 1344
johnjbriggs1@bigpond.com.au

Roof Garden Construction: Extensive

Foliage consisting of sedums

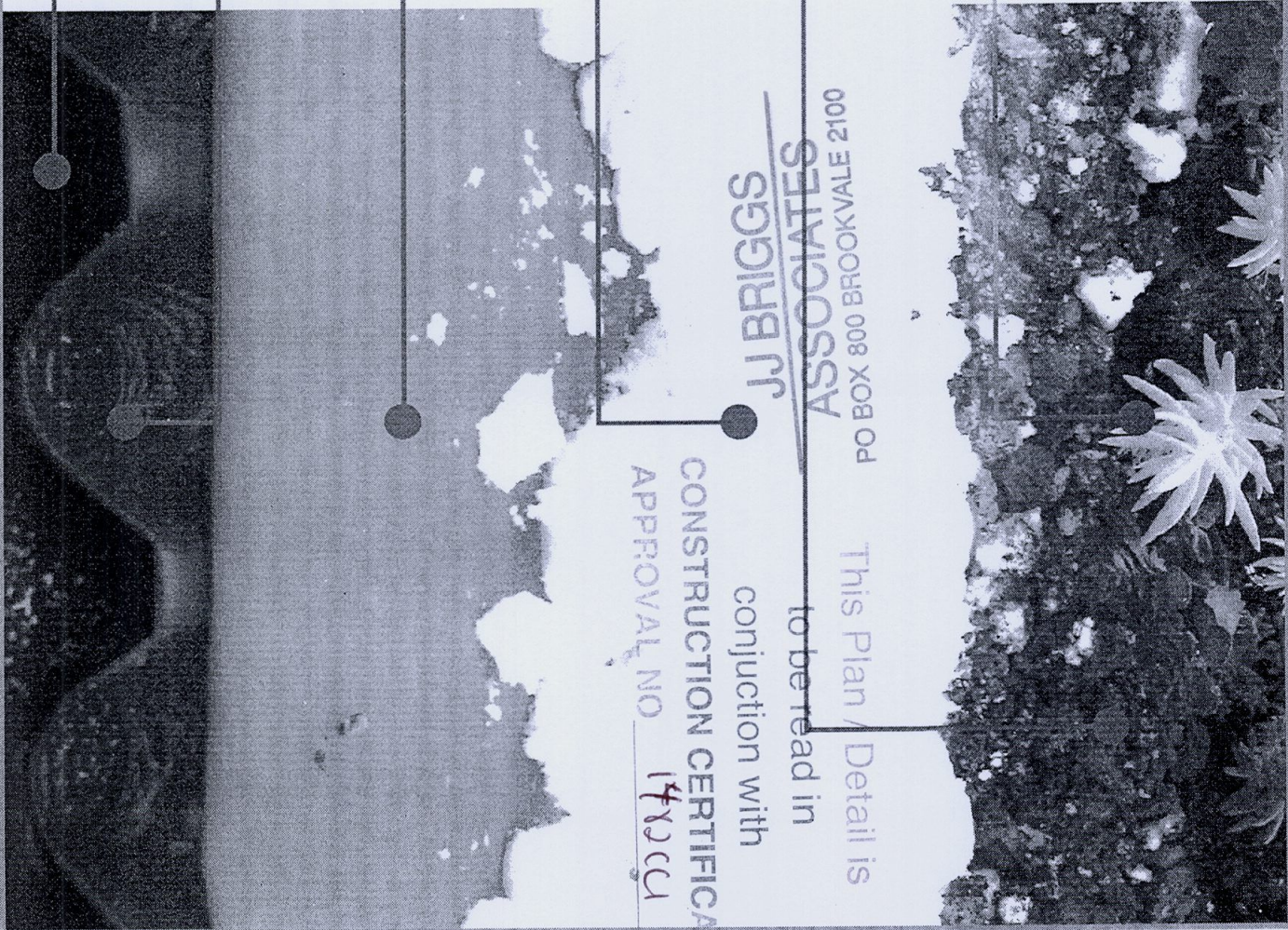
Hydrocell Extensive Roof Garden Mix 40-60mm
consisting of: Washed Coarse Sand, Hydrocell, Scoria
or Horticultural Ash, Composted Organics

A Hydrocell RG30 flaked foam layer
(20-40mm)

Geotextile membrane – Bidim A14G

Drainage Cell – FYTONOP 20mm

LDPE Sheet to protect waterproof layer



JJ BRIGGS

ASSOCIATES

PO BOX 800 BROOKVALE 2100

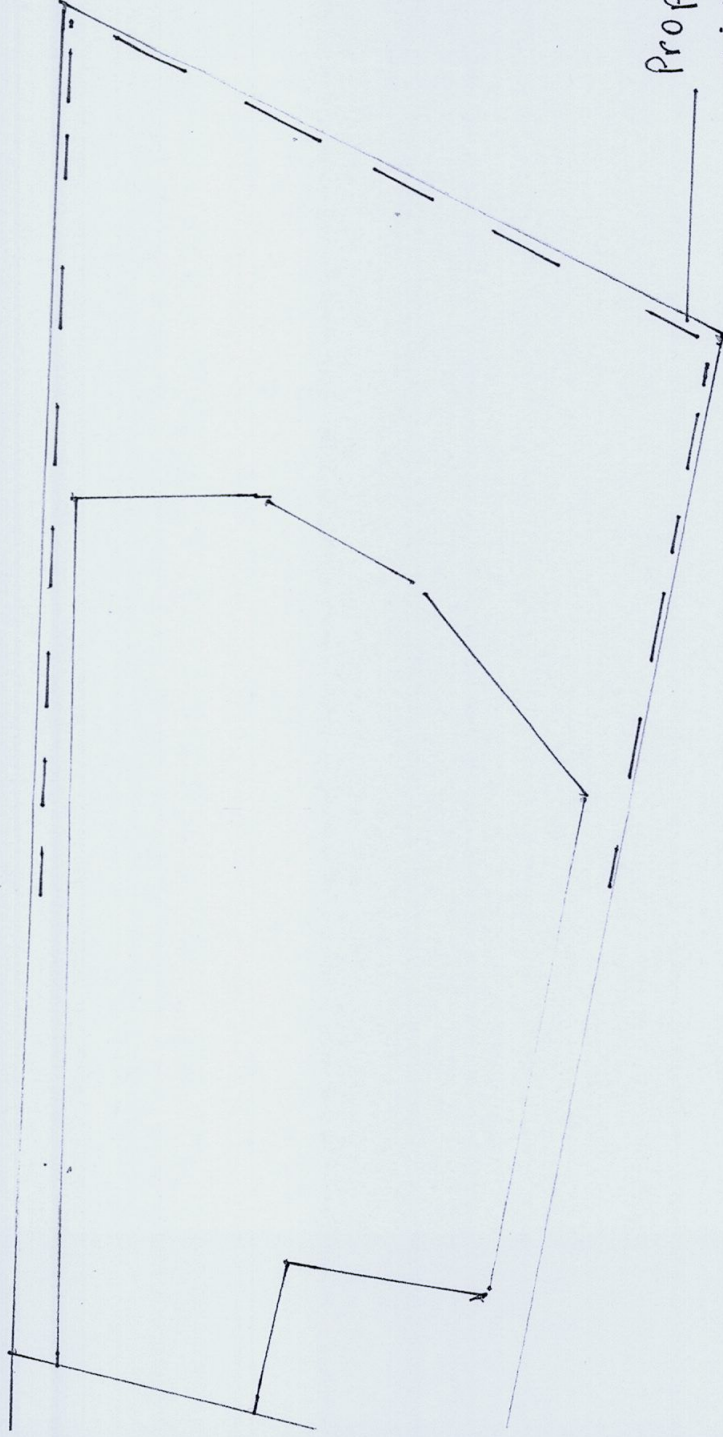
This Plan / Detail is

to be read in

conjunction with

CONSTRUCTION CERTIFICATE

APPROVAL NO 1482001



Proposed security fence
with screening to prevent
soil erosion as per information
already provided.

GEOTEXTILES FABRIC - ISO 9001:2000 ACCREDITATION
Proposed security and soil erosion plan for 2 Bilgola Terrace Bilgola



PITTWATER COUNCIL

Form No UI 203

Consent by Road Authority for Work in Road Reserve - DRIVEWAY

Section 139 – Roads Act 1993

1 July 2009 - 30 June 2010

PLEASE PRINT

Applicant Adam + Dierdre GILMOUR
Postal Address 8 Bridge St Brooklyn Postcode 2083
Phone (W) 02 99858586 (M) 0406 100 200
Property Address 2/ Bilgola Terrace Bilgola 2107

Subject to the payment of the appropriate fee the Applicant is hereby permitted to construct the driveway (and/or associated work) as detailed below in strict accordance with the **CONDITIONS** overleaf

I/We the undersigned agree to abide by the said conditions

Applicant's Signature Dierdre Gilmour Date 13 04 10

FEES (includes GST)

Consent for access driveway construction only (includes 2 site inspections) per allotment for RESIDENTIAL SINGLE/ DUAL OCCUPANCY	\$155 00
Consent for access driveway construction only (includes 2 site inspections) per allotment for RESIDENTIAL SINGLE/ DUAL OCCUPANCY which includes any of <i>major retaining structures, stairs or special landscape treatment</i>	\$385 00
Consent for access driveway construction only (includes 2 site inspections) per allotment for OTHER THAN RESIDENTIAL SINGLE/DUAL OCCUPANCY	\$180 00
Consent for access driveway construction only (includes 2 site inspections) per allotment for OTHER THAN RESIDENTIAL SINGLE/DUAL OCCUPANCY which includes any of <i>retaining structures, stairs or special landscape treatment</i>	\$510 00
Fee per additional site inspection as required	\$140 00

Office Use Only	<u>R. McWhite</u>	Date <u>21/4/10</u>
Inspected by		
Approved		
Not approved		
Comment		
CODE ESTR 1 7 09 - 30 6 10 Late Fee \$650 when work commenced prior to issue of Consent Form No UI 203		
FEE PAID \$155.00 RECEIPT NO <u>28363</u> ISSUED BY <u>K8</u> DATE <u>14/4/10</u>		

NOTE TO CUSTOMER SERVICE PHOTOCOPY APPLICATION FORM AND STAPLE WITH RECEIPT FOR CUSTOMER'S RECORD

This Plan / Detail is

to be read in
conjunction with

**JJ BRIGGS
ASSOCIATES**
PO BOX 800 BROOKVALE 2100

CONSTRUCTION CERTIFICATE
APPROVAL NO 1482CC/

13 April 2010

ADAM GILMOUR
8 BRIDGE ST
BROOKLYN NSW 2083



Building and Construction Industry
Long Service Payments Corporation
Level 1
19-21 Watt Street
Gosford NSW 2250
Locked Bag 3000
Central Coast MC NSW 2252
Tel: 13 14 41
Fax: (02) 9287 5685
Email: info@lspc.nsw.gov.au
www.lspc.nsw.gov.au
ABN 93 646 090 808

As per your request for a copy of your receipt no. 00081004 dated 13 April 2010,
the following information is provided:

Received from: (Name of person or organisation paying for levy)	the amount of
ADAM GILMOUR	\$1,614.00

Payment details:
Online 00588213476 \$1,614.00

being payment for Long Service Levy as detailed below

Levy Payment Form number	5004877
Council/Department/Authority	PITTWATER COUNCIL
D.A. Number	275/09
Work address	2 BILGOLA TERRACE BILGOLA NSW 2071
Estimated value of work	\$461,400.00
Levy payable (No exemption)	\$1,614.00
Total levy paid	\$1,614.00

Signed: _____

Date 13/4/2010

LONG SERVICE
BUILDING & CONSTRUCTION

13 May 2010

ADAM GILMOUR
8 BRIDGE ST
BROOKLYN NSW 2083Building and Construction Industry
Long Service Payments Corporation
Level 1
19-21 Watt Street
Gosford NSW 2250
Locked Bag 3000
Central Coast MC NSW 2252
Tel: 13 14 41
Fax: (02) 9287 5585
Email: info@lspc.nsw.gov.au
www.lspc.nsw.gov.au
ABN 93 646 090 808

Levy Receipt

Receipt No

00082180

Received from: (Name of person or organisation paying for levy)

ADAM GILMOUR

the amount of

\$182.00

Payment details:

Cheque 977512 \$182.00 BL GILMOUR & D GILMOUR

being payment for Long Service Levy as detailed below

Levy Payment Form number	5004877
Council/Department/Authority	PITTWATER COUNCIL
D.A. Number	275/09
Work address	2 BILGOLA TERRACE BILGOLA NSW 2071
Estimated value of work	\$516,000.00
Levy payable (No exemption)	\$1,806.00
Total levy paid	\$1,796.00

Signed: (Signature of authorised person)

Date

13/5/2010

91188

JJ BRIGGS
ASSOCIATES
PO BOX 800 BROOKVALE 2100This Plan / Detail is
to be read in
conjunction with**CONSTRUCTION CERTIFICATE**
APPROVAL NO 1482CC



Certificate of Currency

Intermediary Reference

Reference No: AGBCABO

Name: CPS General Insurance Agencies Pty Ltd

Persons Insured:	Avail Constructions Pty Ltd		
Policy Number:	AP0058949		
Product:	Contract Works and Legal Liability Policy		
Basis of Cover:	Annual Declaration - Run Off Basis		
Period of Insurance:	From 01/04/2010 to 01/04/2011 at 4:00 PM		
Sum Insured/	Material Damage (Residential):	\$ 500,000	
Limits of Indemnity:	Legal Liability:	\$ 10,000,000	
Details:	Specific Contract:	New Construction Residential Building	
	Interested Financiers and / or Principal:	Not Insured	
	Contract Site:	Australia	
	Contract Value (Residential):	\$ 500,000.00	
	Construction Period:	From 01/04/2010 to 01/04/2011 at 4:00 PM	

Date: 22/04/2010

Signed: 

The insurer is GIO General Limited ABN 22 002 861 583

The product is distributed by AMP GI Distribution Pty Ltd ABN 40 098 080 810

JJ BRIGGS
ASSOCIATES
PO BOX 800 BROOKVALE 2100

This Plan / Detail is
to be read in
conjunction with
CONSTRUCTION CERTIFICATE
APPROVAL NO 1482 CCI

The insurer is GIO General Limited ABN 22 002 861 583

The product is distributed by AMP GI Distribution Pty Ltd ABN 40 098 080 810



AVAIL CONSTRUCTIONS

Licence Number 64543C

26 th April 2010

TO : John J. Briggs and Associates
Phone 9907 1018
Fax 9907 1344
Mobile 0410 509 731
Email johnjbriggs1@bigpond.com
Office Unit 120 / 20 Dale Street Brookvale NSW 2100

ATTENTION John Briggs

PROJECT: Mr A. and Mrs M. Gilmore
2 Bilgola Terrace
Bilgola NSW 2107

JOB No 1002

RE: **Public Liability Insurance**

Page 1 of 2

Dear John

Following this sheet is certificate of currency for 10 million dollars public liability for my business for your approval and processing.
Mrs Dierdre Gilmore whom acts for her son requires the further amount of insurance above my 5 million dollars and as per your requirements.

I trust this is to your satisfaction.

Yours faithfully

Stuart Witts

AVAIL CONSTRUCTIONS

PO Box 4043 North Curl Curl NSW 2099

Business Fax 9972 45 35

Business Phone **9972 3545**

Builder's Mobile 0419 25 35 35

JJ BRIGGS
ASSOCIATES
PO BOX 800 BROOKVALE 2100

This Plan / Detail is
to be read in
conjunction with
CONSTRUCTION CERTIFICATE
APPROVAL NO 1482CC1

DIERDRE GILMOUR

8 Bridge Street
Brooklyn
N.S.W. 2083
612 99858586
612 99858587
dierdre_gilmour@hotmail.com

January 12, 2010

Sophie Garland
Planner
Pittwater Council
PO Box 882
Mona Vale NSW 1660

RE DA :N0275/09

Dear Ms Garland,

I wish to thank you for your assistance and I appreciate the professional manner in which you reviewed our recent DA application.

I have two matters that require further clarification as per your letter of 17th November.

1. B.12. Just to clarify this point we intend to replace the existing finish with a concrete cement rendering finished in Dulux Colorbond Surfmist, as the existing surface material is peeling and cracking and is not durable at all. All guttering, down pipes and columns will be Dulux Colorbond Woodland Grey. The new roof will match what is already existing on the building.
2. D.14. I understand that this provision refers to safe vehicle access at all times to the adjoining property via the gazetted road that connects to the pedestrian pathway and car garage for that property. Any suggestion that we continue to provide vehicle access across our freehold land during construction is unreasonable and beyond any legal obligation between both parties.

Sincerely,

Dierdre Gilmour

JJ BRIGGS
ASSOCIATES
PO BOX 800 BROOKVALE 2100

This Plan / Detail is
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CONSTRUCTION CERTIFICATE
APPROVAL NO 1482cc1

D. O'BRIEN ENGINEERING SERVICES PTY. LTD.

Civil & Structural Engineers

A.C.N. 000 526 876 A.B.N. 46 000 526 876

Suite 6/319 Condamine St
MANLY VALE 2093

Post to: P.O. Box 326

MANLY 1655
Phone: (02) 9907 6947
Fax: (02) 9907 6948
Mobile: 0412 971 107

Mr and Mrs Gilmour
8 Bridge St
Brooklyn NSW 2083

02/02/10
Ref. C110001

Dear Mr and Mrs Gilmour

RE: Proposed Alterations and Additions at
2 Bilgola Tce Bilgola Plateau NSW
Structural Certificate for New Loads

The structural design and details for the alterations and additions to the existing residence at 2 Bilgola Tce Bilgola Plateau are shown on drawing numbers 10001/S1, S2 and S3. The structural drawings are based on the architectural drawings DA01-05 by Emerald Designs.

A site inspection was made of the existing residence with a view to determining the adequacy of the existing structures to carry the new design loads in accordance with Australian Standard AS1170.1 (Loading Code).

The sizes of supporting walls and footings, at the interface with the new loads, are adequate to carry the design loads subject to the additional requirements shown on the drawing nos. 10001/S1, S2 and S3. Some adjustment may be required to the structure details depending on the conditions encountered on site when work commences.

The structural adequacy of the existing residence, that is not associated or connected to the proposed new work, was not inspected on site and is not covered by this certificate.

The design and details for the proposed new alterations and additions for the residence at 2 Bilgola Tce Bilgola Plateau are in accordance with the Australian Standards including AS3600 (Concrete Code), AS3700 (Masonry Code), AS4100 (Steel Code), AS1720 (Timber Code) and AS 1684 (Timber framing Code).

Yours sincerely

Dermot J. O'Brien, B.E. MIE. Aust. C P Eng

JJ BRIGGS
ASSOCIATES
PO BOX 800 BROOKVALE 2100

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CONSTRUCTION CERTIFICATE
APPROVAL NO 1482001

GEOTECHNICAL RISK MANAGEMENT POLICY FOR PITTWATER
FORM NO. 2 - PART B - To be submitted with detailed design for Construction Certificate

PART B Declaration made by Geotechnical Engineer or Engineering Geologist and/or Coastal Engineer (where applicable) in relation to the incorporation of the Geotechnical issues into the project design

Don KATAUSKIS on behalf of D. KATAUSKIS CONSULTING GEOTECHNICAL ENGINEER
(insert name) (trading or company name)

on this the 4 MAY 2010
(date)

certify that I am a Geotechnical Engineer or Engineering Geologist and/or Coastal Engineer as defined by the Geotechnical Risk Management Policy for Pittwater - 2009 and I am authorised by the above organisation/company to issue this document and to certify that the organisation/company has a current professional indemnity policy of at least \$2million. I also certify that I have reviewed the design plans and structural design plans for the Construction Certificate Stage and that I am satisfied that:

Please mark appropriate box

- ☒ the structural design meets the recommendations as set out in the Geotechnical Report or any revision thereto.
☐ the structural design has considered the requirements set out in the Geotechnical Report for Excavation and Landfill both for the excavation/construction phase and the final installation in accordance with Clause 3.2 (b)(iv) of the Geotechnical Risk Management Policy.

Geotechnical Report Details:

Report Title: GEOTECHNICAL ASSESSMENT & RISK ANALYSIS

Report Date: 15 July 2009

Author: Don KATAUSKAS

Documentation which relates to or is relied upon in report preparation:

ALTERATIONS & ADDITIONS 2 BELGOLA TERRACE, BELGOLA

DWG Nos 10001-S1 to S3 Prepared by D O'Brien Engineering

SERVICES P/L

I am also aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy, including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated and justified.

Signature [Signature]

Name Don KATAUSKAS

Chartered Professional Status MEMBER 1965

Membership No. _____

Company D. KATAUSKIS CONSULTING GEOTECHNICAL ENGINEER

JJ BRIGGS
ASSOCIATES
PO BOX 800 BROOKVALE 2100

This Plan / Detail is
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CONSTRUCTION CERTIFICATE
APPROVAL NO 1482 CC1

ADDRESS OF PROPERTY: 2 Bilgela

The insurer is GIO General Limited ABN 22 002 861 583
The product is distributed by AMP GI Distribution Pty Ltd ABN 40 098 080 810

GENERAL HOUSING SPECIFICATIONS



Housing Industry
Association

**JJ BRIGGS
ASSOCIATES**
PO BOX 800 BROOKVALE 2100

This Plan / Detail is
to be read in
conjunction with
CONSTRUCTION CERTIFICATE
APPROVAL NO 1482001

between

Mr A and Mrs M. Gilmaur

OWNER

and

AVAIL CONSTRUCTIONS

CONTRACTOR

CONTRACTOR LICENCE NO: 64543C

Copyright Reserved -
no portion of this agreement may be reproduced by any
process whatsoever without the written consent of the
Housing Industry Association (NSW) Division.

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GENERAL HOUSING SPECIFICATIONS
(Revised November 2000)

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1.0 INTRODUCTION

1.1 General

This Specification details the works to be executed and the materials to be used in carrying out those works at the Site.

This Specification shall be read as a general specification only. The extent of the works shall be governed by the Approved Plans and Special Details where applicable.

Any works not fully detailed shall, where appropriate, be sufficiently performed if carried out in accordance with applicable Manufacturer's Recommendations or Engineer's Recommendations.

1.2 Preliminary Use

This Specification forms part of the Building Contract Documents, and should be read in conjunction with the Building Agreement, Engineer's Reports, Plans and any other special details.

1.3 Prevailing Documents

Where there is a difference between Plan and Specification the Plan will take precedence. The Contractor must at all times maintain a legible copy of the plans and specification bearing the approval of the appropriate authorities.

1.4 Size and Dimensions

All sizes and dimensions given in this Specification are in millimetres unless otherwise stated and are nominal only.

1.5 Prime Cost Items

Prime cost items listed in this Specification are Contractors cost prices, they do not include Builders margins, cost of cartage and freight. Should any of these items not be required, credit will be made at the listed price in the contract's final progress claim.

1.6 Definitions

"Special Details" in respect of any item or part of the works means any drawings, plans, specifications, calculations or other documents (including Engineer's Recommendations) prepared in order to define or detail the work to be done and the materials to be used.

"Engineer's Recommendations" includes any Soil Classification Report, Preliminary Footing Report, Construction Footing Report and any other Report, Recommendation, site or other instruction, calculations or plans prepared by an Engineer in respect of the Works.

Where the words "Local Authority" are mentioned they shall mean the Local Council, or other Governing Authority, or Private Certifier with Statutory responsibility for the compliance of the work performed.

2.0 STATUTORY REQUIREMENTS

2.1 The Works

The Works shall be constructed in accordance with Australian Standards referred to in Section 1 of the BCA 96 Housing Provisions together with any amendment or replacement of those Standards.

2.2 Regulations, Notices and Fees

The Contractor is to comply with the requirements of all legally constituted authorities having jurisdiction over the Works including the provisions of the Home Building Act.

The Contractor is to give all notices, obtain all Permits and pay all fees required by such authorities.

Where referred to in these specifications, regulations shall mean the Building Regulations and Codes (including the Building Code of Australia, as amended) statutorily enforceable at the time application is made for a permit, consent or approval.

2.3 Insurance

Insurance cover of the Works against risk for Fire, Theft, Malicious Damage and Materials on Site are to be effected by the Contractor at the Contractor's expense. The Contractor shall also at his expense adequately insure Public Liability and arrange Worker's Compensation cover in respect of any liability under the Worker's Compensation Act of New South Wales.

2.4 Labour and Materials

The Contractor is to provide all labour and materials to construct and complete the Building to the stage as specified in the contract documents. Materials to be of the standard specified. Workmanship in each trade to be performed by licensed tradespeople in conformity with adequate building practice. Building materials surplus to requirements of the Works shall be and remain the property of the Contractor.

2.5 Electricity

The Contractor is to make arrangements for any electrical power to be used in the erection of the Works and is to pay fees and costs incurred therein. Should additional poles, wiring, service risers or underground wiring etc., be required by the Electricity Authority, this additional cost plus Builder's margin shall be borne by the Owner.

2.6 Sanitary Accommodation

Prior to the commencement of any Works, unless toilet facilities exist on Site, the Contractor shall provide temporary toilet accommodation for the tradespeople. Where the Authority requires the temporary toilet to be connected to sewer mains, the additional cost plus Builder's margin of such shall be borne by the owner. On completion the Contractor shall remove the convenience.

3.0 OWNER'S OBLIGATIONS

3.1 Surveyor's Certificate

If the Building Agreement so indicates, the Owner shall, at the Owner's expense, obtain a certified survey of the Site. If no survey is required, the Owner hereby certifies that the placement of the existing survey pegs or fences on the Site is correct.

3.2 Engineer's Recommendations

If the Building Agreement so indicates, the Owner shall, at the Owner's expense, provide the Contractor with reports and recommendation (including soil classification) as to the foundations and/or footings requirements for the Works prepared by an Engineer.

If the Contractor instructs any party to provide such recommendations, the Contractor does so only as an agent for the Owner.

3.3 Trades Persons Engaged by Owner

The Owner shall not engage or employ any tradesperson, trade-contractor or any other person to work on the Site without the consent of the Contractor which consent may be subject to such terms and conditions as the Contractor may stipulate.

3.4 Items Supplied by Owner

For all items referred to in the Specification to be supplied by the Owner, it is the responsibility of the Owner to arrange payment for delivery of and protection against damage and theft of all these items.

Delivery is to be made when requested by the Builder to the Site. If not available when required the Owner shall be obliged to make an alternative selection.

3.5 Water Supply

The Owner shall, at the Owner's expense, supply adequate water to the Site for construction purposes. Unless otherwise specified, the Contractor shall pay the standard water metre connection fee to the Water Supply Authority providing this service is prelaid to the Site ready for use. The Owner shall be responsible for any fee to be paid in excess of the standard water metre connection fee.

3.6 Sanitation

Unless otherwise specified, the Owner shall, at the Owner's expense, supply sewerage connection riser or common effluent drainage connection riser on the Site. Unless otherwise specified, the Contractor shall pay the standard sewer connection fee to the Supply Authority providing this service is to prelaid to the Site and ready for use.

The Owner shall be responsible for any fee to be paid in excess of the Standard sewer connection fee.

3.7 Site Clearance

At the Owner's expense clear only the Site area of building work including vegetation stumps, boulders, rubble and the like to a minimum distance of 1,000mm outside the building or to the boundaries of the allotment, whichever is the less and fill any depressions within the area covered by the building.

4.0 PLANS, PERMITS AND APPLICATION FEES

4.1 Permits and Fees

Unless otherwise agreed, the Contractor shall lodge all necessary application notices, plans and details with the Local Authority for approval prior to commencement of construction.

4.2 Mines Subsidence

In areas affected by mines subsidence the appropriate authority to be consulted and work carried out in accordance with their requirements as a variation, any additional cost plus Builders Margin is to be borne by the Owner.

4.3 Setting Out

The Contractor shall accurately set out the Works in accordance with the Site Plan and within the boundaries of the Site.

5.0 EXCAVATIONS

5.1 Subject to Clause 3.7 the Site covered by the Building and an area at least 1,000mm wide around the Building or to boundaries of the Site – whichever is the lesser, shall be cleared and/or graded as indicated on the Site Works Plan.

Top soil shall be cut to a depth sufficient to remove all vegetation.

Excavations for all footings shall be in accordance with the Engineer's Recommendation or Part 3.2.2 BCA 96 Housing Provisions.

6.0 FOUNDATIONS AND FOOTINGS

6.1 Underfloor Fill

Underfloor fill shall be in accordance with AS 2870 or Part 3.2 BCA 96 Housing Provisions.

6.2 Termite Risk Management

Termite treatment shall be carried out in accordance with Part 3.1.3 BCA 96 Housing Provisions or AS 3660.1.

6.3 Vapour Barrier

The underfloor vapour barrier shall be in accordance with AS 2870 or Clause 3.2.2.6 BCA 96 Housing Provisions.

6.4 Reinforcement

Reinforcement shall conform and be placed in accordance with AS 3600, AS 2870 and the Engineer's recommendations.

Support to all reinforcement shall be used to correctly position and avoid any undue displacement of reinforcement during the concrete pour.

6.5 Concrete

Concrete shall not be less than Grade N20 except where otherwise approved by the Engineer.

Structural concrete shall be in accordance with AS 3600. Pre-mixed concrete shall be manufactured in accordance with AS 1379 with delivery docket kept on Site and available for inspection by the Engineer.

Concrete shall be placed and compacted in accordance with good building practice. In hot (above 30 degrees Celsius) and windy conditions concrete must be cured by covering with plastic sheeting, spraying with a curing compound or pouding of water on the surface, or as directed by the Engineer.

6.6 Footings and Slabs on Ground

Concrete slabs and footings shall not be poured until approval to pour concrete is given by the Engineer.
or the Local Authority.

NOTE: Bench levels and floor levels on the Site Works Plan shall be regarded as nominal, unless specified otherwise.

6.7 Suspended Slabs

All concrete slabs, other than those supported on solid ground or properly compacted filling, shall be constructed as suspended slabs. These slabs shall be constructed in accordance with the Engineer's recommendations.

6.8 Foundation Walls

On footings as previously specified build brick walls to the thickness shown on plan to level underside of floor bearers and/or plates.

6.9 Sub-Floor Ventilation

Provide adequate cross ventilation to the space under suspended ground floor. No section of the under floor area wall to be constructed in such a manner that will hold pockets of still air.

6.10 Sub-Floor Access

Provide access under suspended floors in position where indicated on plan.

6.11 Curing

All slabs shall be cured in accordance with AS 3600.

7.0 RETAINING WALLS

7.1 Retaining Walls

Retaining walls shall be constructed as shown on the plans and/or special details designed by an Engineer and if applicable approved by the Local Authority whether the construction of such shall be the obligation of the Owner or the Contractor.

8.0 EFFLUENT DISPOSAL/DRAINAGE

8.1 In both sewered and unsewered areas, fit bath, wash basin, kitchen, wash tubs, pedestal pan and floor grate to shower recess in positions shown on plan. (Refer to schedule of fittings). Provide waste pipes with traps to the above fittings and connect to the drainage system. The whole of the work to be performed in accordance with the rules and requirements of the Sewerage Authority concerned.

8.2 Septic System

Provide and install a septic system where applicable to the requirements of Local Authority and in accordance with the manufacturer's instructions.

8.3 Storm Water Drainage

Allow for the supplying and laying of storm water drains where shown on Site Plan. Drains to be a minimum of 90mm UPVC pipes laid to an even and regular fall so as to have a minimum cover of 150mm. Drains to discharge into street gutter where possible. Where outlets are shown within the Site they are to discharge at least 3,000mm clear of the building. If the Authority's requirements give rise to a variation, any additional cost plus Builder's margin is to be borne by the Owner.

9.0 TIMBER FRAMING GENERALLY

9.1 Timber Framing

All timber framework sizes, spans, spacing, notching, checking and fixing shall comply with the provisions of AS 1684 or Part 3.4.3 BCA 96 Housing Provisions. Alternative structural framing to Structural Engineer's details and certification.

The work shall be carried out in a proper and tradesperson like manner and shall be in accordance with recognised and acceptable trade practices.

9.2 Floor Framing

All floors not specified to be concrete are to be framed at the level shown. Span and spacing of bearers is to conform to the requirements of the span tables for the appropriate member size. Deep joists to upper floors, where shown are to be fitted with solid blocking or herringbone strutting as required. All sizes and stress grades of timber members and tie down methods are to be in accordance with AS 1684.

9.3 Wall Framing

Plates are to be trenched to a depth not exceeding 10mm to provide uniform thickness where studs occur. Where plates are machine gauged to a uniform thickness, trenching may be omitted. Wall framing is to be erected plumb and straight and securely fastened to floor framing. Provide a clear space of 40mm between outer face of wall frame and inner face of brick veneer walls. Tie brickwork to studs with approved veneer ties. Ties are to slope downwards towards the veneer wall.

Studs in each panel of walling shall be stiffened by means of solid noggings or bridging pieces at not more than 1,350mm centres over the height of the wall. Bottom plates shall be fixed to the concrete slab in accordance with AS 1684.

9.4 Heads Over Opening (Lintels)

All sizes, stress grade and bearing area shall conform to AS 1684 or NSW Timber Framing Manual. Heads exceeding 175mm in depth shall be seasoned or a low shrinkage timber species use. Plywood web lintels conforming to the requirements of Plywood Association of Australia may be used. Glue Laminated beams conforming with AS 1328. If approved by the Lending Authority, Laminated Veneer Lumber beams to manufacturer's specification and data sheets may be used.

9.5 Roof Trusses

Where roof truss construction is used, trusses shall be fabricated in a properly equipped factory and erected, fixed and braced in accordance with the fabricator's written instructions.

9.6 Bracing

Timber frames must be braced in accordance with Clause 3.4.3.8 BCA 96 Housing Provisions. Bracing units shall be determined as appropriate for the design wind velocity for the building or AS 1684. Bracing shall be evenly distributed throughout the building.

9.7 Flooring

Cover floor joists with strip or sheet flooring as shown on plan. Thickness of flooring to be appropriate for the floor joist spacing. With particular regard to ground clearance and installation in wet areas, structural sheet flooring shall be used strictly in accordance with the manufacturer's recommendations or Part 3.4.3 BCA 96 Housing Provisions.

Strip flooring shall be in accordance with AS 1684.

When listed in Schedule of Works, floors shall be sanded to provide an even surface and shall be left clean throughout.

9.8 Roof Framing

Roofs are to be pitched to the slope shown on plan and constructed in accordance with Clause 3.4.3.6 BCA 96 Housing Provisions or AS 1684. Provide tie-down as required for the appropriate design wind velocity and roof covering. Provide all rafters, ridges, hips, valleys, pulins, struts, collar ties and wind bracing as appropriate with all sizes and stress grades in accordance with AS 1684.

Metal fascias shall be installed in accordance with the manufacturer's recommendations.

9.9 Timber Posts

Posts supporting carports, verandas and porches shall be timber suitable for external use, or as otherwise specified, supported on galvanised or treated metal post shoes. Post shall be bolted to all adjoining beams as required by AS 1684 for the wind speed classification assessed for the Site.

9.10 Corrosion Protection

All metal brackets, facing plates and other associated fixings used in structural timber joints and bracing must have appropriate corrosion protection.

9.11 Hot Water Storage Tank Platforms

Where a hot water storage tank is to be installed in the roof space, the tank platform shall be supported directly off the wall plates and must not be supported on ceiling joists.

All hot water services installed in the roof space shall be fitted with an appropriate spill tray and overflow drain pipe.

10.0 STEEL FRAMING GENERALLY

10.1 Steel Framing

Steel floor, wall or roof framing approved by the Local Authority shall be installed in accordance with the manufacturer's recommendations and AS 3623 or Part 3.4.2 BCA 96 Housing Provisions.

11.0 ROOFING

All roof cladding to comply with the relevant structural performance and weathering requirements of BCA 96 Housing Provisions and be installed as per the manufacturer's requirements.

11.1 Tiled Roofing

Concrete and terracotta tiles shall comply with AS 2049 and be installed in accordance with AS 2050. Cover the roof of the dwelling with first quality approved tiles as selected. The tiles are to be fixed to approved battens of sizes appropriate to the spacing of rafters/trusses in accordance with manufacturer's recommendations. Cover hips and ridges with capping and all capping and all necessary starters and apex caps. Capping and verge tiles are to be well bedded and neatly pointed. Roofing adjacent to valleys should be fixed so to minimise as far as practicable water penetration. As roof tiles are made of natural products slight variation in colour is acceptable.

11.2 Roofing

Provide and install a metal roof together with accessories all in accordance with the manufacturer's instructions.

Except where design prohibits, sheet shall be in single lengths from fascia to ridge. Fixings of sheet shall be strictly in accordance with the manufacturer's recommendations. Incompatible materials shall not be used for flashings, fasteners or downpipes.

11.3 Rainwater Goods

Metal Rainwater goods shall be manufactured in accordance with AS 2179. Rainwater goods shall be installed in accordance with AS 2180 or Part 3.5.2 BCA 96 Housing Provisions.

UPVC components to be manufactured in accordance with AS 1273. Rainwater goods to be compatible with other materials used.

11.4 Sarking

Sarking if used under roof coverings must comply and be fixed in accordance with AS/NZS 4200.1 for materials and AS/NZS 4200.2 for installation.

11.5 Sealants

Appropriate sealants shall be used where necessary and in accordance with manufacturer's specifications.

11.6 Weatherproofing

Flashings shall comply with AS 2904, AS 1804, AS 3700 and Part 3.3.4 BCA 96 Housing Provisions.

12.0 MASONRY

12.1 Bricks

All clay bricks and brickwork shall comply with AS/NZS 4455, AS/NZS 4456 and AS 3700. Clay bricks are a natural kiln fired product and as such their size may vary over a small range. Tolerances shall only be applied to the total measurements over 20 units, not to the individual units.

12.2 Concrete Blocks

Concrete blocks are to be machine pressed, of even shape and well cured in accordance with AS 2733. Autoclaved Aerated Concrete blocks shall be in accordance with the manufacturer's Product Specification at the time the work is being carried out.

12.3 Damp Proof Courses

All damp proof courses shall comply with Part 3.3.4 BCA 96 Housing Provisions, AS 3700 and AS 2904. The damp proof membrane shall protrude to the external face of the masonry member in which it is placed.

12.4 Cavity Ventilation (Weep Holes)

Cavities shall be cleared of all mortar droppings and weep holes shall not exceed 1,200mm centres, be in accordance with AS 3700, or Clause 3.3.4.3 of the BCA 96 Housing Provisions.

12.5 Mortar and Joining

Mortar shall comply with AS 3700 or Part 3.3.1 BCA 96 Housing Provisions. Joint tolerances shall be in accordance with AS 3700.

12.6 Masonry Accessories

Compliance with Part 3.3.3 of BCA 96 Housing Provisions in acceptable construction practices. All wall ties shall be manufactured in accordance with AS 2699 and be installed in accordance with AS 3700. Wall ties to meet corrosion resistant rating of the site. Provide appropriate ties to articulated joints in masonry.

12.7 Lintels

Lintels used to support brickwork opening in walls must be suitable for the purpose under Part 3.3.3 BCA 96 Housing provisions. Provide one lintel to each wall leaf. Where necessary clearance must be allowed at heads of frames to allow for shrinkage of timber frames.

12.8 Cleaning

Clean all exposed brickwork with an approved cleaning system. Care should be taken not to damage brickwork or joints and other fittings.

13.0 CLADDING AND LININGS

13.1 External Claddings and Linings

Sheet materials or other external cladding shall be fixed in accordance with the manufacturer's recommendations and any applicable special details.

13.2 Internal Wall and Ceilings Linings

Provide gypsum plasterboards or other selected materials to walls and ceilings. Plasterboard sheets to have recessed edges and be a minimum of 10mm thick. Internal angles from floor to ceiling to be set. Set corners or provide cornices for ceilings as required. The lining of wet area walls shall be constructed as per AS 3740 or Part 3.8.1 BCA 96 Housing Provisions. Wet area lining to be fixed in accordance with the manufacturer's recommendations.

Where required in open veranda's, porches and eaves soffits, material indicated on the drawing shall be installed. The ceiling access hole shall be of similar material to the adjacent ceiling. Suitable cornice moulds where required shall be fixed at the junction of all walls and ceilings.

13.3 Waterproofing

All internal wet areas and balconies over internal habitable rooms to be water proofed to AS 3740 or Part 3.8.1 BCA 96 Housing Provisions.

14.0 JOINERY

14.1 General

All joinery work (metal and timber) shall be manufactured and installed according to good trade practices.

14.2 Door Frames

External door frames shall be a minimum of 32mm thick fitted with 10mm thick door stops. Internal jamb linings shall be a minimum of 18mm thick fit with 10mm thick door stops. Metal door frames shall be installed where indicated on drawings in accordance with the manufacturer's recommendations.

14.3 Door and Doorsets

All internal and external timber door and door sets shall be installed in accordance with AS 1909. Timber Doors and Door Sets and shall be manufactured in accordance with AS 2688 and AS 2689.

14.4 Window and Sliding Doors

Sliding and other timber windows and sliding doors shall be manufactured in accordance with AS 2146 and be installed in accordance with AS 2147.

Aluminium windows and sliding doors shall be installed in accordance with manufacturer's instructions. All glazing shall comply with AS 1288 or Part 3.6 BCA 96 Housing Provisions.

14.5 Architraves and Skirting

Provide architraves and skirting as nominated on the drawings or listed on the Schedule of Works.

14.6 Cupboards/Kitchens/Bathroom

Units shall be installed to manufacturer's recommendations. Bench tops shall be in a water resistant material.

14.7 Stairs, Balustrades and other Barriers

Provide stairs or ramps to any change in levels, and balustrades or barriers to at least one side of ramps, landings and balconies as per BCA Housing Provisions, Part 3.9.1 for stair construction and 3.9.2 for balustrades.

15.0 SERVICES

15.1 Plumbing

All plumbing shall comply with the requirements of the Supply Authority and the work is to be carried out by a licensed plumber.

Fittings shall be supplied and installed as specified.

15.2 Electrical

Provide all labour and materials necessary for the proper installation of electricity service by a licensed electrician in accordance with AS 3000, AS 3006 and the requirements of the local Supply Authority. unless otherwise specified, the electrical service shall be 240 volt, single phase supply.

15.3 Gas

All installation (including LPG) shall be carried out in accordance with the rules and requirements of the Supply Authority.

15.4 Smoke Detectors

Provide and install smoke alarms manufactured in accordance with AS 3786 as specified or as indicated on plan and in accordance with Part 3.7.2 BCA 96 Housing Provisions.

16.0 TILING

16.1 Materials

Cement mortar and other adhesives shall comply with AS 3958.1 according to trade practices.

16.2 Installation

Installation of tiles shall be in accordance with AS 3958.

All vertical and horizontal joints between walls and fixtures e.g. benchtop, bath etc., to be filled with flexible mould resistant grout. Where practicable spacing between tiles should be even and regular. Provide expansion joints where necessary. As tiles are made of natural products a slight variation in colour is acceptable.

16.3 Walls

Cover wall faces where indicated on the drawings with selected neatly grouted tiles. Tiles are to be fixed to wall sheeting with approved adhesives. Provide all necessary strips, vent tiles and recess fittings.

16.4 Floors

Lay selected floor tiles in sand and cement mortar or approved adhesive to areas indicated on the drawings. If required, fit approved edge strips or metal angle to exposed edges in doorways or hobless showers as per AS 3740. Provide adequate and even fall to wastes where necessary.

17.0 PAINTING

17.1 General

All paint used shall be of a quality suitable for the purpose intended and the application shall be as per the manufacturer's recommendations. The colours used shall be as per Colour Schedule. All surfaces to be painted shall be properly prepared to manufacturer's recommendations.

18.0 PRIME COST ITEMS

List hereunder all P.C. Allowances			
Kitchen and Vanity Cupboards (kitchen sink included)			\$.....
Stove/Wall Oven/Hot Plates			\$.....
Bath per item	per item		\$.....
W.C. Suites	per item		\$.....
Laundry Tub			\$.....
Entry Door			\$.....
Door Furniture			\$.....
Garage Door			\$.....
Hot Water System			\$.....
Shower Screen			\$...../m
Wall and Floor Tiles supply only			\$...../ ,000
Bricks			

19.0 SIGNATURES

This is the specification referred to in the Building Agreement No. Date:

Signed by the said Owner in the Presence of Witness Owner's Signature// Date
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..... Witness Owner's Signature// Date
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Signed by the said Contractor in the Presence of Witness Contractor's Signature// Date
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GENERAL NOTES

- GENERAL**
- Structural drawings are based on and shall be read in conjunction with all approved Architectural drawings, specifications, and other written instructions as may be issued during the course of the contract. Dimensions shall be taken from the Architectural drawings or the actual work. The builder must verify all dimensions on site before commencing any work.
 - Lines and locations of existing work is shown on the drawings as indicative only. The builder is to check and refer any discrepancies to the engineer.
 - The adequacy of the existing structures is not covered in these drawings U.N.O. Only certified design details and certified drawings for the proposed new work shall be used for construction on site.
 - The details shown on the drawings cover the extent of the new structural work. Existing work is not included, unless noted, in the new work.
 - The construction shall follow the member sizing and design intent as shown on the drawings.
 - All work shall be in accordance with The Building Code of Australia, current relevant S.A.A. Codes and those of all Statutory Authorities having jurisdiction over the work.
 - Substitutions, where necessary, shall be approved by the Engineer, and allowed for by the builder in his tender.
 - Approval given on shop drawings covers structural detail only and does not include dimensions and setout.
 - During construction, the structure shall be maintained in a safe and stable condition and shall not be overstressed. If the work shown on the drawings is to be built in stages, refer to the engineer for advice on adequacy of the staged works.

FOUNDATIONS

- Foundation materials are to be approved for the following safe bearing pressures prior to placement of concrete.

Strip Footings	600 kPa	Pod Footings	600 kPa
Flers	600 kPa	Floor Slabs	400 kPa
Edge Beams to Slabs	600 kPa	Ribs to Slabs	400 kPa
- Site classification in accordance with A.S.2870 is
- U.N.O. reinforcement for strip footings and to beams and ribs to slabs on ground shall be lapped full width at corners and intersections and 500mm at splices, and shall be carried continuously through any intersecting pod footing.

CONCRETE

- All workmanship, materials and testing shall comply with A.S.3600.
- Concrete shall have the following properties and shall obtain the specified strength (N) at 28 days.

Location	N	Slump (mm)	Aggregate Size (mm)	F _{ck} (MPa)
FOOTINGS	25	80	20	25
SLABS	40	80	20	40
BLOCK CORE FILL	20	80	10	20

- Unless otherwise shown, clear concrete cover to all reinforcement shall be as follows.

Structural Member	Clear concrete cover (mm) for concrete cast			
	Exposure Qualification	Formed and Shuttered	Formed and Exposed	Not Formed

- Where noted, encased steelwork shall have 50mm concrete cover with FGW41, 20 cover.
- Cover shall be maintained by the use of approved spacers or chairs at 800mm maximum cts. Pipes, conduits etc. are not to be placed in cover concrete. Provide 100mm square galvanised metal pods under chairs in contact with the ground or membranes.
- All slabs and supporting beams shall be poured together and pre-camber to beams and slabs shall be provided as specified.
- Reinforcement notation is as follows:

R	Y	F
structural grade plain bars to A.S.1302	deformed bar to A.S.1302 Grade 400Y	hard drawn wire fabric to A.S.1304
f _{yk} = 250MPa	f _{yk} = 400MPa	f _{yk} = 450MPa

Fabric is to be supplied in flat sheets only, and placed with edge wires located at the specified cover. Rectangular mesh is to be placed with main wires closest to concrete surface.
- Reinforcement splices and construction joints shall not be relocated or added without the Engineer's approval. Splices in reinforcement are to develop the full strength of the bar being spliced and standard hooks and caps (A.S.3600) shall be adopted U.N.O. Reinforcement shall be securely tied at all laps and intersections with 1.5mm annealed wire.
- Formwork used for structural members shall comply with A.S.1509 and stripping of formwork shall comply with Table 4.2 of A.S.1509.
- Concrete shall be separated from supporting masonry by 2 layers of bituminous felt or approved equivalent.
- Masonry shall not be built off supporting concrete until all props and formwork have been removed and the concrete has gained the specified strength (N).

STEELWORK

- All steelwork shall be in accordance with A.S.4100. Steel shall comply with A.S.1204 and hollow sections shall be manufactured to A.S.1163 Grade 350, U.N.O.
- U.N.O. welds shall be from continuous fillet welds Category GP(60FW) full perimeter of contact with E41XX electrodes. All welding shall be in accordance with A.S.1554. All butt welds and all fillet welds 5mm and over shall be Category SP.
- U.N.O. use black bolts, grade 4.6/5 to A.S.1111 in 2mm clearance holes. (4.6/5) Notation for high strength bolts to A.S.1252 is as follows:

8.8/5	8.8/7E	8.8/7B
High Strength Bolts installed snug tight.	High Strength Bolts in friction grip mode.	High Strength Bolts in bearing mode.

The nominal ball diameter is denoted thus: M20 = 20mm. Attention is drawn to the use of Hard Grade washers with High Strength bolts. All exposed bolts are to be galvanised U.N.O.
- U.N.O. use a minimum connection consisting of 10mm cleat plates, 60FW, and 2 N^o. M20 4.6/5 bolts.
- Two copies of shop drawings are to be approved by the Engineer prior to the commencement of fabrication.
- U.N.O. seal all tubes with 5mm plate and continuous fillet weld.
- Steelwork below ground shall have 75mm concrete encasing with FGW41 wrapping centrally placed.
- U.N.O. beams and lintels to bear a minimum of 230mm on brickwork on a bed of 12mm of 2:1 sand / cement mortar.
- Masonry ties shall be welded to all steelwork in contact with masonry walls. U.N.O. use 3.25mm U shaped galvanised ties anchored 75mm into masonry at 400mm maximum cts.
- Provide pre-camber to steelwork as noted or specified.
- Provide all necessary cleats, holes etc. as required for fixing of timber and finishes to steelwork.
- U.N.O. all steelwork shall be thoroughly cleaned of rust, scale and grease and shall have one coat of red oxide zinc chromate primer except for concrete encased steelwork, galvanised steelwork, and mating steel surfaces connected together with 8.8/7E bolts. Priming is to be touched up on completion of erection. All exposed steelwork and external lintels shall be galvanised,(refer to details).

MASONRY

- Masonry shall be in accordance with A.S.3700.
- Clay building bricks shall have a minimum compressive strength of 30MPa to A.S.1225, and concrete masonry units shall be Grade 12 units to A.S.2753.
- Mortar to masonry shall be (Cement : Lime : Sand) as follows:

Unreinforced masonry	Reinforced masonry
1 : 1 : 6	1 : 1/4 : 3

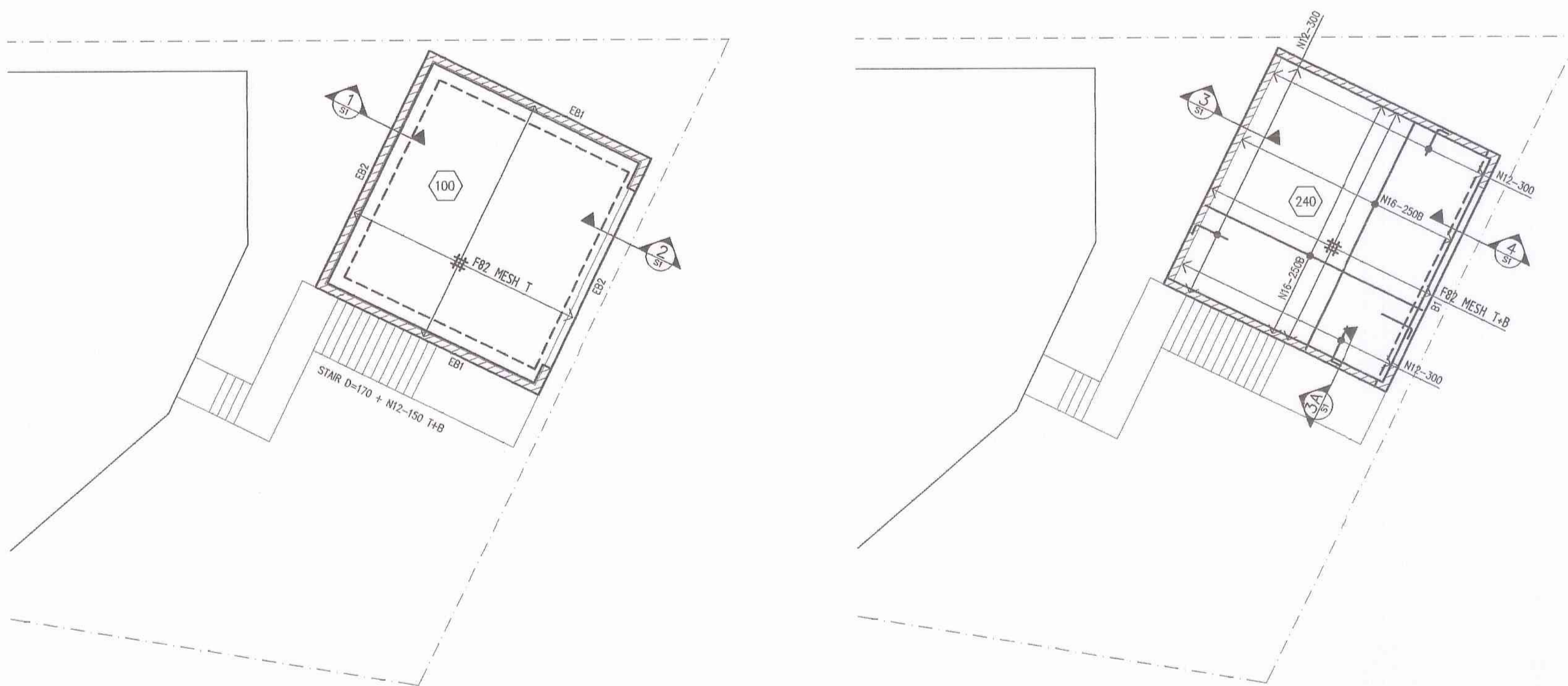
Unless noted otherwise.
- Non-loadbearing masonry partitions are to be kept minimum 12mm clear of the soffit of any structural member over.
- In all masonry, provide joint reinforcement and bond beams in accordance with A.S.3700 and the masonry unit manufacturer recommendations.
- In reinforced masonry, grout shall have a minimum compressive strength (F_{ck}) of 12MPa with a minimum cement content of 300kg/m³ and sufficient water to provide a pouring consistency that will enable the cores and cavities to be completely filled.
- Cleanout and inspection openings are to be provided at the base of all reinforced and grouted cavities and cores. Bed joints and perpend in reinforced masonry are to be full width and shall not be raked.
- All cavities in masonry located below ground are to be filled with mortar or grout.

TIMBER

- All work shall conform to A.S.1720 and A.S.1684.
- All timber members not nominated shall conform to the requirements of A.S.1684.

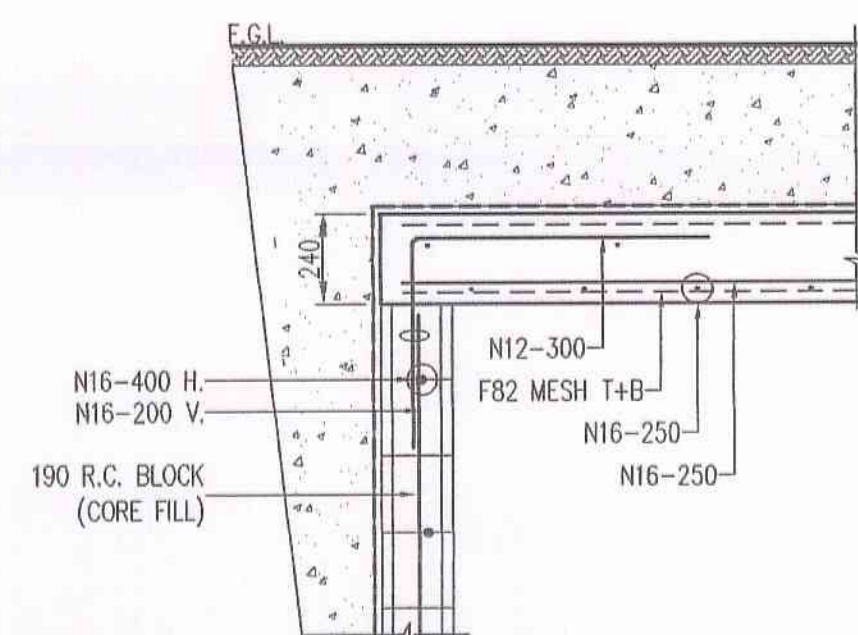
JJ BRIGGS
ASSOCIATES
PO BOX 800 BROOKVALE 2100
CONSTRUCTION CERTIFICATE
APPROVAL NO. 14(200)

This Plan / Detail is
to be read in
conjunction with
CONSTRUCTION CERTIFICATE
APPROVAL NO. 14(200)

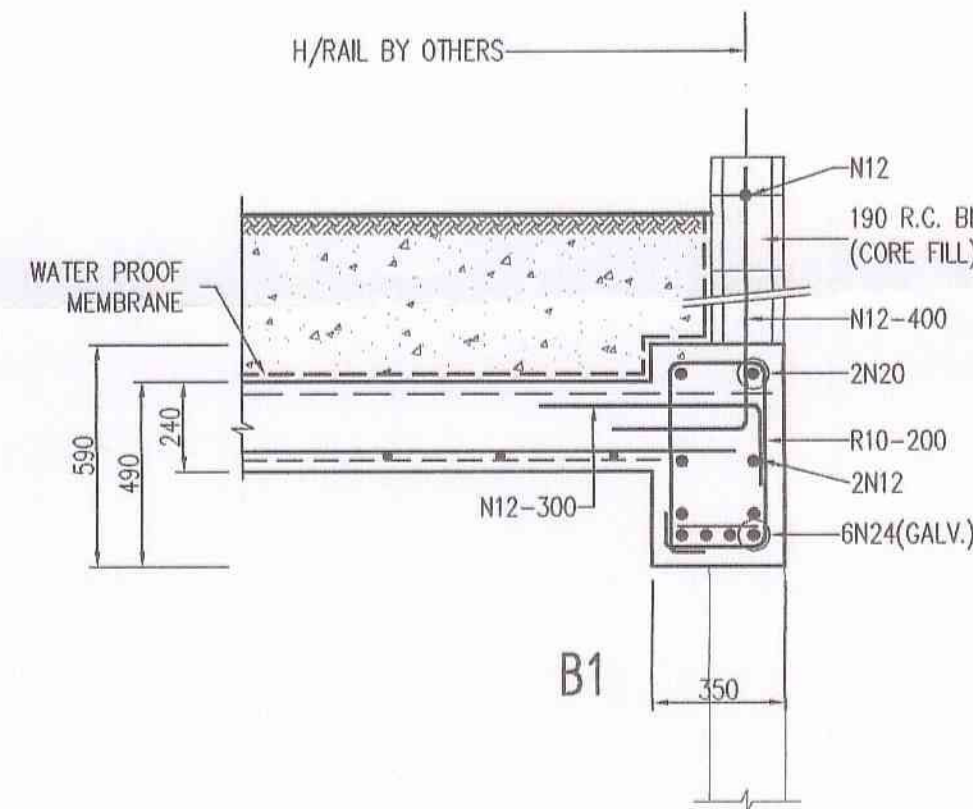


GARAGE SLAB
1:100

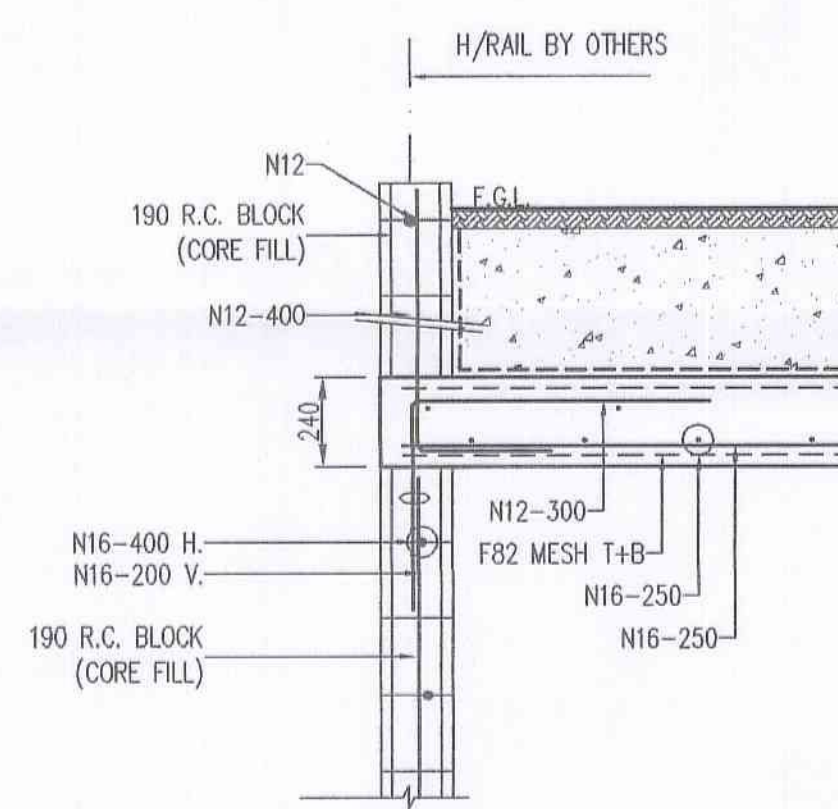
GARAGE ROOF PLAN
1:100



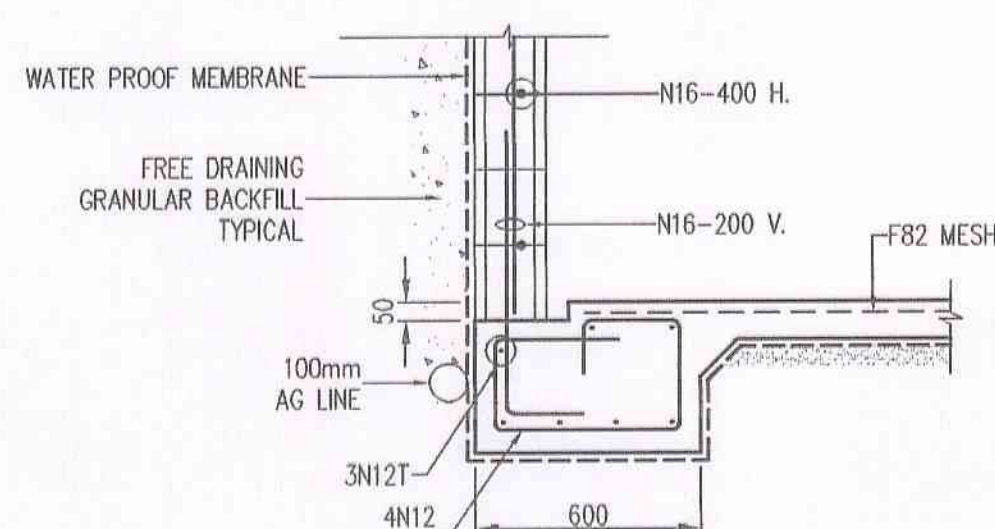
SECTION 3
S1 1:20



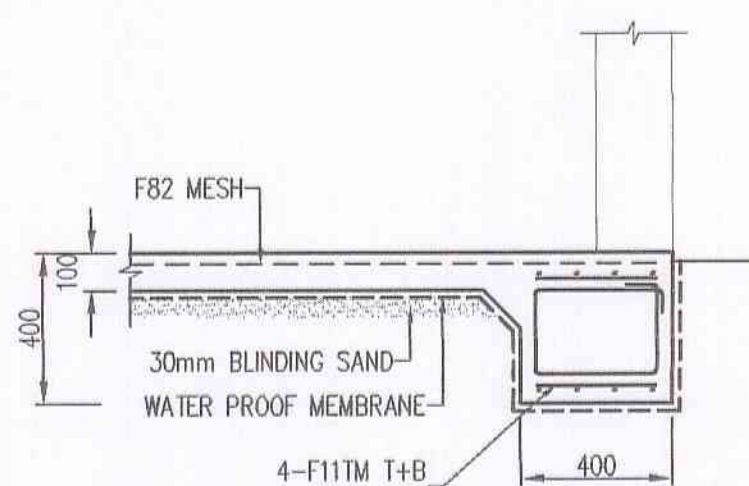
SECTION 4
S1 1:20



SECTION 3A
S1 1:20



SECTION 1
S1 1:20



SECTION 2
S1 1:20

REV	DESCRIPTION	DATE
1	ISSUED FOR CONSTRUCTION CERTIFICATE	02/02/10

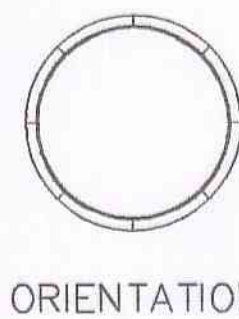
PLAN OR DOCUMENT CERTIFICATION

I am a certified STRUCTURAL ENGINEER
I hold the following qualifications B.E. MLE, Aust.
Further I am appropriately qualified to certify this component of the project.
I hereby state that these plans or details comply with the conditions of development consent, the provisions of the Building Code of Australia and/or relevant Australian industry standards.

DERMOT O'BRIEN *[Signature]* 02/02/2010
Name Signature Date

Builder must verify all dimensions at the Job before commencing any work shown hereon.

DO NOT SCALE
IF IN DOUBT ASK



ORIENTATION

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DESIGNED	DOB	DATE	FEBRUARY 2010
DRAWN	MY	SCALE	AS NOTED
REF No.		ROLL No.	

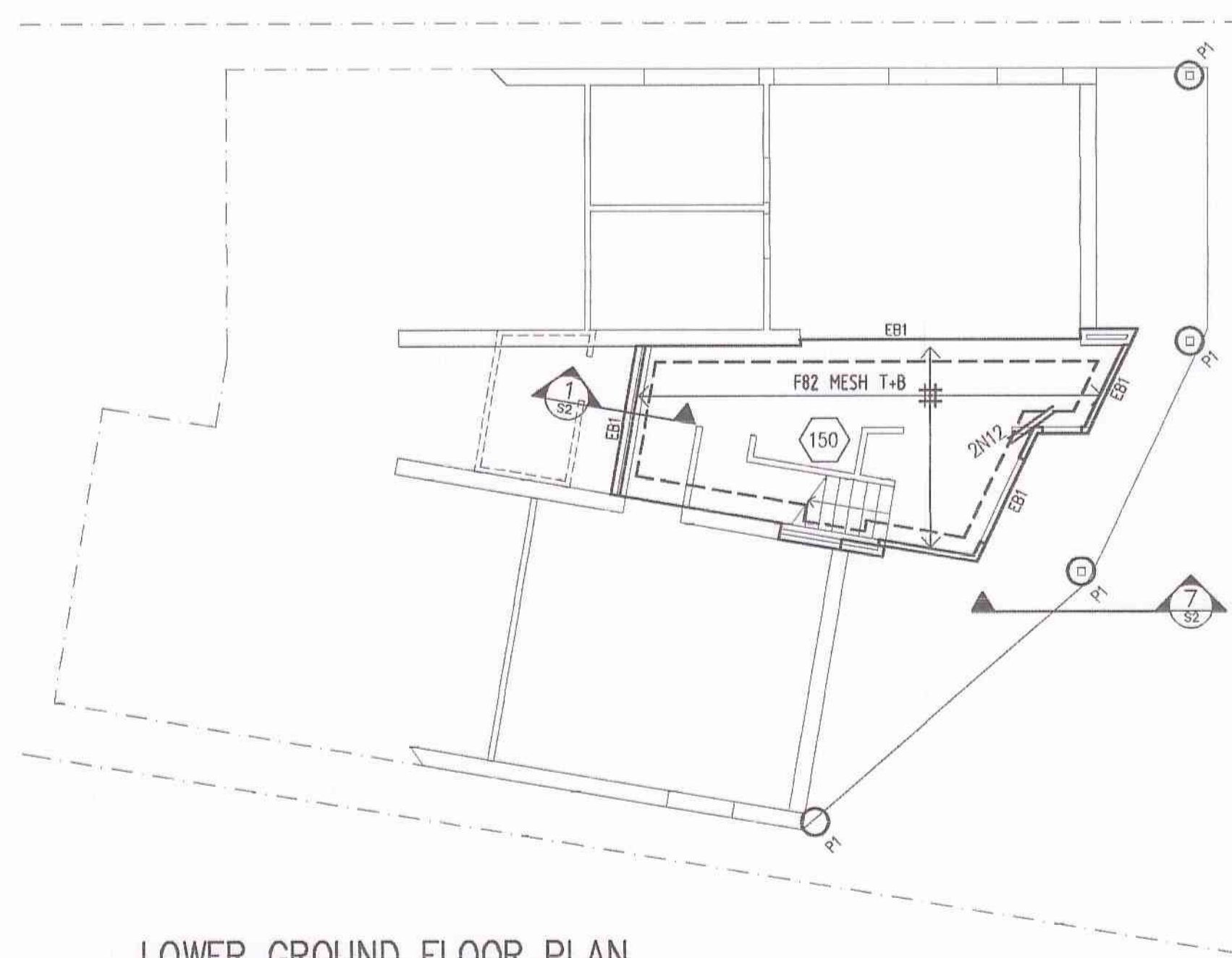
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6/319 CONDOMINE ST. MANLY VALE NSW 2093
PH (02) 9907 6947 FAX (02) 9907 6948
P.O. BOX 328 MANLY 1655
Email: dobrieneng@optusnet.com.au

PLANS AND DETAILS

ALTERATIONS AND ADDITIONS
2 BILGOLA TERRACE
BILGOLA

PLOT DATE	SET OF	DRAWING NUMBER	REV
02/02/2010		10001-S1	1

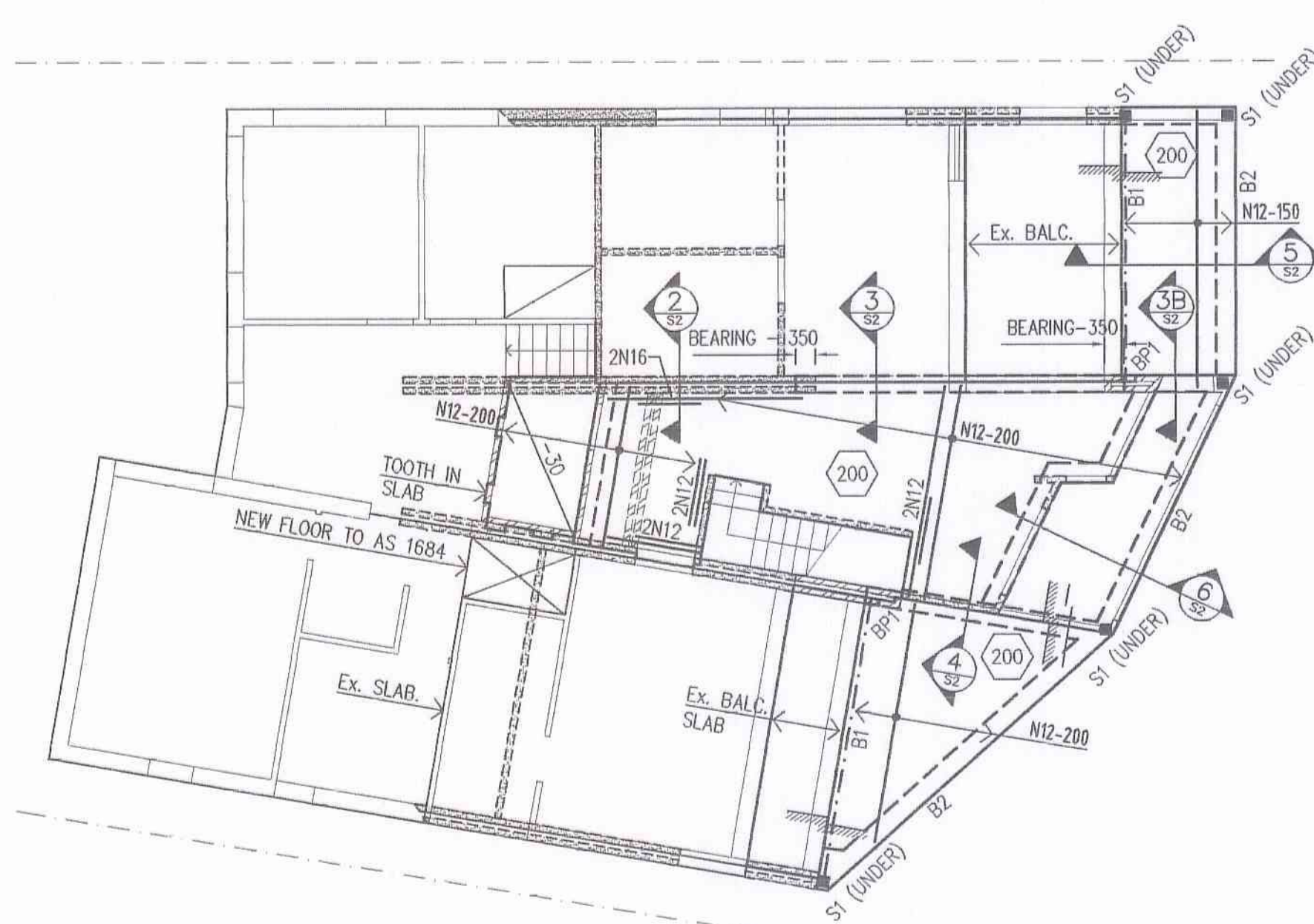


LOWER GROUND FLOOR PLAN

1:100

PIERS

P1 - 450 PERS TO ROCK 4N16, R10-300



UPPER FLOOR PLAN BOTTOM REINFORCEMENT

1:100

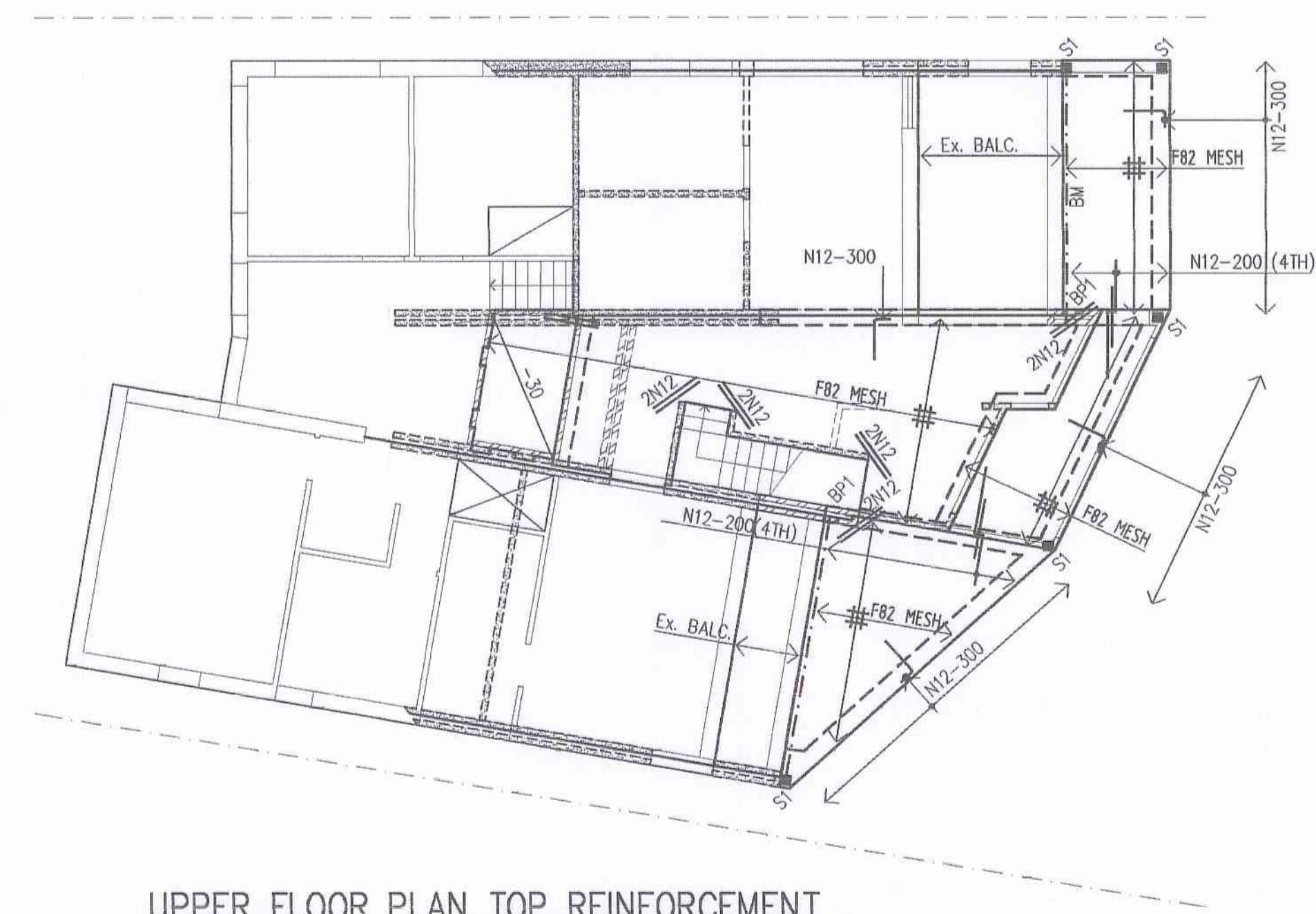
CROSS RODS N12 AT 300 UNO

BEAMS

B1 - 230 PFC (GALV.)

POSTS

S1 - 90 x 90 x 6 SHS (GALV.)

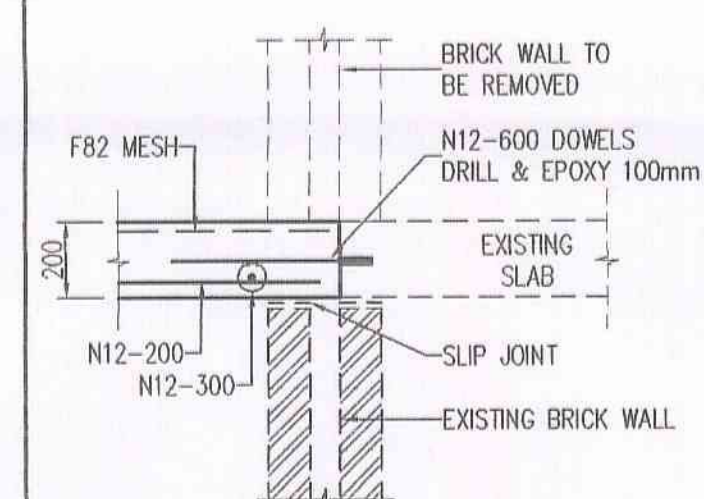


UPPER FLOOR PLAN TOP REINFORCEMENT

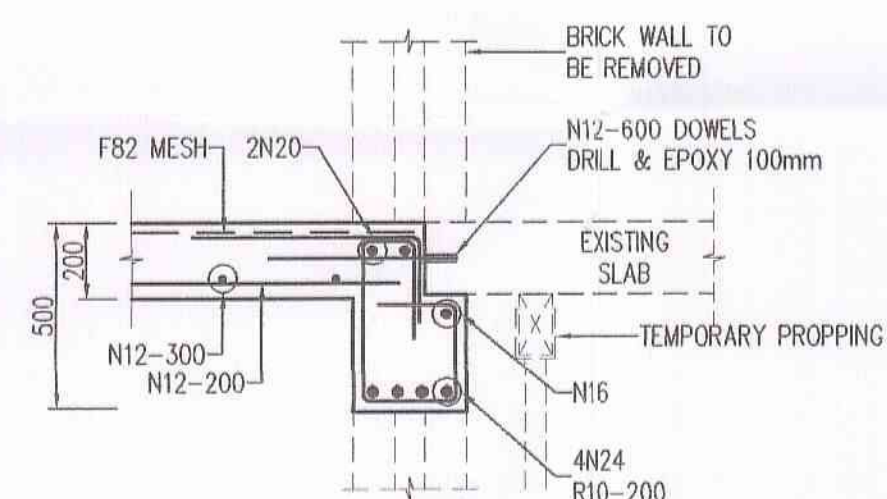
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CROSS RODS N12 AT 300 UNO

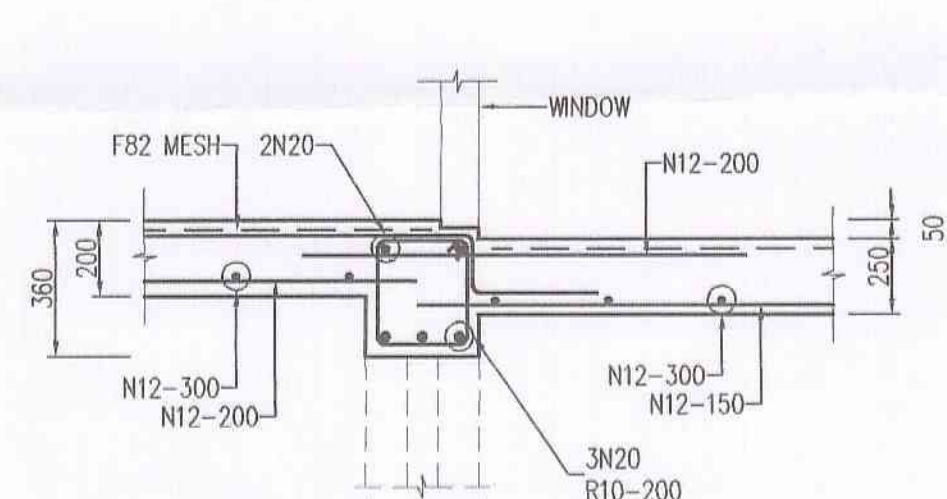
ALL REINFORCEMENT IN EXTERNAL SUSPENDED SLABS TO BE GALV.



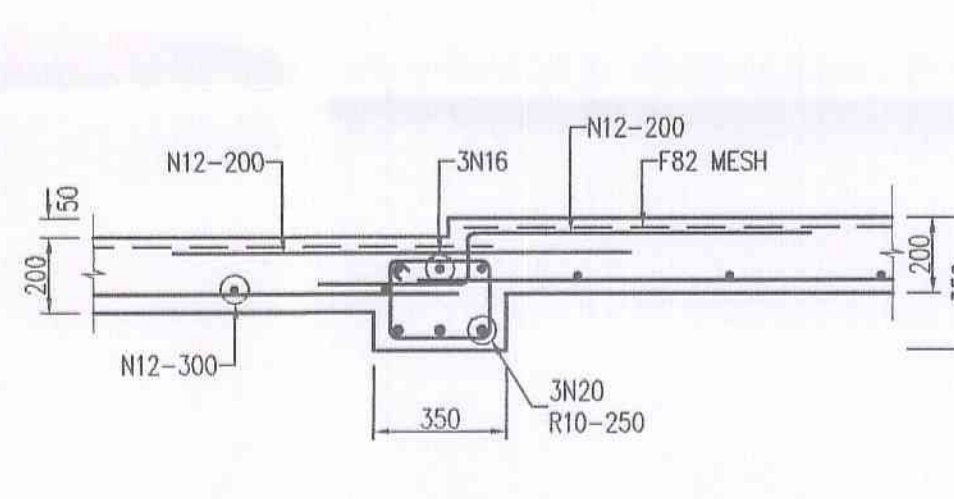
SECTION 2



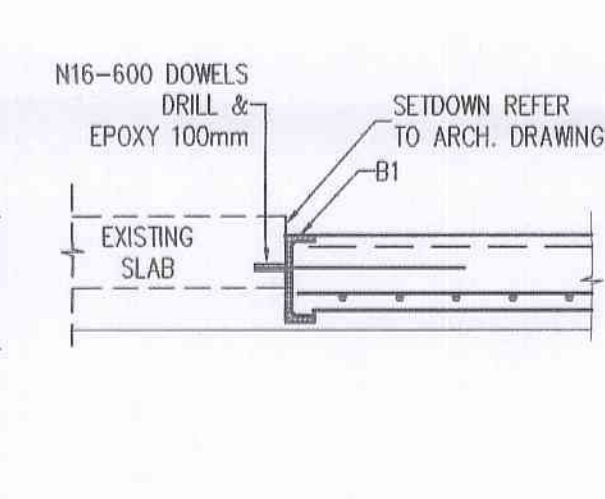
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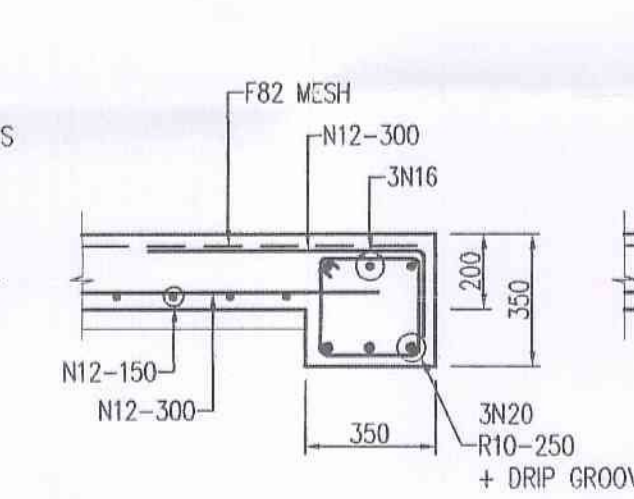
SECTION 3B



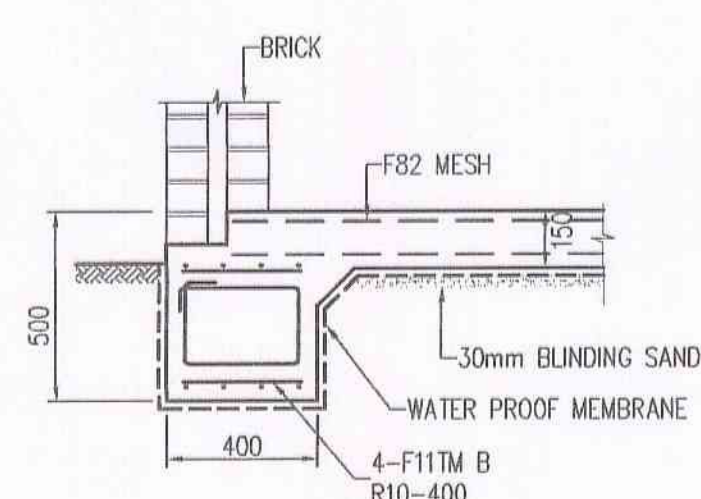
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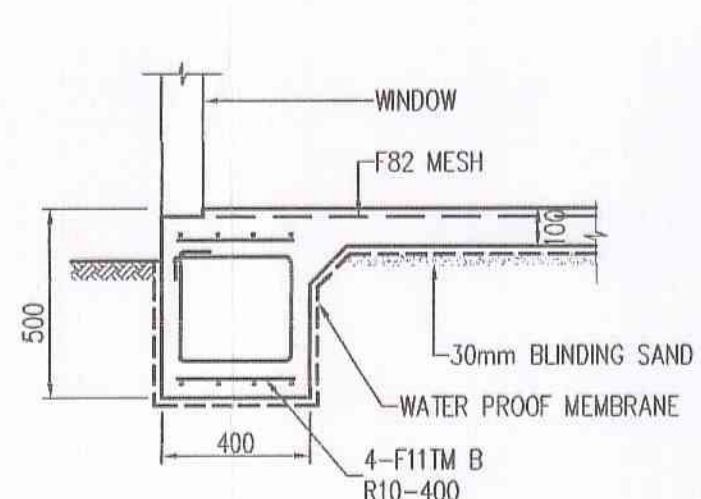
SECTION 5



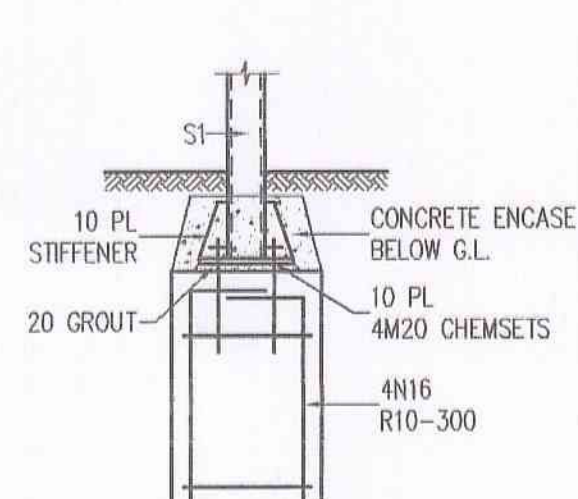
SECTION 6



SECTION 1



SECTION 1



SECTION 7

JJ BRIGGS ASSOCIATES
PO BOX 800 BROOKVALE NSW

This Plan / Detail is to be read in conjunction with CONSTRUCTION CERTIFICATE APPROVAL NO. 1418CC1

REV	DESCRIPTION	DATE
1	ISSUED FOR CONSTRUCTION CERTIFICATE	02/02/10

PLAN OR DOCUMENT CERTIFICATION

I am a certified STRUCTURAL ENGINEER

I hold the following qualifications B.E. MLE, Aust.

Further I am appropriately qualified to certify this component of the project.

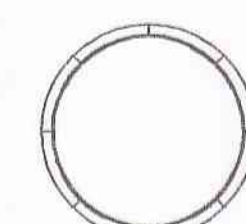
I hereby state that these plans or details comply with the conditions of development consent, the provisions of the Building Code of Australia and/or relevant Australian industry standards.

DERMOT O'BRIEN 02/02/2010

Name Signature Date

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ORIENTATION

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DESIGNED	DOB	DATE	FEBRUARY 2010
DRAWN	MK	SCALE	AS NOTED
REF No.		ROLL No.	

D O'BRIEN ENGINEERING SERVICES PTY. LTD.

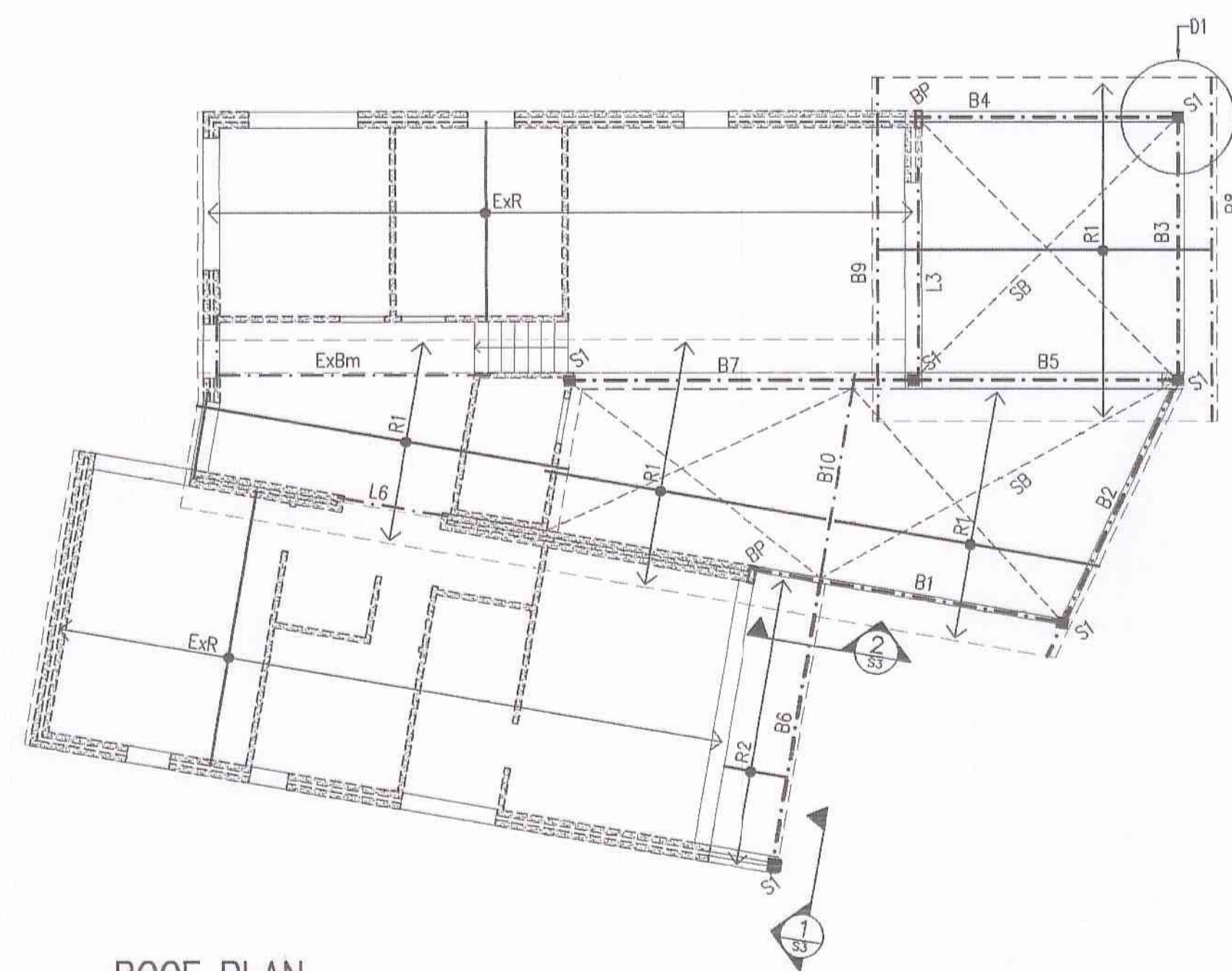
CONSULTING CIVIL & STRUCTURAL ENGINEERS A.C.N. 000 526 876

6/319 CONDOMINE ST. MANLY VALE NSW 2093
PH (02) 9907 6947 FAX (02) 9907 6948
P.O. BOX 326 MANLY 1655
Email: dobrieneng@optusnet.com.au

PLANS AND DETAILS

ALTERATIONS AND ADDITIONS
2 BILGOLA TERRACE
BILGOLA

PLOT DATE	SET OF	DRAWING NUMBER	REV
02/02/2010		10001-S2	1



ROOF PLAN

1:100

BEAMS

B1 - 200 PFC (GALV.)
B2 - 200 PFC (GALV.)
B3 - 200 PFC (GALV.)
B4 - 200 PFC (GALV.)
B5 - 200 PFC (GALV.)
B6 - 200 PFC (GALV.)
B7 - 200 UB 25 (GALV.)
B8 - 240 x 45 HYSPAN
B9 - 240 x 45 HYSPAN
B10 - 2/240 x 45 HYSPAN
ExBm - EXISTING BEAM
BP - BEARING PLATE

RAFTERS

ExR - EXISTING RAFTERS
R1 - 240 x 45 HYSPAN AT 600 CTS
R2 - 90 x 45 F7 AT 600 CTS

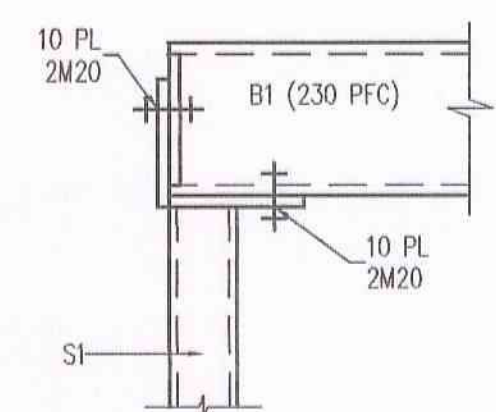
POSTS

S1 - 90 x 90 x 6 SHS (GALV.)

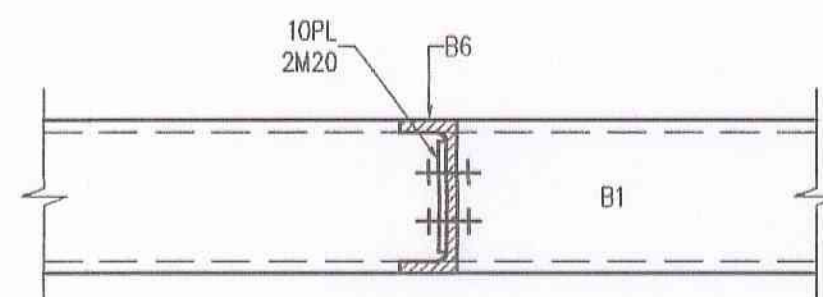
• TIE DOWN STRAP TOP PLATE AT 1.8m CTS.
25 mm x 1.0 mm GALVANISED STRAP
OVERLAP BRICK WALL 1000 mm

BRACING

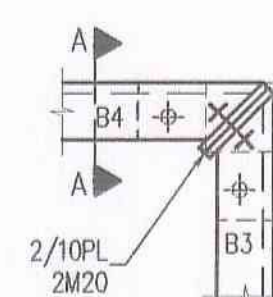
SB - SPEED BRACING TENSIONED



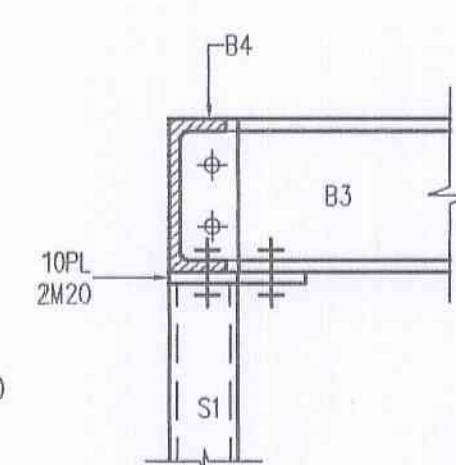
SECTION 1 1:10



SECTION 2 1:10



DETAIL D1 1:10



VIEW A-A 1:10

JJ BRIGGS
ASSOCIATES
PO BOX 800 BROOKVALE 2100

This Plan / Detail is
to be read in
conjunction with
CONSTRUCTION CERTIFICATE
APPROVAL NO. 1462001

REV	DESCRIPTION	DATE
1	ISSUED FOR CONSTRUCTION CERTIFICATE	02/02/10

PLAN OR DOCUMENT CERTIFICATION

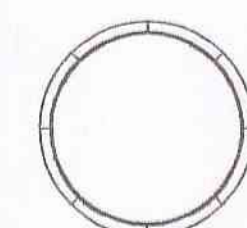
I am a certified STRUCTURAL ENGINEER
I hold the following qualifications B.E. MLE, Aust.
Further I am appropriately qualified to certify this component of the project.

I hereby state that these plans or details comply with the conditions of development consent, the provisions of the Building Code of Australia and/or relevant Australian industry standards.

DERMOT O'BRIEN *DOB* 02/02/2010
Name Signature Date

Builder must verify all
dimensions at the Job
before commencing any
work shown hereon.

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ORIENTATION

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DESIGNED	DOB	DATE	FEBRUARY 2010
DRAWN	MK	SCALE	AS NOTED
REF No.		ROLL No.	

D O'BRIEN ENGINEERING
SERVICES PTY. LTD.
CONSULTING CIVIL & STRUCTURAL ENGINEERS A.C.N. 000 526 876

6/319 CONDOMINE ST. MANLY VALE NSW 2093
PH (02) 9907 6947 FAX (02) 9907 6948
P.O. BOX 326 MANLY 1655
Email: dobrieneng@optusnet.com.au

PLANS AND DETAILS			
ALTERATIONS AND ADDITIONS 2 BILGOLA TERRACE BILGOLA			
PLOT DATE 02/02/2010	SET OF	DRAWING NUMBER 10001-S3	REV 1

Site Calculations

Existing site area
Existing dwelling site coverage
Existing front driveway paved areas
Existing rear undercover paved areas
Existing misc side pathways

Total existing site coverage
Maximum permissible

sqm
580
172
160
55
27

Proposed dwelling site coverage
Proposed new driveway access to No.3
Proposed undercover area to front entry
Proposed landscaped entry pathway
Proposed remaining undercover rear paving
Proposed total site coverage
Proposed site coverage less driveway access

414 (71%)
232 (40%)

No 1

ONE & TWO STOREY
BRICK & CLADD DWELLING

EXISTING GARDEN AREA

NEW PLANTINGS

39.74m

TWO STOREY
BRICK DWELLING

No 2

EXISTING DWELLING

PROPOSED ADDITION

PROVIDE 30m² OF
NEW SOFT LANDSCAPE
AREA UNDER PERGOLA
AREA UNROOFED.

No 3

ONE & TWO STOREY
BRICK & CLADD DWELLING.

36.795m

19.705m

BILGOLA TERRACE

BILGOLA BEACH

NEW PART DRIVEWAY

NEW PLANTINGS

PROPOSED NEW
DRIVEWAY ACCESS
TO NO.3 DWELLING.

APPROX 9.5m

DELETED

VIEWS OVER

Notes

- All work to be in accordance with Complying Certificate, the Building Code of Australia and Council requirements.
- All tiling, trims, painting, finishes, to owners detail.
- All fit-out of kitchen, laundry and bathrooms to owners detail.
- All structural work to engineers design.
- All work as noted on the BASIX certificate to be completed.
- This site plan to be read in conjunction with the survey plan by Dunlop Thorpe and Company dated 3 February 2009.
- Locate all services prior to work.
- All sediment control methods to be inspected and cleaned daily and maintained for the duration of the project.
- If in doubt, ask!

B	13/7/09	DA SUBMISSION
A	8/7/09	FIRST ISSUE

Development Application for alterations to residence

2 Bilgola Terrace, Bilgola

Plans by:-

Emerald Designs, 23 Grevillea Avenue, Warriewood, NSW 2102

ABN 87 724 267 283 Ph 0430 199 887 Fax 9999 5230

SITE ANALYSIS PLAN

Scale 1:200

Date: March 2009

Job No: 5234 - 1/10

JJ BRIGGS
ASSOCIATES

PO BOX 800 BROOKVALE 2100

Construction Certificate No. 482CC1 8/6/10.

Plans to be read in conjunction

with Consent No 275/09

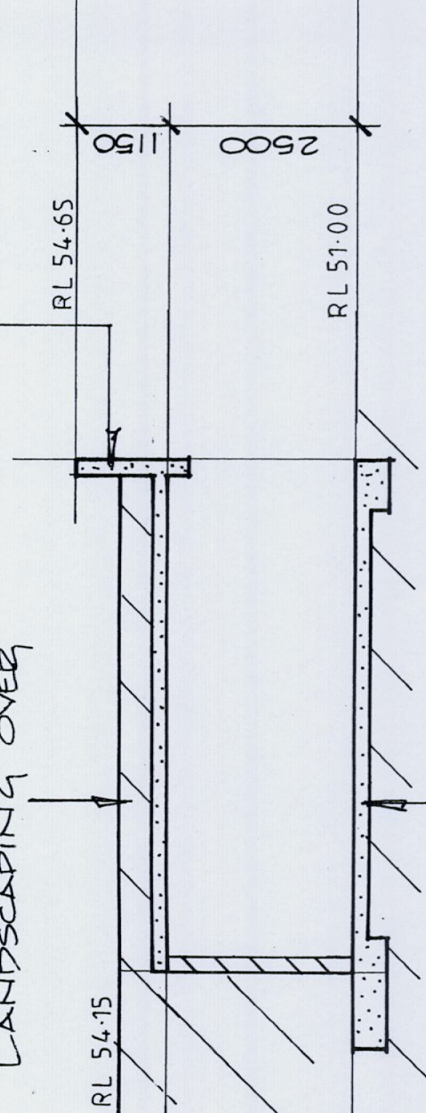
COLD WINTER WINDS.

PROPOSED DEVELOPMENT CONSENT PLAN

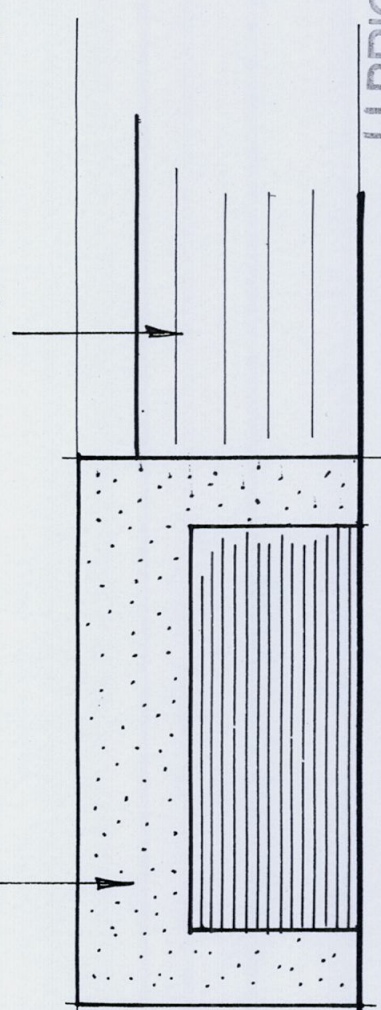
NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONSENT PLAN

PROPOSED UNDERGROUND
BLOCKWORK/CONCRETE GARAGE

MAINTAIN 600mm SOIL DEPTH
DRY GARDEN
LANDSCAPING OVER



PAINTED / TEXTURED
FINISH TO GARAGE



EXIST. STONE WALL

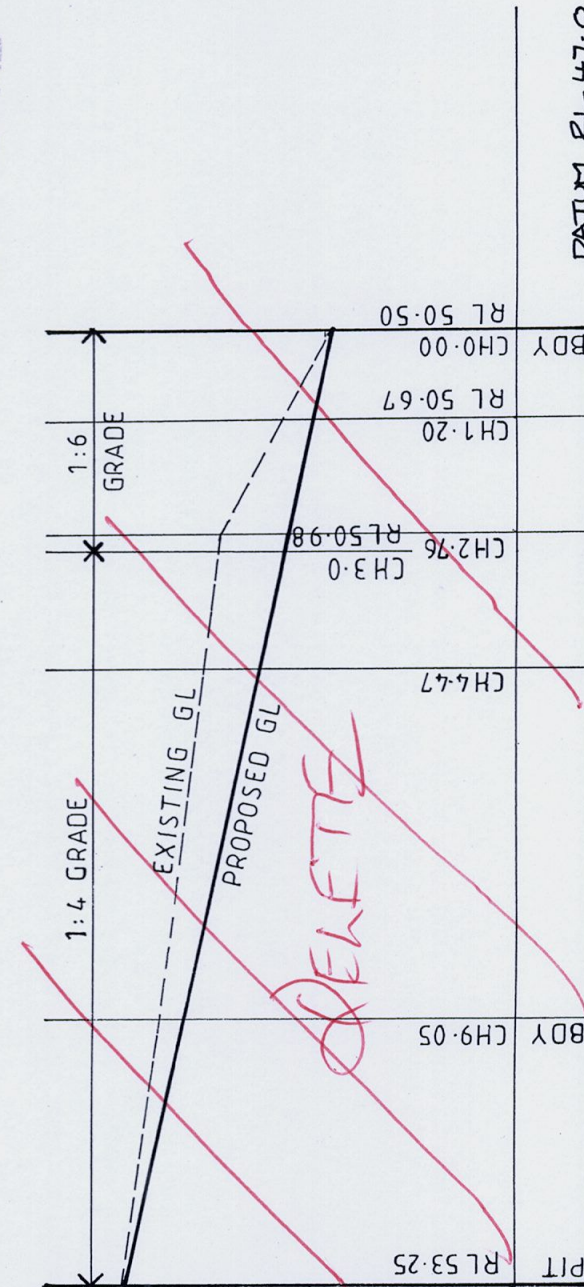
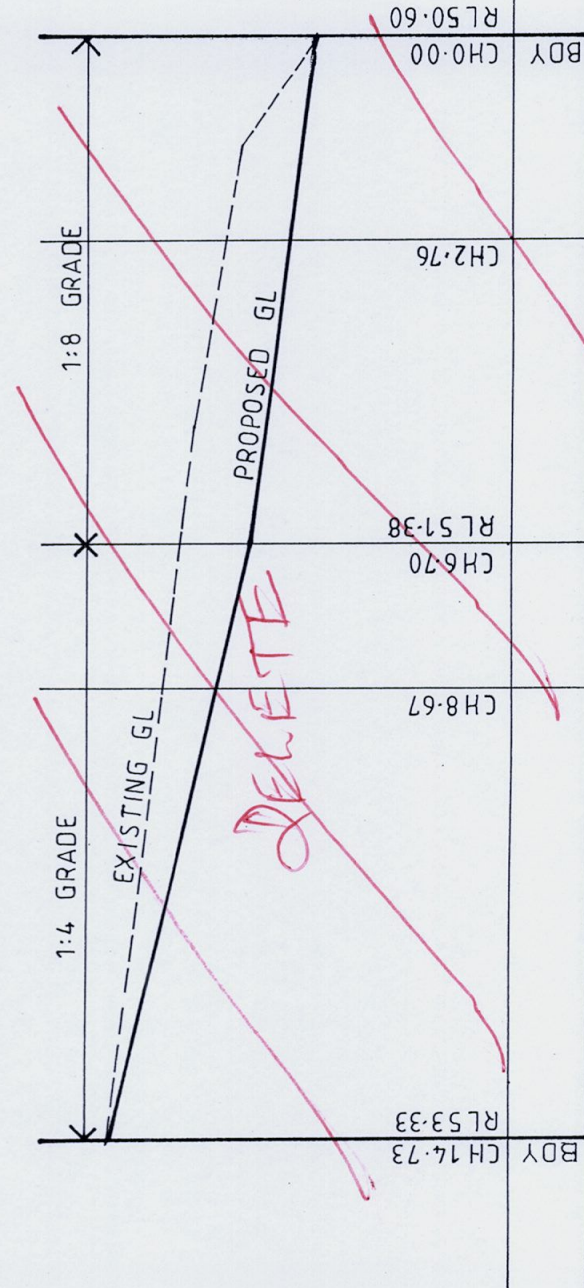
JJ BRIGGS
ASSOCIATES
PO BOX 800 BROOKVALE 2100

CONSTRUCTION CERTIFICATE
APPROVAL NO 132881

EAST ELEVATION

SECTION THRU GARAGE

This Plan / Detail is
to be read in
conjunction with



DRIVEWAY LONGITUDINAL KERB SECTIONS

C 18/5/10	SOIL DEPTH NOTED TO GARAGE SECTION
B 13/7/09	DA SUBMISSION
A 8/7/09	FIRST ISSUE

Development Application for alterations to residence 2 Bilgola Terrace, Bilgola

GARAGE SECTIONS

Scale 1:100
Date: March 2009
Job No: 5234 - 3/10

Plans by:- Emerald Designs, 23 Grevillea Avenue, Warriewood, NSW 2102
ABN 87 724 267 283 Ph 0430 199 887 Fax 9999 5230

Notes referring to the upper floor

- A
- Remove existing tiled timber deck and construct new larger concrete deck to engineers detail. Selected tile finish.
- B
- Remove exiting brick wall full height. Support roof line over to eng. detail. Provide new highlight windows over, refer to North Elevation.
- C
- New powder room, to existing entry area. Provide artificial light and mech. ventilation. Raise floor level to suit main living area. Provide new ceiling at 2150 high. Construct open storage area over powder room. Provide new timber walls to perimeter to provide services access.
- D
- Provide new 820 door thru' existing brickwork to bed 1.
- E
- Provide new WC room, remove existing stairs, fix new floor frame, rake ceiling over, provide artificial light and mech. ventilation.
- F
- Remove existing wall and provide new laundry with mech. ventilation.
- G
- New bed 1 en-suite/ Remove existing wall. Alter floor heights to as req. Provide new ceiling at 2450 high. Provide storage loft over with new window. Loft to be accessed from hallway
- H
- Existing bed room to be new main bathroom to owners detail.

PITTWATER COUNCIL

APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

JJ BRIGGS

ASSOCIATES

PO BOX 800 BROOKVALE 2100

This Plan / Detail is to be read in conjunction with

CONSTRUCTION CERTIFICATE

APPROVAL NO 1482CC

Item	Description	Height	Width	Sill height	Style	FlyScreen	Comments
1	Window	1474	ex1930	exist	louvre	Yes	Replaces existing
2	Window	2034	ex900	exist	louvre	Yes	Replaces existing
3	Window	1614	900	1130	louvre	Yes	New window thru' existing brickwork
4	Door	ex2400	3500	N/A	Slider	Yes	Replaces existing
5	Door	2400	4500	N/A	Stacker	Yes	New door
6	Window	2400	4500	N/A	Shugg	Yes	New window
7	Door	2400	3500	N/A	Stacker	Yes	New door
7A	Window	2400	2000	N/A	Shugg	Yes	New window, motorized opening
8	Door	2400	4800	N/A	Stacker	Yes	Replaces existing
9	Window	ex550	ex1510	exist	louvre	Yes	Replaces existing, obs glass
9A	Window	ex550	ex1510	exist	louvre	Yes	Replaces existing, obs glass
10	Window	1430	ex770	1030	louvre	Yes	Replaces existing, obs glass
11	Window	-	-	-	-	-	Retain as existing
12	Window	1900	ex1700	exist	louvre	Yes	Replaces existing
13	Window	ex3000	ex1640	N/A	louvre	Yes	Replaces existing door with door + window over
14	Door	ex3000	Ex900	N/A	louvre	Yes	Replaces exist window, with door + window over
15	Door	2400	2360	N/A	Sliding	Yes	New door thru' existing brickwork
16	Window	ex900	ex1900	N/A	louvre	Yes	2 new windows replacing 6 existing, obs glass
17	Window	2034	900	>>>>	louvre	Yes	New window, head height to match item 16 window, obs glass
18	Door	2400	4500	N/A	Stacker	Yes	Replaces existing
19	Window	2400	1600	N/A	louvre	Yes	New window
20	Window	2400	2600	N/A	Bi-fold	No	Sliding bi-fold, obs glass
21/22	Door/wind	2400	4000	N/A	hinged	No	Entry door / window combination, corner unit
21A	Door	2400	900	N/A	hinged	No	New door
23	Door	2400	4800	N/A	Stacker	Yes	Replaces existing garage door opening
24	Window	1054	900	1100	louvre	Yes	New window thru' existing brickwork
25	Door	2100	900	N/A	hinged	No	Internal, bed room door
26	Window	1474	1500	1500	louvre	No	BBQ windows refer North Elevation
27	Window	640	1870	?	louvre	Yes	Hi-light windows refer North Elevation
28							Not used
29	Window	400	1200	?	Fixed	No	Hi-light windows refer North Elevation
30	Window	1000	1500	?	Fixed	No	Hi-light window over BBQ area

All sizes approximate and must be checked and confirmed to client prior to order
All glass rating to Australian standards
All window and doors to be colour matched Woodland Grey
All windows and doors to be coated powdercoated
All windows and doors to be provided with timber reveals for paint finish

B	13/7/09	DA SUBMISSION
A	8/7/09	FIRST ISSUE

Development Application for alterations to residence

WINDOW SCHEDULE

2 Bilgola Terrace, Bilgola

Scale

Plans by:-

Emerald Designs, 23 Grevillea Avenue, Warriewood, NSW 2102

Date: March 2009

ABN 87 724 267 283 Ph 0430 199 887 Fax 9999 5230

Job No: 5234 – 4/10

B

270 BRICK TO INFILTR. DOOR

EXISTING BUILDING

EXISTING TIMBER PERGOLA
& ROOFING TO REMAIN

REMOVE KITCHEN

REMOVE STAIRS

NEW KITCHEN
TO OWNERS
DETAIL

NEW 1500 HIGH BRICK WITH
GLASS WINDOW OVER. BRICK
BENCH TO OWNERS DETAIL.

ALL EXISTING GARDEN
RETAINING WALLS &
STAIRS TO REMAIN

NEW STAIRS

SELECTED
HEATER TO
OWNERS
SPEC.

PITTMAN
DEVELOPMENT
CONSENT PLAN

NOTE: THESE PLANS MUST BE READ IN
CONJUNCTION WITH THE CONDITIONS OF
DEVELOPMENT CONSENT

EXIST. BED

EXIST. BED

EXIST. BED

EXISTING TIMBER PERGOLA
REMOVE ROOFING IN THIS
SECTION. ALLOW TO REMOVE
PAVING TO ACHIEVE 30M²
OF SOFT SURFACE LANDSCAPING

EXISTING BUILDING

REFER TO DRAWING No 4
FOR PLAN NOTES

B	13/7/09	DA SUBMISSION
A	8/7/09	FIRST ISSUE

Development Application for alterations to residence

2 Bilgola Terrace, Bilgola

Plans by:- Emerald Designs, 23 Grevillea Avenue, Warriewood, NSW 2102
ABN 87 724 267 283 Ph 0430 199 887 Fax 9999 5230

UPPER FLOOR PLAN

Scale 1:100

Date: March 2009

Job No: 5234 - 6/10 B

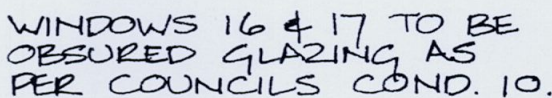
JJ BRIGGS
ASSOCIATES
PO BOX 800 BROOKVALE 2100

This Plan / Detail is
to be read in
conjunction with

CONSTRUCTION CERTIFICATE
APPROVAL NO 1482CC1

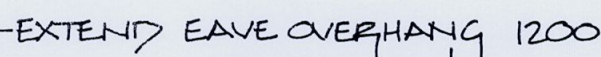
This Plan / Detail is
to be read in
conjunction with
CONSTRUCTION CERTIFICATE
APPROVAL NO 148264

FC BOARD INFILL PANELS ABOVE
& BELOW NEW WINDOWS WHEN
REPLACING EXISTING WINDOWS



NORTH ELEVATION

FC BOARD + TEXTURED FINISH



SOUTH ELEVATION

C	5/5/10	DA APPROVED CONDITIONS 10 TO ADDED TO NORTH ELEY.			
3	13/7/09	DA SUBMISSION			
A	8/7/09	FIRST ISSUE			

ELEVATIONS
Scale 1:100
Date: March 2009
Job No: 5234 – 7/10 C

PITTWATER JUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN
CONJUNCTION WITH THE CONDITIONS OF
DEVELOPMENT CONSENT

EXISTING TIMBER PERGOLA
& ROOFING TO REMAIN

EXISTING TIMBER PERGOLA
REMOVE ROOFING

RL 63.180

JJ BRIGGS
ASSOCIATES
PO BOX 800 BROOKVALE 2100

This Plan / Detail is

to be read in

conjunction with

CONSTRUCTION CERTIFICATE

APPROVAL NO 1482001

WEST ELEVATION

NEW ROOFING TO MATCH EXISTING.

RL 63.180

APPROX 62.23

BUILDING
ENVELOPE

BDY
EX 54.43

EAST ELEVATION

B	13/7/09	DA SUBMISSION
A	8/7/09	FIRST ISSUE

Development Application for alterations to residence
2 Bilgola Terrace, Bilgola

Plans by:- Emerald Designs, 23 Grevillea Avenue, Warriewood, NSW 2102
ABN 87 724 267 283 Ph 0430 199 887 Fax 9999 5230

ELEVATIONS

Scale 1:100

Date: March 2009

Job No: 5234 - 8/10 B

This Plan / Detail is

to be read in

conjunction with

CONSTRUCTION CERTIFICATE

APPROVAL NO. 1402CC1

PITTWA JUNCIL
APPROVED DEVELOPMENT CONSENT PLAN

JJ BRIGGS

ASSOCIATES

PO BOX 800 BROOKVALE 2100

NOTE: THESE PLANS MUST BE READ IN
CONJUNCTION WITH THE CONDITIONS OF
DEVELOPMENT CONSENT

NEW BEDRM
REMOVE KITCHEN

NEW BEDRM

EXISTING ROOF
LINE

BOX GUTTER

NEW VERANDAH ROOF.
METAL ROOFING, TIMBER
FRAME AT 12° PITCH

APPROX RL 62.23.

600

APPROX 7800

3000

BBQ.

RL 57.02

KITCHEN

EX LOWER GRND FLR

EX RL 54.43

NEW RC SLAB TO ENGINEERS
DETAIL. WATERPROOF & TILE

SECTION - 1

NEW ROOF LINE. METAL
ROOFING, TIMBER FRAME
APPROX 11° PITCH.

EXTEND WALL TO
SUIT ROOF PLANE

800
RL 63.180

HANDRAIL

NEW RC SLAB TO ENGINEERS
DETAIL. FINISHED FLOOR
LEVEL TO MATCH EXISTING.

2100

RL 57.02

2700

RL 54.43

NEW POWDER RM

EXISTING STAIRS

SECTION - 2

NEW RC SLAB TO
ENGINEERS DETAIL

B	13/7/09	DA SUBMISSION
A	8/7/09	FIRST ISSUE

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2 Bilgola Terrace, Bilgola

Plans by:- Emerald Designs, 23 Grevillea Avenue, Warriewood, NSW 2102
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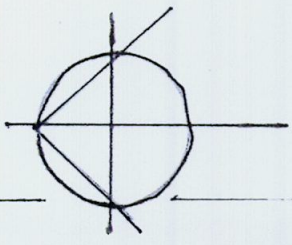
SECTIONS 1 and 2

Scale 1:100

Date: March 2009

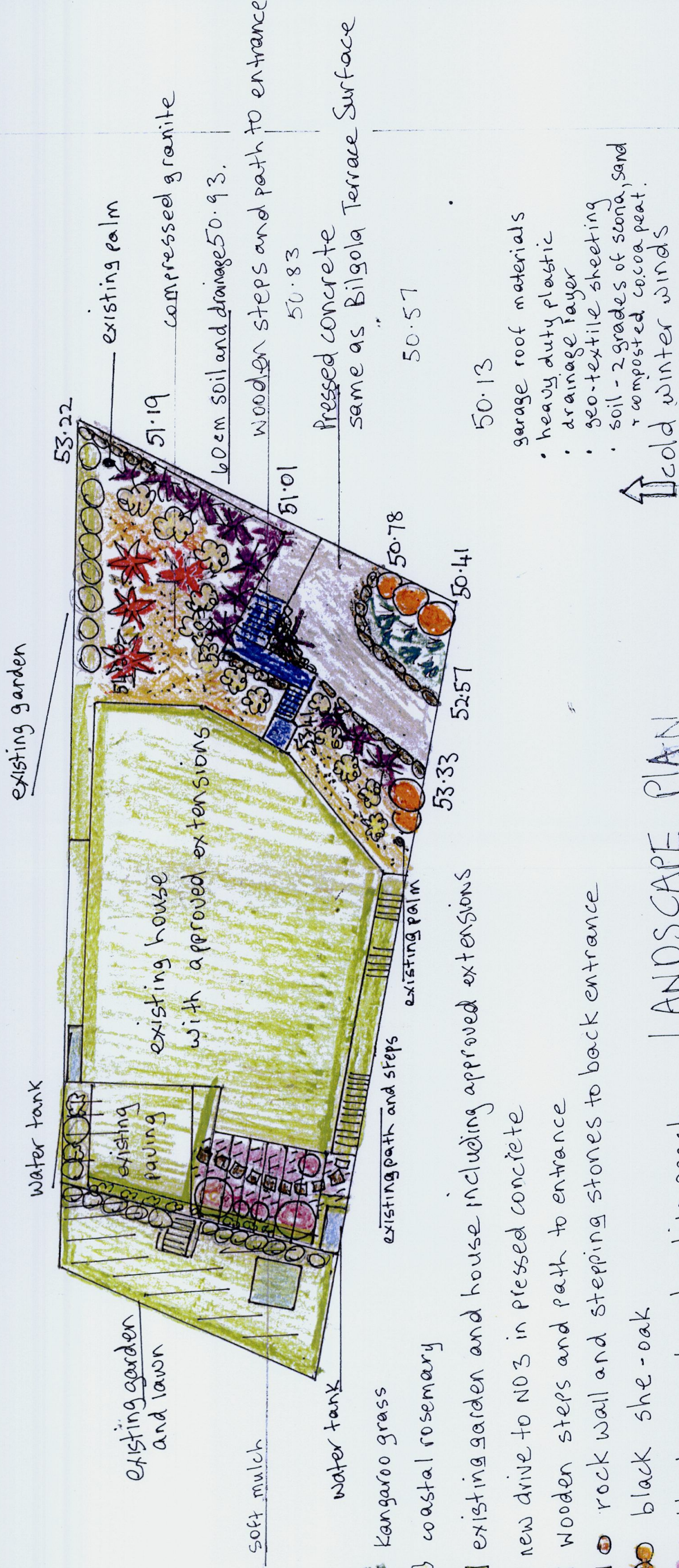
Job No: 5234 - 9/10

B



All new Trees, shrubs and scramblers taken from Pittwater Council Vegetation Community Map 17.
all suitable for Coastal Heaths on Shale slopes

↗ cool summer northeast breeze



LANDSCAPE PLAN

2 BILGOLA TERRACE BILGOLA

This Plan / Detail is to be read in conjunction with

JJ BRIGGS

ASSOCIATES

PO BOX 800 BROCKVALE 2100

conjunction with

CONSTRUCTION CERTIFICATE

APPROVAL NO 1482CC1

BASI

Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A61436

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 29/9/2006 published by Department of Planning. This document is available at www.basix.nsw.gov.au

Director-General
Date of issue: Thursday, 09, July 2009



Project address	
Project name	gilmour residence
Street address	2 bilgola terrace bilgola 2107
Local Government Area	Pittwater Council
Plan type and number	Deposited Plan 822263
Lot number	6
Section number	0
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Facilities and systems	Showerheads (DA Plans)	Showerheads (CC/ODD Plans & Specs)	Common Check
Hot water The applicant must install the following hot water system in the development: solar (gas-boosted) system that is eligible to create Renewable Energy Certificates under the (Commonwealth) Renewable Energy (Electricity) Regulations 2001 (incorporating Amendment Regulations 2005 (No. 2)).	✓	✓	✓
Lighting The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating. The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating. The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓ ✓ ✓	✓ ✓ ✓

JJ BRIGGS

ASSOCIATES

PO BOX 800 BROOKVALE 2100

This Plan / Detail is
to be read in
conjunction with

CONSTRUCTION CERTIFICATE

APPROVAL NO 1482cc1

Construction Certificate application
2 Bilgola Terrace, Bilgola Plateau

Plans by:- Emerald Designs, 23 Grevillea Avenue, Warriewood, NSW 2102
ABN 87 724 267 283 Ph 0430 199 887 Fax 9999 5230

BASIX sheet 1

Scale n/a

Date: May 2010

Job No: 5234 – CC1/4

Construction		Show on DA Plans	Show on CC/CDC Plans & Specs	Certifier Check
Insulation requirements				
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.				
Construction	Minimum insulation required (R-value)	Other requirements		
concrete slab on ground floor.	nil			
external wall: other/undecided	R1.70 (including construction)			

Glazing requirements						Show on DA Plans	Show on CC/CDC Plans & Specs	Certifier Check
Windows and glazed doors								
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.								
The following requirements must also be satisfied in relation to each window and glazed door:								
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.								
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.								
For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.								
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.								
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.								
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.								
Windows and glazed doors glazing requirements								
Window / door no.	Orientation	Area of glass (sq. metres)	Overshadowing		Shading device	Frame and glass type		
			Height (m)	Distance (m)				
W1	N	2.6	1.7	3	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W2	N	1.8	1.7	3	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W3	N	1.4	1.7	3	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		

Glazing requirements							Show on DA Plans	Show on CC/CDU Plans & Specs	Submit Check
Window door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing		Shading device	Frame and glass type			
			Height (mm)	Distance (mm)					
W4	E	8.4	0	0	eave/verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W5	N	10.8	0	0	eave/verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W6	E	10.8	0	0	eave/verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W7	S	13.2	0	0	eave/verandah/ pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W8	E	11.5	0	0	eave/verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W9	S	0.75	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W10	S	1.1	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W11	S	0.9	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W12	N	3.2	0	0	eave/verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W13	W	4.8	0	0	eave/verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W14	W	2.7	0	0	eave/verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W15	W	5.7	0	0	eave/verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W16	N	1.7	6.3	3	eave/verandah/ pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			

Glazing requirements							Show on DA Plans	Show on CC/CDU Plans & Specs	Submit Check
Window door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing		Shading device	Frame and glass type			
			Height (mm)	Distance (mm)					
W17	N	1.8	6.3	3	eave/verandah/ pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W18	E	10.8	0	0	eave/verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W19	E	3.8	0	0	eave/verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W20	S	2.1	0	0	eave/verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W21	E	5.6	0	0	eave/verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W22	S	4	0	0	eave/verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W23	E	11.5	0	0	eave/verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W24	S	0.9	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W27	N	1.1	0	0	projection/height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W28	N	1.1	0	0	projection/height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W29	N	0.5	0	0	eave/verandah/ pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			

Construction Certificate application
2 Bilgola Terrace, Bilgola Plateau

Plans by:- Emerald Designs, 23 Grevillea Avenue, Warriewood, NSW 2102
ABN 87 724 267 283 Ph 0430 199 887 Fax 9999 5230

BASIX sheet 3
Scale n/a
Date: May 2010
Job No: 5234 – CC3/4

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

Construction Certificate application
2 Bilgola Terrace, Bilgola Plateau

Plans by:- Emerald Designs, 23 Grevillea Avenue, Warriewood, NSW 2102
ABN 87 724 267 283 Ph 0430 199 887 Fax 9999 5230

BASIX sheet 4
Scale n/a
Date: May 2010
Job No: 5234 – CC4/4