

Drawing register

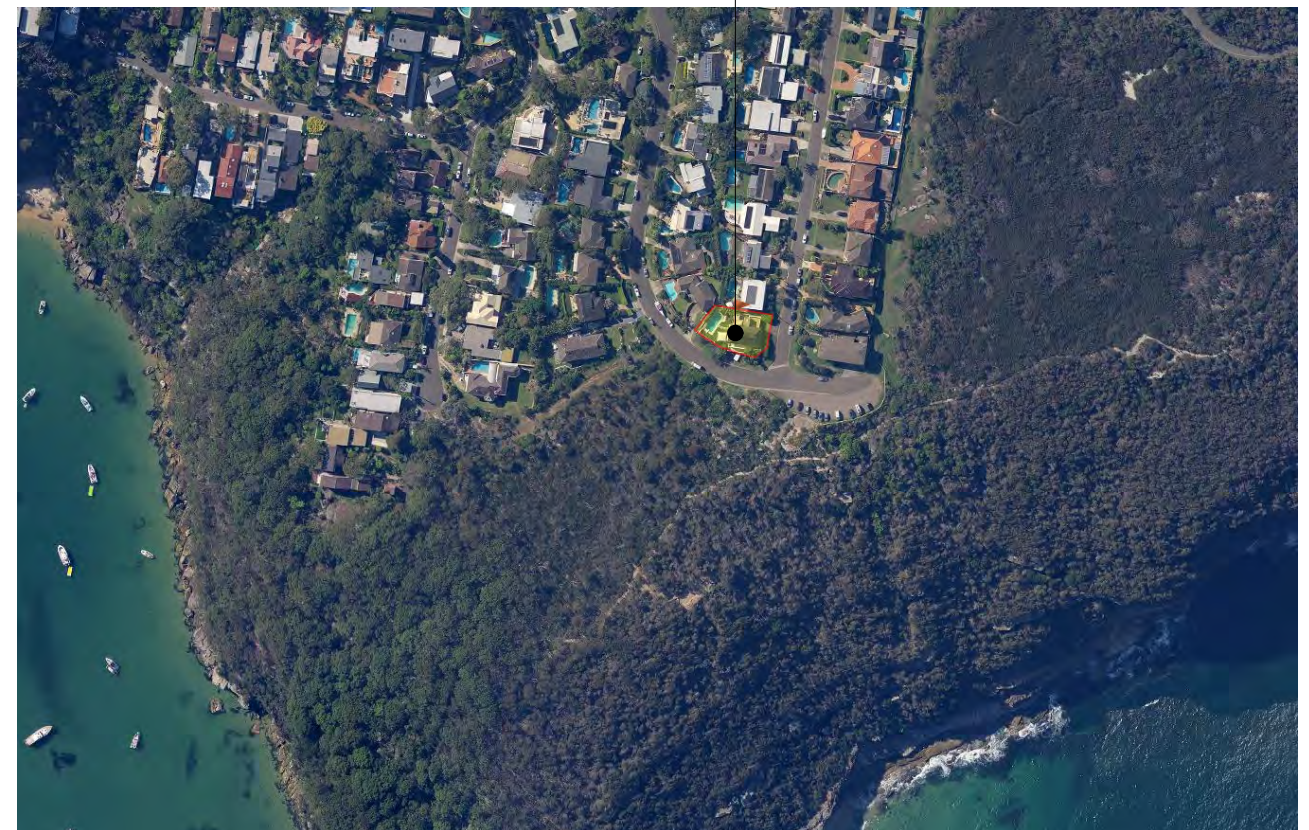
Issue Date

day 20
month 01
year 20

DRAWING NUMBER DRAWING NAME SCALE REVISION

| | | | |
|------|---|-------|--|
| A 00 | COVERPAGE | | |
| A 00 | SURVEY | | |
| A 01 | SITE PLAN | 1:200 | |
| A 02 | SITE ANALYSIS PLAN | 1:200 | |
| A 03 | DEMOLITION PLAN | 1:100 | |
| A 04 | EXCAVATION PLAN | 1:200 | |
| A 05 | GARAGE | 1:100 | |
| A 06 | LEVEL 1 | 1:100 | |
| A 07 | LEVEL 2 | 1:100 | |
| A 08 | LEVEL 3 | 1:100 | |
| A 09 | ROOF PLAN | 1:100 | |
| A 10 | SECTION A | 1:100 | |
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| A 12 | EAST (TABALUM RD STREETScape) ELEVATION | 1:100 | |
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| A 20 | SHADOW DIAGRAMS - JUNE 21 - 12pm - EXISTING | 1:200 | |
| A 21 | SHADOW DIAGRAMS - JUNE 21 - 12pm - PROPOSED | 1:200 | |
| A 22 | SHADOW DIAGRAMS - JUNE 21 - 3pm - EXISTING | 1:200 | |
| A 23 | SHADOW DIAGRAMS - JUNE 21 - 3pm - PROPOSED | 1:200 | |
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| A 25 | VIEW ANALYSIS FROM #2 TABALUM RD | | |
| A 26 | VIEW ANALYSIS FROM #4 TABALUM RD | | |
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| A 36 | NOTIFICATION PLAN | 1:250 | |
| A 37 | NOTIFICATION PLAN | 1:250 | |

1 Tabalum Rd, Balgowlah Heights



LOCATION PLAN (NTS)

| | | | | | | |
|----------------|------------------|--------------|-----------------------|--|--|--|
| | Revision | Date | Revision Note | Project: New Dwelling Client: Kevin Mooney Address: 1 Tabalum Rd, Balgowlah Heights Lot 20, Section 58, DP 758044 | Drawing: COVERPAGE Project #: MOO 0219 Issue Type: DA01 Original Sheet Size: A3 Issue Date: 20/01/2020 Scale @ A3: _____ Sheet #: Revision: Chkd: _____ Drawn: A 00 | 209/40 Yeo Street (PO Box 277), Neutral Bay, NSW 2089 T (02) 9909 8844, F (02) 9909 8833, www.sanctumdesign.com.au <small>Copyright © Sanctum Design Consultants PTY. LTD. A.B.N. 19 080 529 246 Principal: James Cooper. Member BDANSW Nominated Architect, Ian Bassett NSW Reg. No. 6987</small> |
| General Notes: | | | | | | |



NOTES:

- CAUTION: SHOULD ANY DEVELOPMENT OR CONSTRUCTION BE PLANNED ON OR NEAR THE BOUNDARIES, THE BOUNDARIES SHOULD BE CLEARLY MARKED ON SITE.
- AREA AND DIMENSIONS HAVE BEEN SURVEYED FROM PLANS MADE AVAILABLE AT LAND REGISTRY SERVICES.
- ORIGIN OF LEVELS ON A.H.D. IS TAKEN FROM P.M. 33346 RL 75.529 A.H.D.
- TREE SPREADS ARE DIAGRAMMATIC ONLY AND ARE NOT SYMMETRICAL.
- UNDERGROUND (INON VISIBLE) SERVICE LINES HAVE BEEN SHOWN FROM "DIAL BEFORE YOU DIG" SERVICE AUTHORITY RECORDS & ARE DIAGRAMMATIC ONLY IN REGARD TO THEIR POSITION & WIDTH UNLESS STATED OTHERWISE.
- SPOT LEVELS ARE ACCURATE.
- BEARINGS SHOWN ARE ON TRUE NORTH.

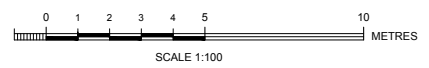
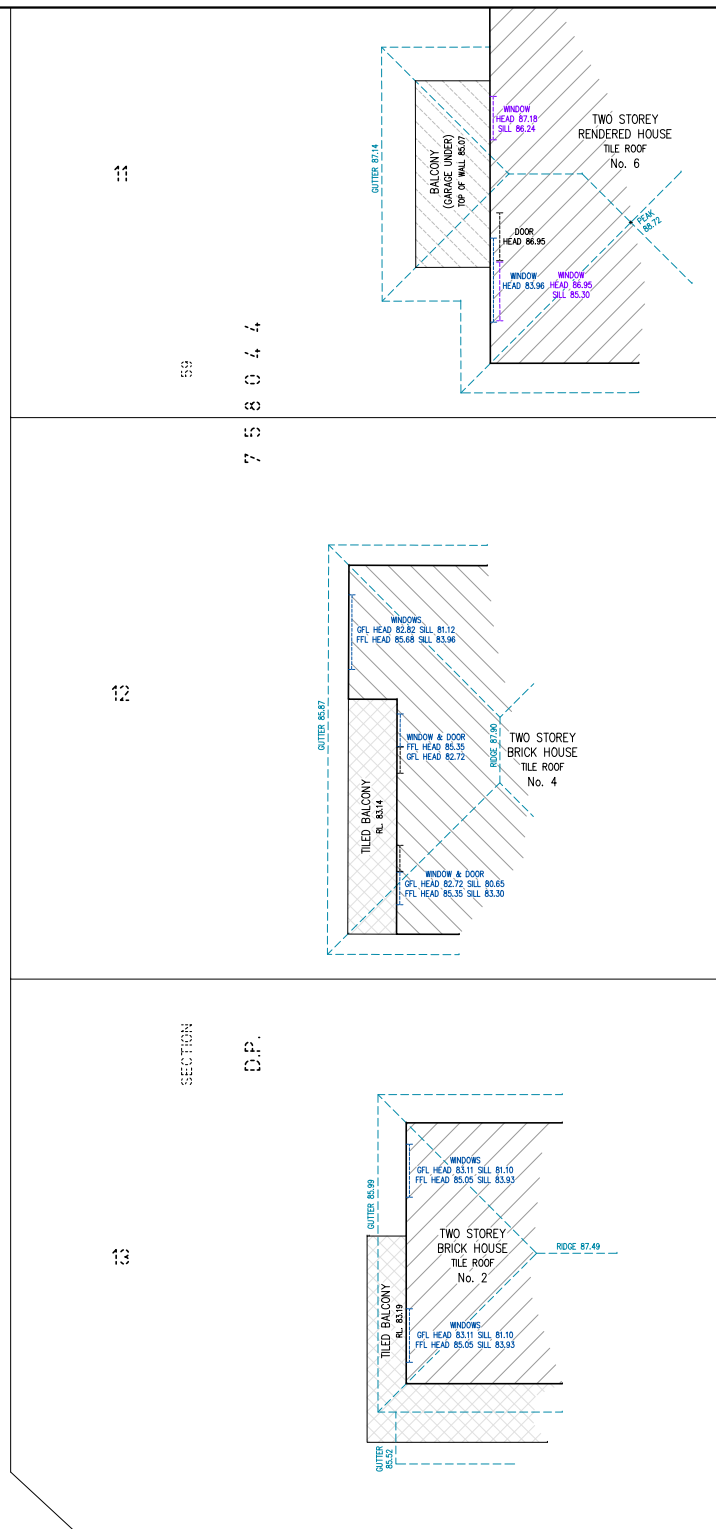
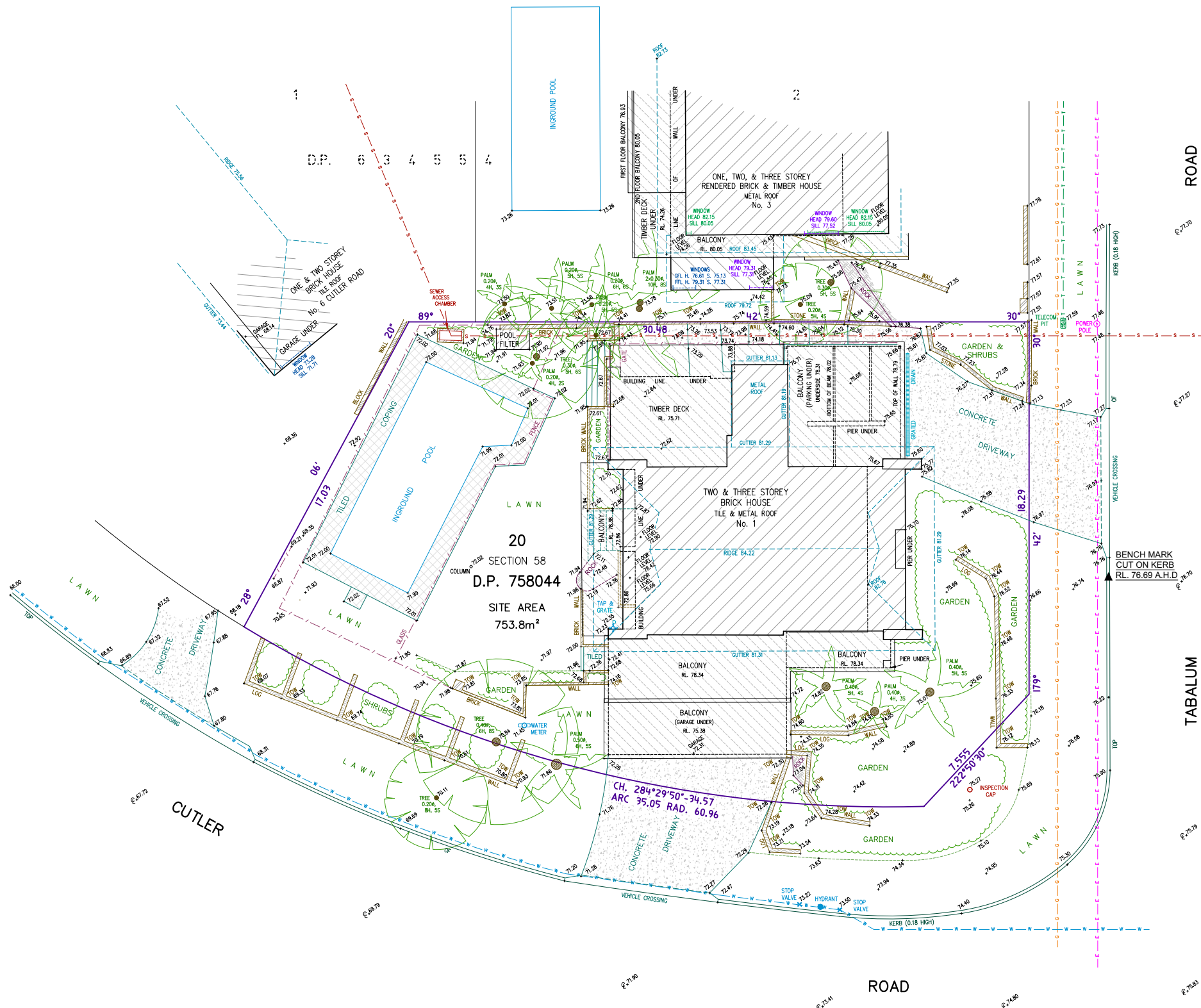


INVESTIGATION OF "DIAL BEFORE YOU DIG" UNDERGROUND SERVICES HAS BEEN MADE. DETECTION OF UNDERGROUND SERVICES IS NOT AN INTEGRAL PART OF THIS SURVEY. ALL RELEVANT AUTHORITIES SHOULD BE NOTIFIED PRIOR TO ANY EXCAVATION ON OR NEAR THE SITE.

DEVELOPERS & EXCAVATORS MAY BE HELD FINANCIALLY RESPONSIBLE BY THE ASSET OWNER SHOULD THEY DAMAGE UNDERGROUND NETWORKS.

CAUTION: DIGGING CAN:
 - CAUSE DEATH OR SERIOUS INJURY TO WORKERS AND THE GENERAL PUBLIC
 - INCONVENIENCE USERS OF ELECTRICITY, GAS, WATER AND COMMUNICATIONS
 - LEAD TO CRIMINAL PROSECUTION AND DAMAGES CLAIMS
 - CAUSE EXPENSIVE FINANCIAL LOSSES TO BUSINESS
 - CUT OFF EMERGENCY SERVICES
 - DELAY PROJECT COMPLETION TIMES WHILE THE DAMAGE IS REPAIRED

MINIMISE YOUR RISK AND DIAL BEFORE YOU DIG.
 TEL. 1100



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 Quality Surveying & Development Solutions

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 PO Box 330, Forestville, NSW 2087
 Phone: 9451 6757 Fax: 9975 3535
 Email: survey@beelth.com.au
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 www.beelth.com.au

LEGEND

- TREE: DENOTES APPROX. 0.16m DIAMETER OF TREE
 DENOTES APPROX. 5m HEIGHT OF TREE
 DENOTES APPROX. 4m SPREAD OF TREE
- GUTTER: DENOTES CENTRE LINE OF ROAD
 DENOTES TOP OF GUTTER
 DENOTES TOP OF WALL
- OVERHEAD ELECTRIC LINES: DENOTES APPROX. 0.16m DIAMETER OF TREE
- BOARDS SEWER: DENOTES APPROX. 5m HEIGHT OF TREE
- TELECOMMUNICATION LINES: DENOTES APPROX. 4m SPREAD OF TREE
- WATER LINES: DENOTES CENTRE LINE OF ROAD
- GAS LINES: DENOTES TOP OF GUTTER
- GAS LINES: DENOTES TOP OF WALL

PLAN SHOWING BOUNDARIES, RELATIVE HEIGHTS & PHYSICAL FEATURES OVER LOT 20 SECTION 58 IN D.P. 758044 KNOWN AS No. 1 TABALUM ROAD, BALGOWLAH HEIGHTS.

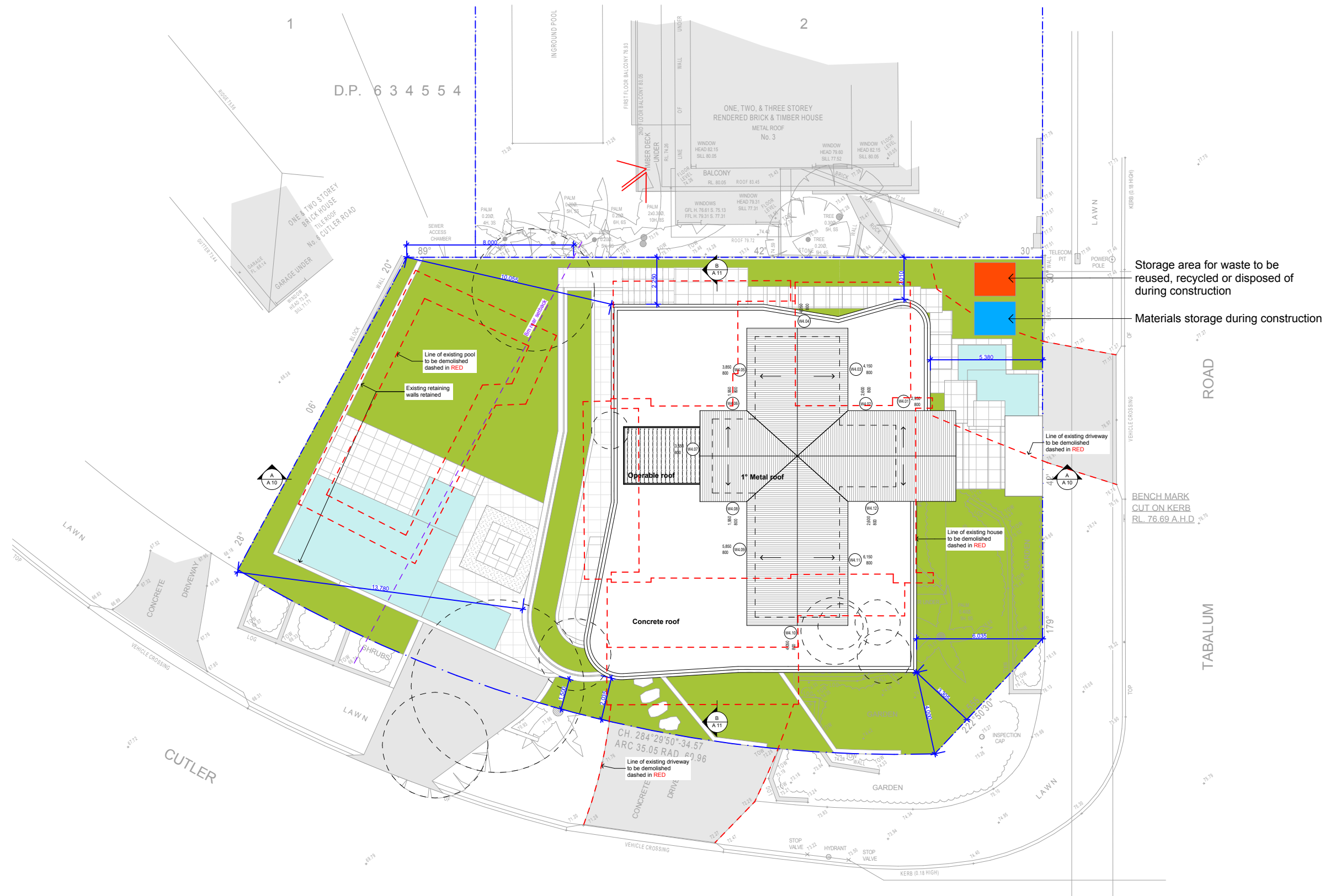
L.G.A.: NORTHERN BEACHES

| | | | |
|----------|---------------------------------------|-----------|------------|
| CLIENT | Mr K. MOONEY | REF No. | 17288 |
| PROPERTY | No. 1 TABALUM ROAD, BALGOWLAH HEIGHTS | SHEET No. | 1 of 1 |
| DATUM | A.H.D. | SCALE | 1:100 @ B1 |
| SURVEYED | A.M./B.W. | DATE | 20/05/2019 |
| | | DWG No. | 17288A |
| | | REV No. | 00 |

PLAN SHOWING BOUNDARIES, RELATIVE HEIGHTS & PHYSICAL FEATURES OVER LOT 20 SECTION 58 IN D.P. 758044 KNOWN AS No. 1 TABALUM ROAD, BALGOWLAH HEIGHTS.

L.G.A.: NORTHERN BEACHES

| | | | |
|----------|---------------------------------------|-----------|------------|
| CLIENT | Mr K. MOONEY | REF No. | 17288 |
| PROPERTY | No. 1 TABALUM ROAD, BALGOWLAH HEIGHTS | SHEET No. | 1 of 1 |
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| | | DWG No. | 17288A |
| | | REV No. | 00 |



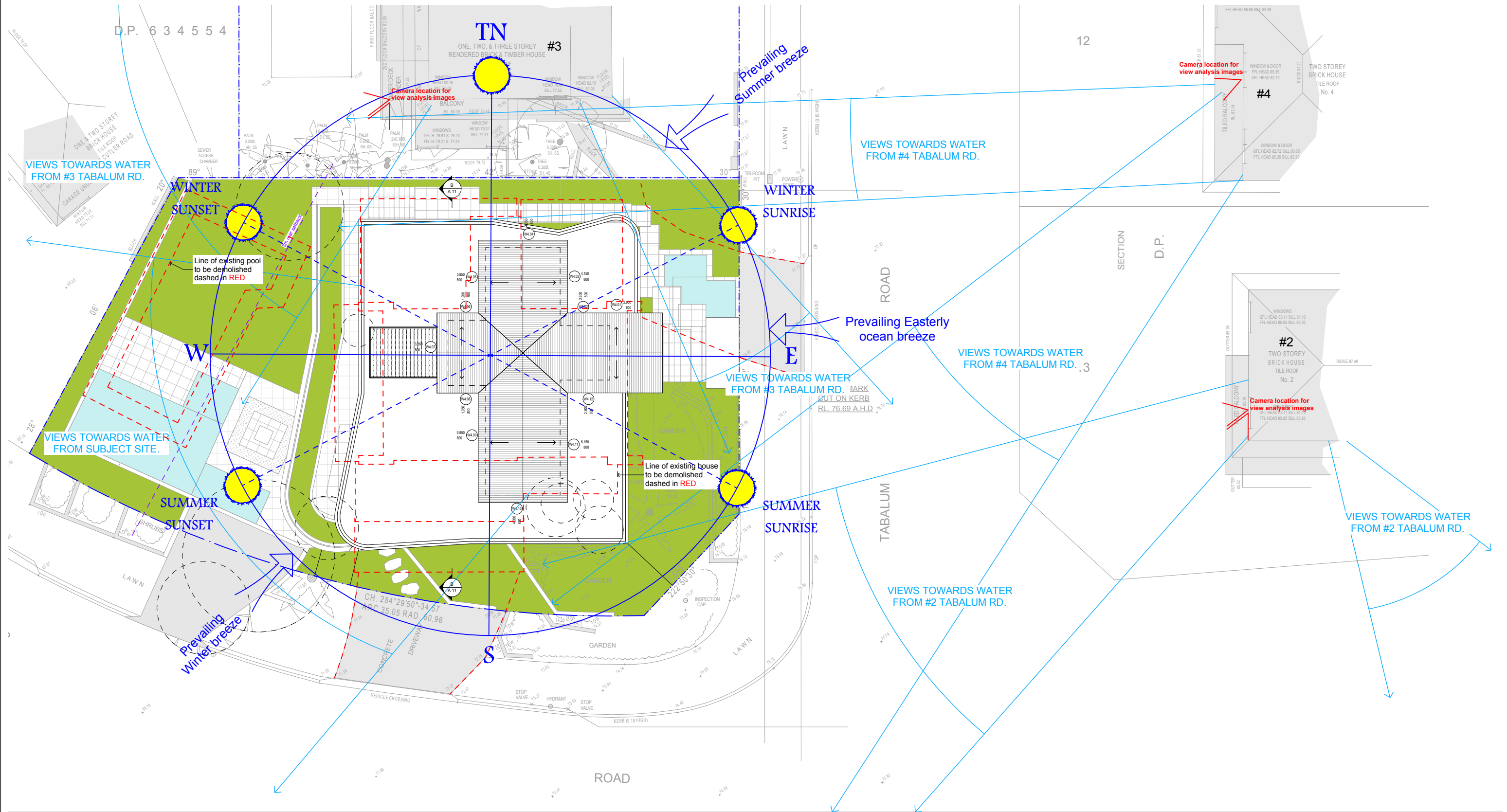
SITE PLAN
1:200

○ Trees to be removed or transplanted.
See accompanying arborist report

Refer to separate landscape plans
for detailed design/planting etc.

| | | | | | |
|--|----------------|------|---------------|---|--|
| | Revision | Date | Revision Note | Project: New Dwelling | Drawing: SITE PLAN |
| | General Notes: | | | Client: Kevin Mooney | Project #: MOO 0219 Issue Type: DA01 |
| | | | | Address: 1 Tabalum Rd, Balgowlah Heights Lot 20, Section 58, DP 758044 | Original Sheet Size: A3 Issue Date: 20/01/2020 |
| | | | | | Scale @ A3: 1:200 Sheet #: Revision: |
| | | | | | Chkd: Drawn: A 01 |

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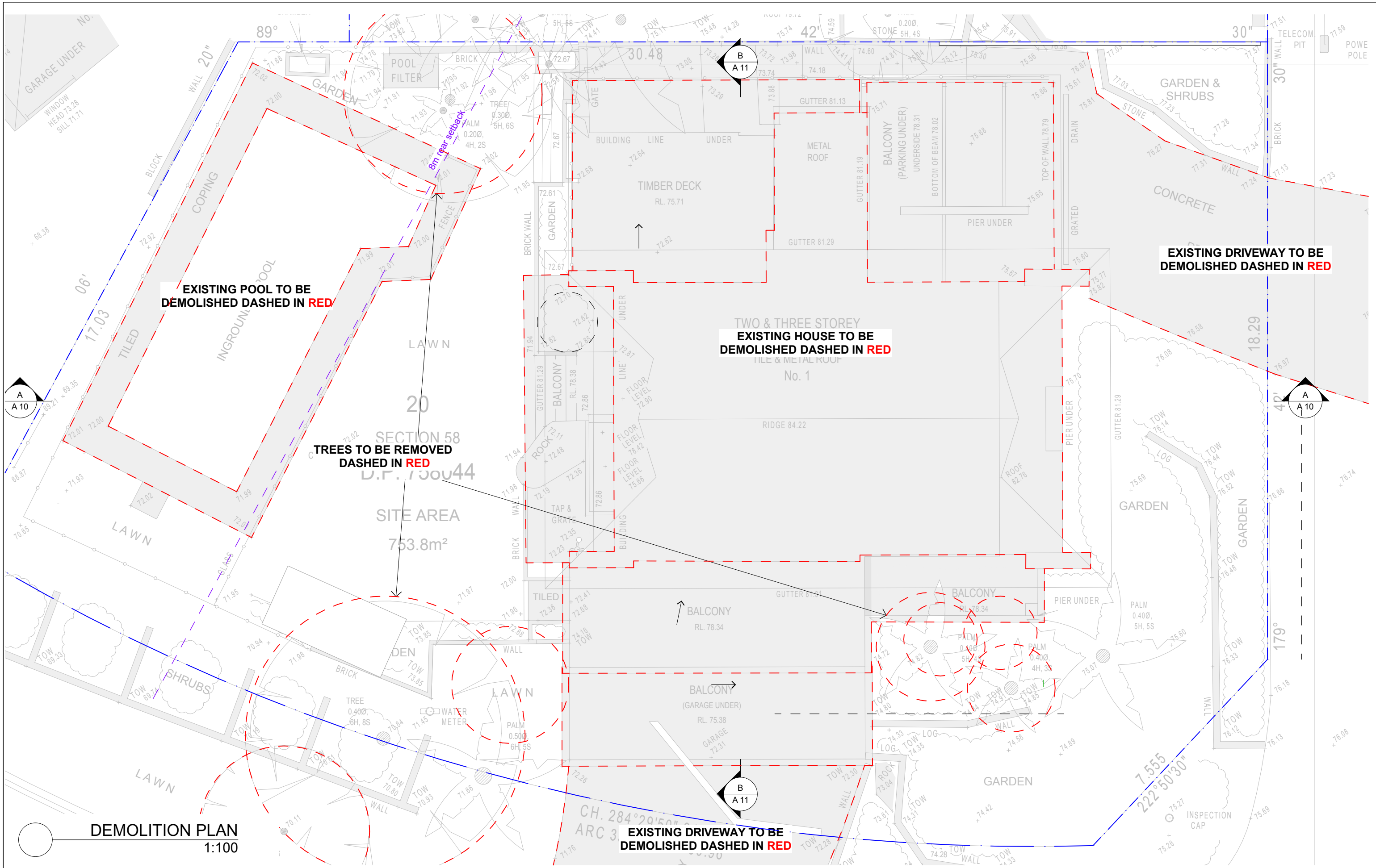


SITE ANALYSIS PLAN
1:200

NB: FOR DEATEDILED VIEW ANALYSIS IMAGES SEE DRAWINGS A24 TO A27

| | | | | | |
|--|----------------|------|---------------|--|--|
| | Revision | Date | Revision Note | Project: New Dwelling | Drawing: SITE ANALYSIS PLAN |
| | General Notes: | | | Client: Kevin Mooney | Project #: MOO 0219 Issue Type: DA01 |
| | | | | Address: 1 Tabalum Rd, Balgowlah Heights Lot 20, Section 58, DP 758044 | Original Sheet Size: A3 Issue Date: 20/01/2020 |
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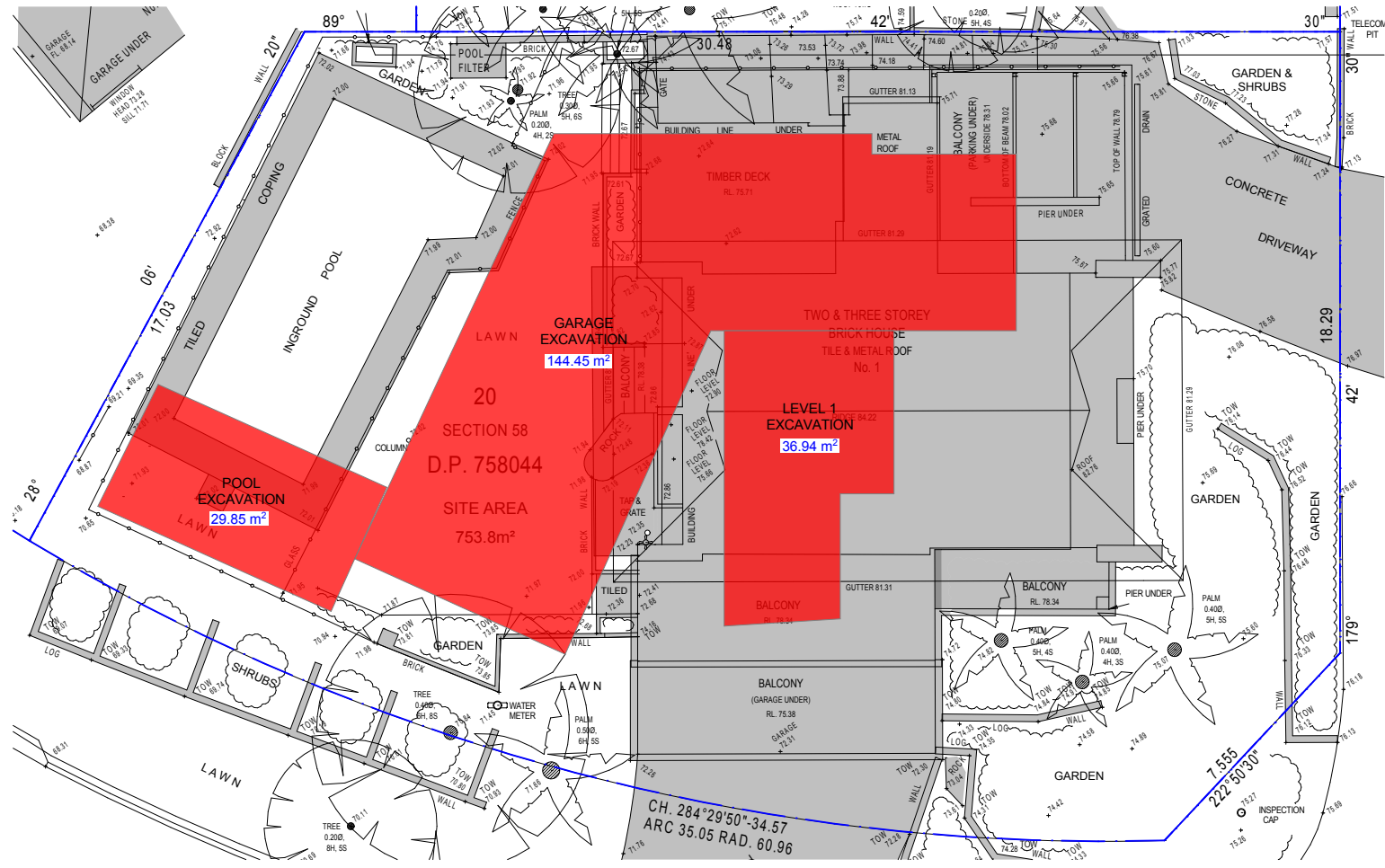
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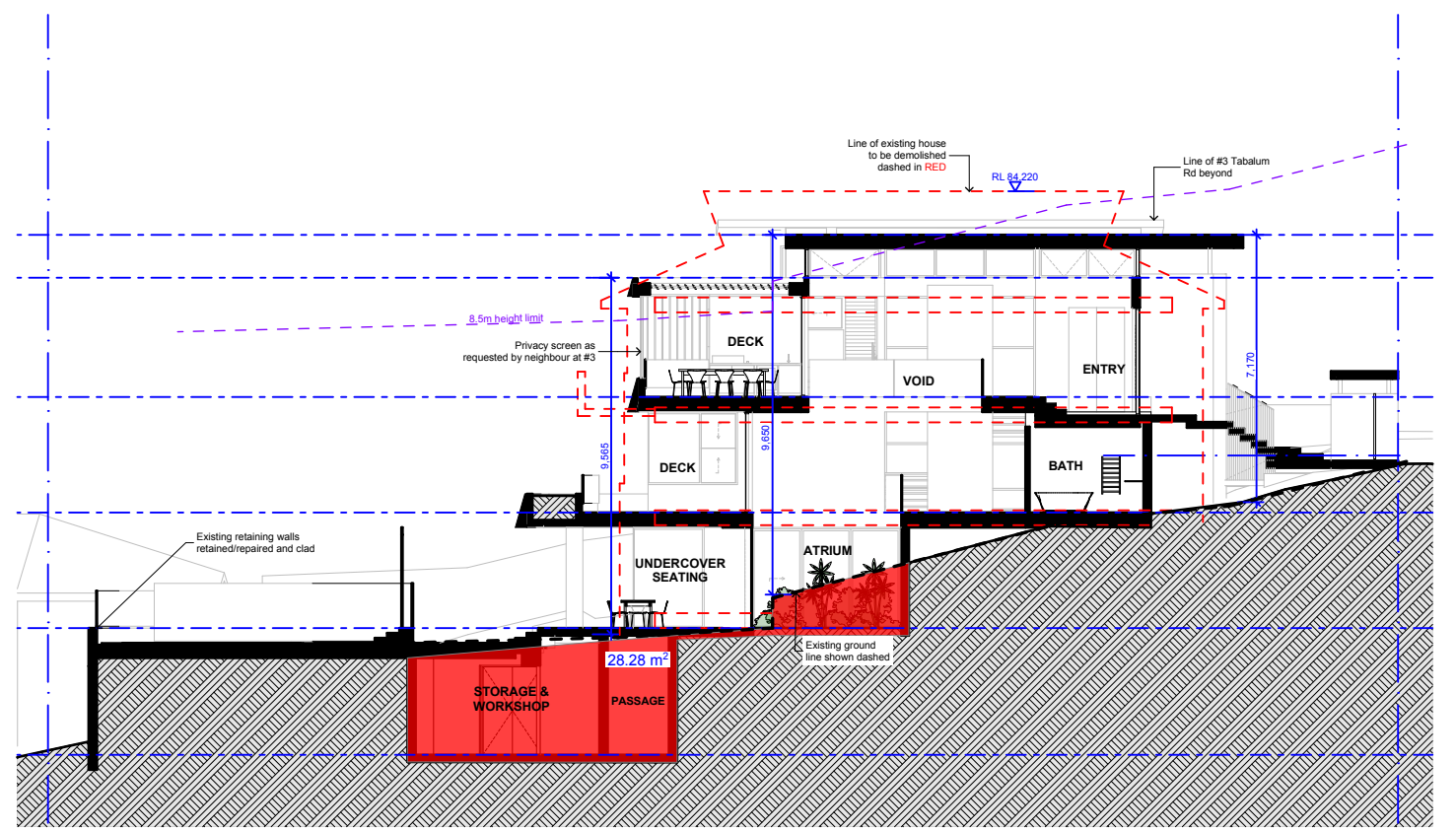
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| | Revision | Date | Revision Note | Project: New Dwelling | Drawing: DEMOLITION PLAN |
| | General Notes: | | | Client: Kevin Mooney | Project #: MOO 0219 Issue Type: DA01 |
| | | | | Address: 1 Tabalum Rd, Balgowlah Heights Lot 20, Section 58, DP 758044 | Original Sheet Size: A3 Issue Date: 20/01/2020 |
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| | | | | Chkd: Drawn: A 03 | Chkd: Drawn: A 03 |

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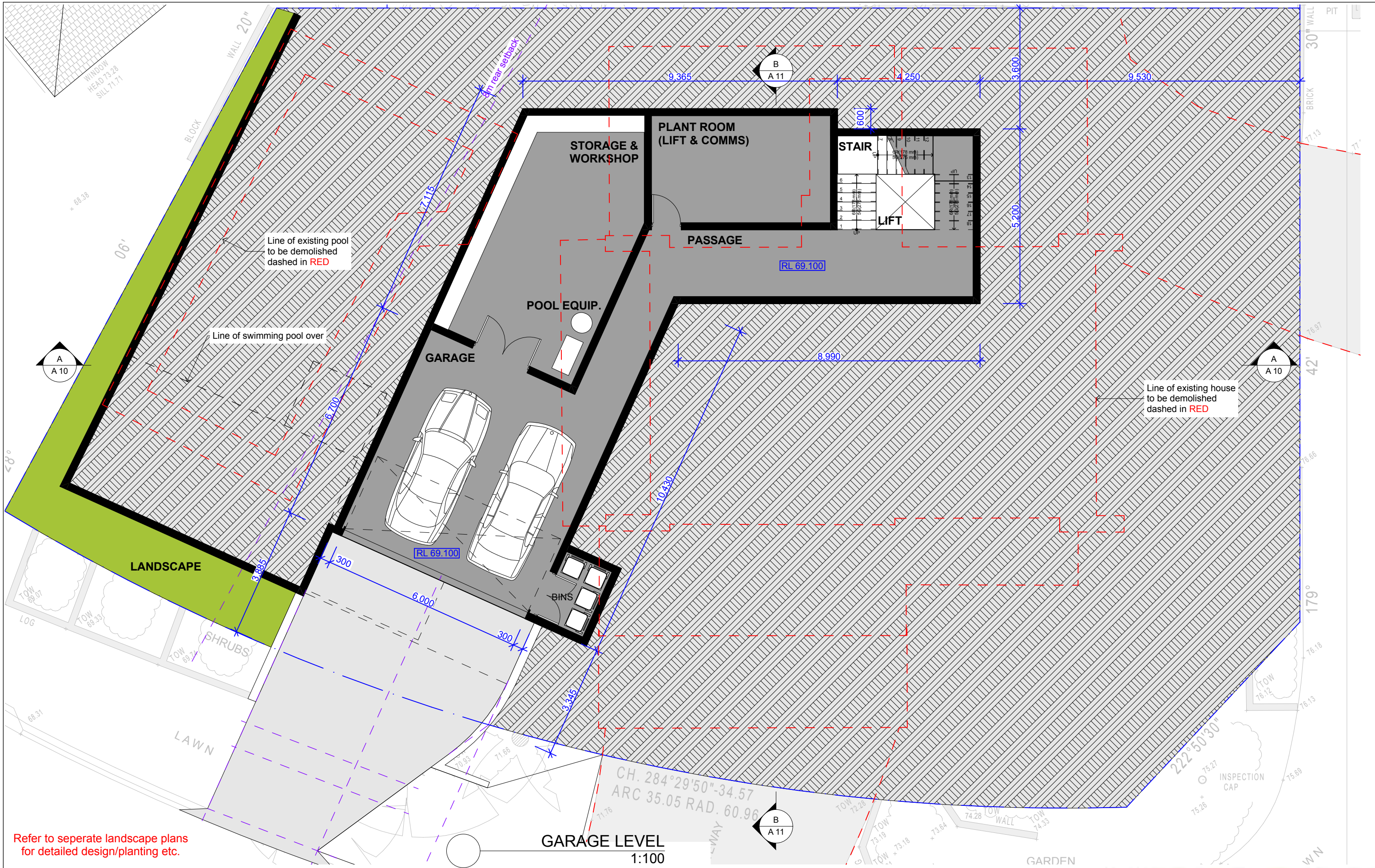
EXCAVATION PLAN
1:200



EXCAVATION SECTION
1:200

| | | | | | | | |
|--|----------|------|---------------|--------------------------------------|------------------------|-------------|-----------|
| | Revision | Date | Revision Note | Project: | Drawing: | | |
| | | | | New Dwelling | EXCAVATION PLAN | | |
| General Notes: | | | | Client: | Project #: | Issue Type: | |
| | | | | Kevin Mooney | MOO 0219 | DA01 | |
| | | | | Address: | Original Sheet Size: | Issue Date: | |
| 1 Tabalum Rd, Balgowlah Heights | | | | Lot 20, Section 58, DP 758044 | A3 | 20/01/2020 | |
| | | | | | Scale @ A3: | Sheet #: | Revision: |
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Refer to separate landscape plans for detailed design/planting etc.

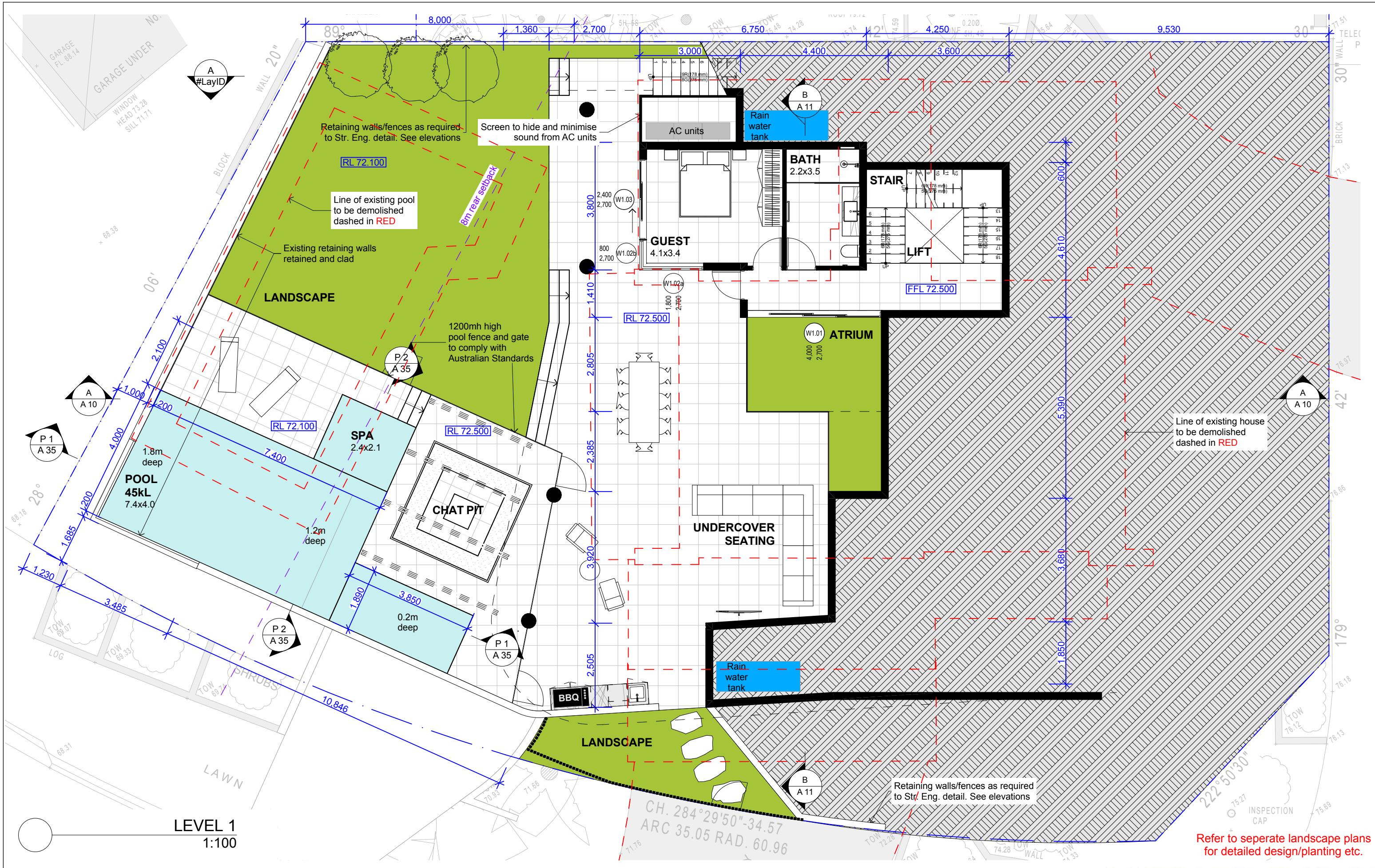
| Revision | Date | Revision Note |
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General Notes:

Project: **New Dwelling**
 Client: **Kevin Mooney**
 Address: **1 Tabalum Rd, Balgowlah Heights Lot 20, Section 58, DP 758044**

Drawing: **GARAGE**
 Project #: **MOO 0219** Issue Type: **DA01**
 Original Sheet Size: **A3** Issue Date: **20/01/2020**
 Scale @ A3: **1:100** Sheet #: **A 05**
 Chkd: Drawn:

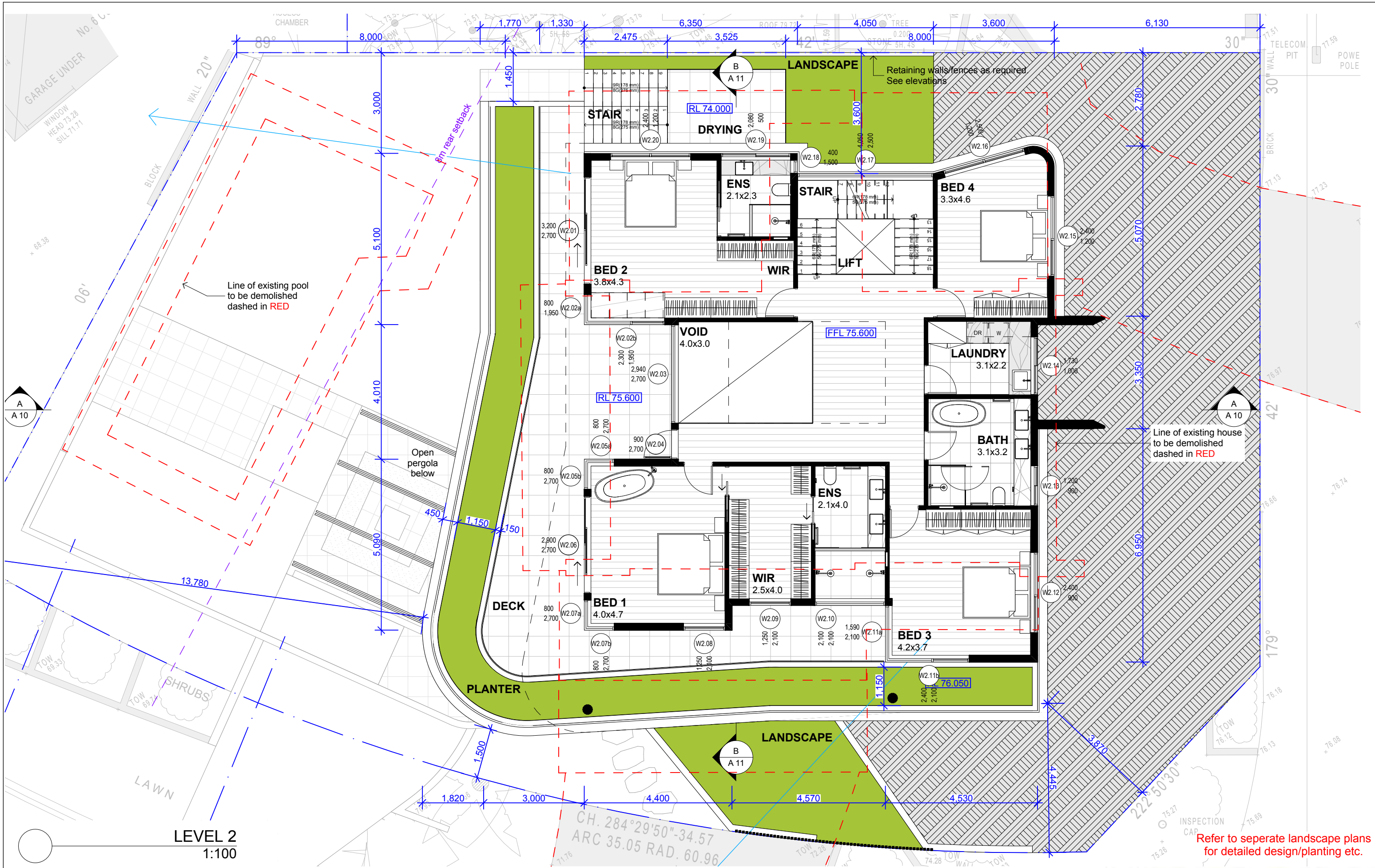
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LEVEL 1
1:100

Refer to separate landscape plans for detailed design/planting etc.

| | | | | | | |
|--|----------------|------|---------------|--|--|---|
|  | Revision | Date | Revision Note | Project: New Dwelling | Drawing: LEVEL 1 |  |
| | General Notes: | | | Client: Kevin Mooney | Project #: MOO 0219 Issue Type: DA01 | |
| | | | | Address: 1 Tabalum Rd, Balgowlah Heights Lot 20, Section 58, DP 758044 | Original Sheet Size: A3 Issue Date: 20/01/2020 | Revision: |
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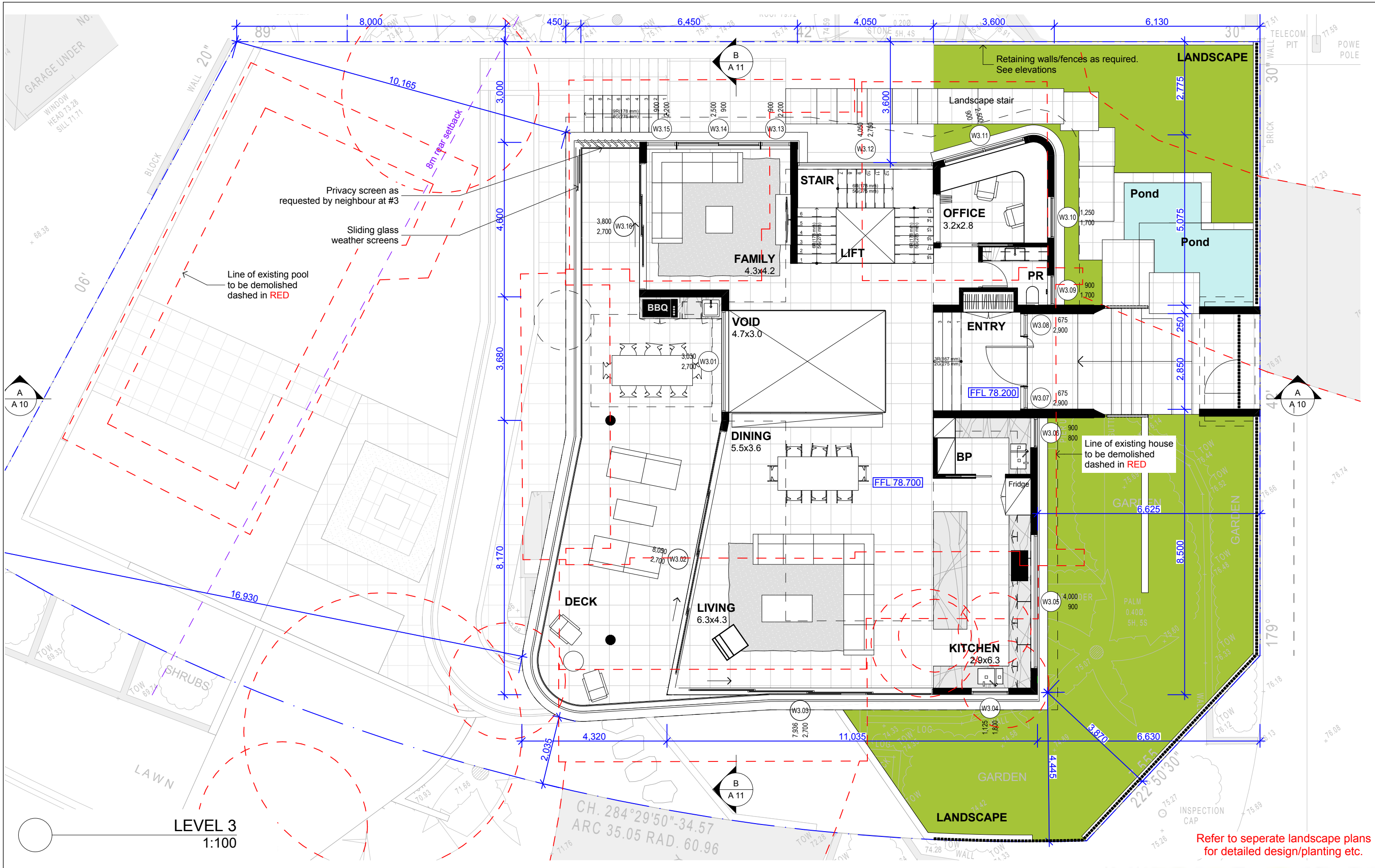


LEVEL 2
1:100

Refer to separate landscape plans for detailed design/planting etc.

| | | | | | |
|--|----------------|------|---------------|--|--|
| | Revision | Date | Revision Note | Project: New Dwelling | Drawing: LEVEL 2 |
| | General Notes: | | | Client: Kevin Mooney | Project #: MOO 0219 Issue Type: DA01 |
| | | | | Address: 1 Tabalum Rd, Balgowlah Heights Lot 20, Section 58, DP 758044 | Original Sheet Size: A3 Issue Date: 20/01/2020 |
| | | | | | Scale @ A3: 1:100 Sheet #: Revision: |
| | | | | | Chkd: Drawn: A 07 |

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LEVEL 3
1:100

Refer to separate landscape plans for detailed design/planting etc.

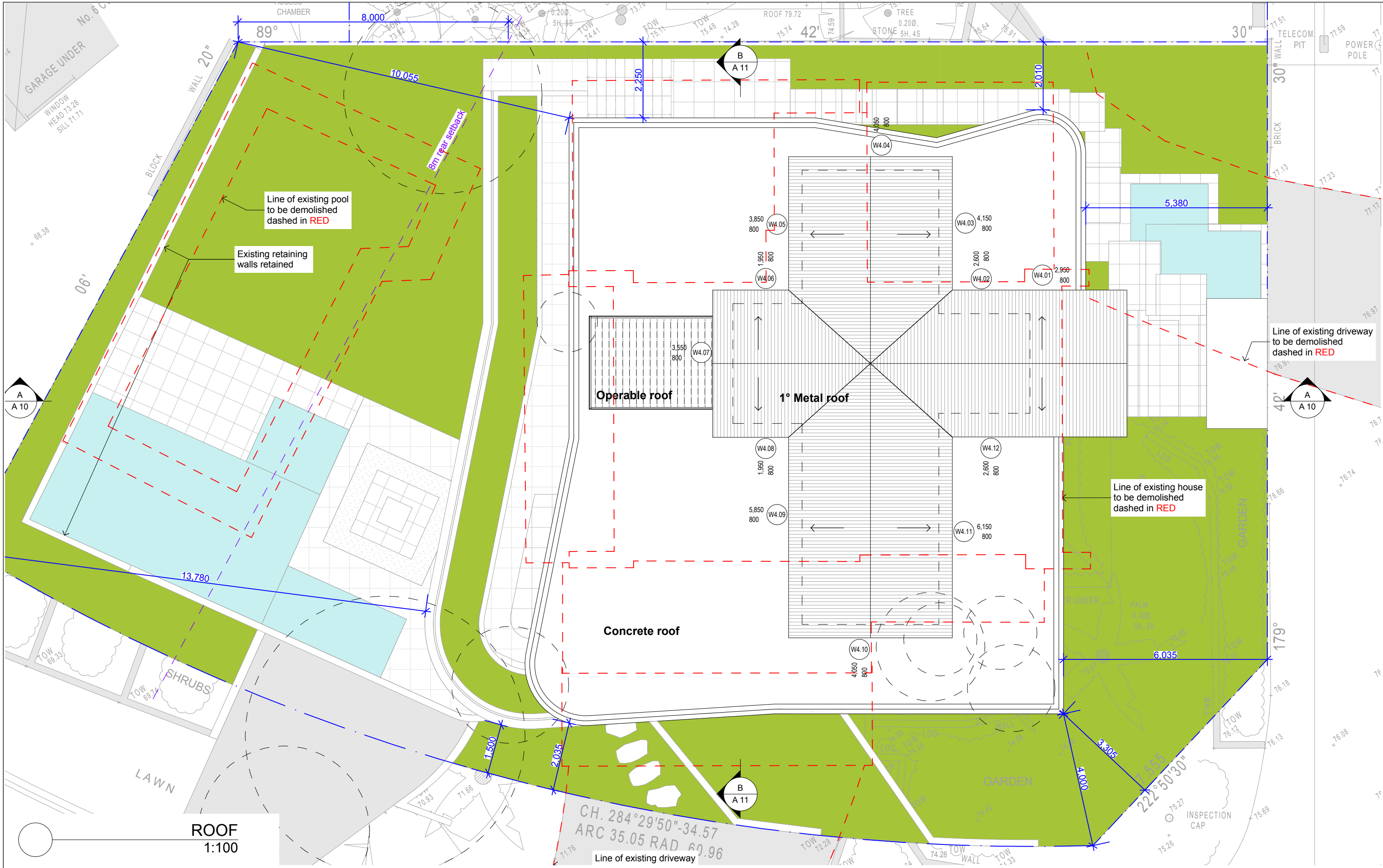
| Revision | Date | Revision Note |
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General Notes:

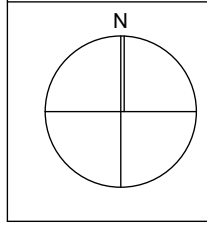
Project: **New Dwelling**
 Client: **Kevin Mooney**
 Address: **1 Tabalum Rd, Balgowlah Heights Lot 20, Section 58, DP 758044**

Drawing: **LEVEL 3**
 Project #: **MOO 0219** Issue Type: **DA01**
 Original Sheet Size: **A3** Issue Date: **20/01/2020**
 Scale @ A3: **1:100** Sheet #: **Revision:**
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ROOF
1:100



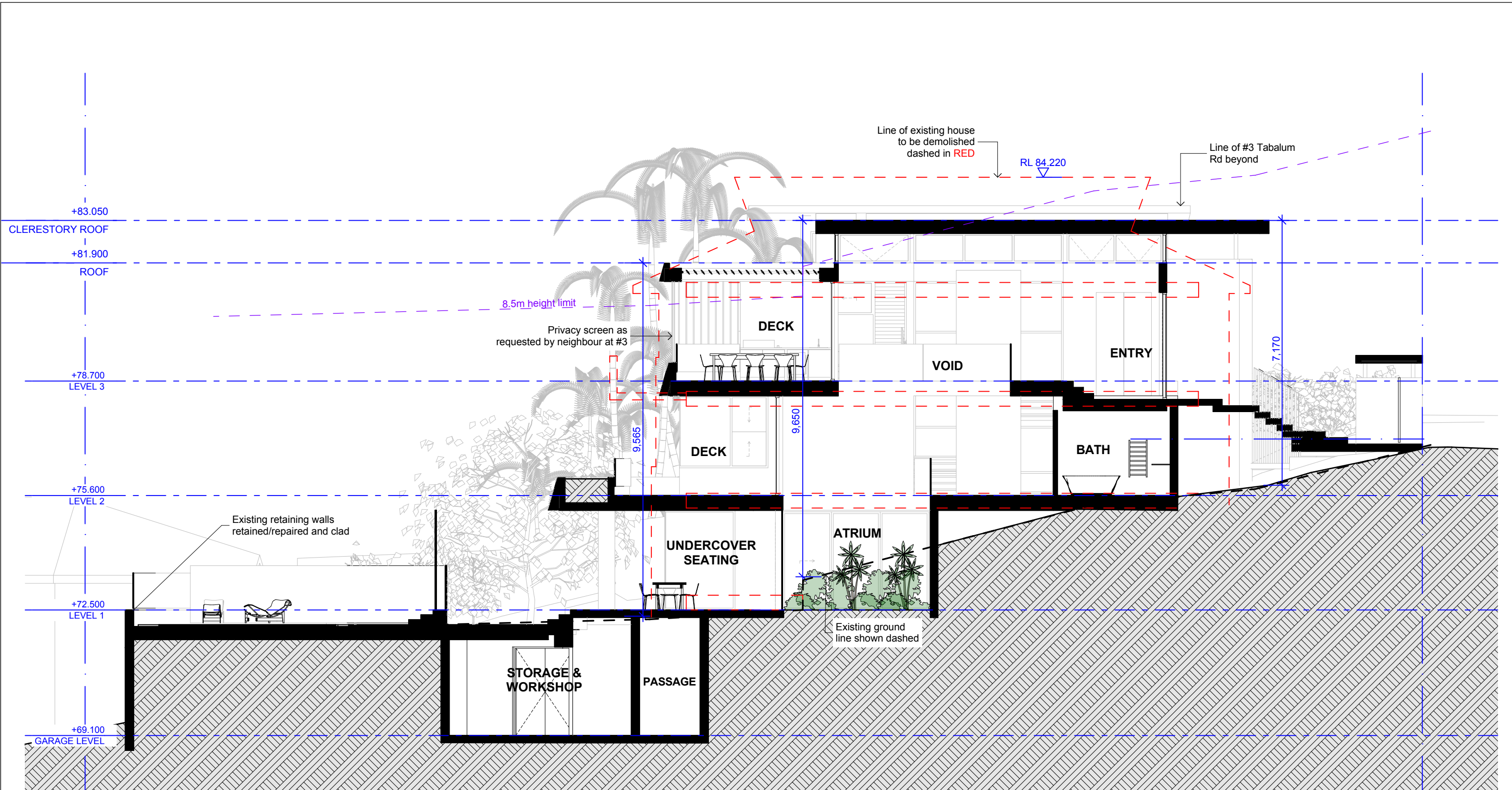
| Revision | Date | Revision Note |
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General Notes:

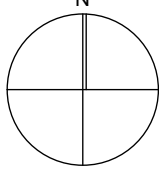
Project: **New Dwelling**
 Client: **Kevin Mooney**
 Address: **1 Tabalum Rd, Balgowlah Heights
 Lot 20, Section 58, DP 758044**

Drawing: **ROOF PLAN**
 Project #: **MOO 0219** Issue Type: **DA01**
 Original Sheet Size: **A3** Issue Date: **20/01/2020**
 Scale @ A3: **1:100** Sheet #: **Revision:**
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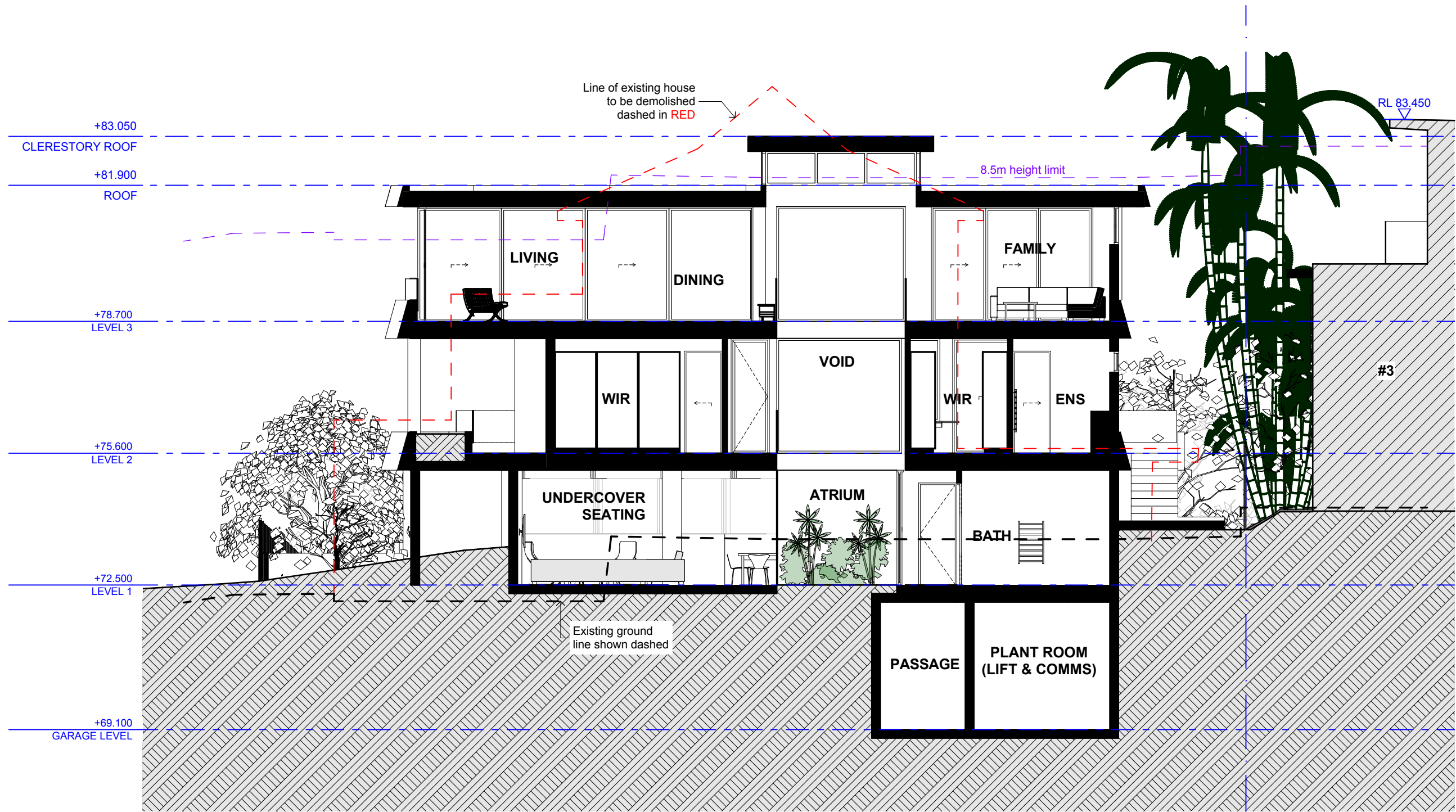


SECTION A
1:100

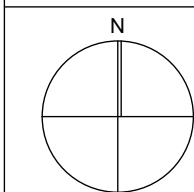
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|  | Revision | Date | Revision Note | Project: | Drawing: | | |
| | | | | New Dwelling | SECTION A | | |
| General Notes: | | | | Client: | Project #: | Issue Type: | DA01 |
| | | | | Kevin Mooney | MOO 0219 | Issue Date: | 20/01/2020 |
| | | | | Address: | Scale @ A3: | Sheet #: | Revision: |
| | | | | 1 Tabalum Rd, Balgowlah Heights Lot 20, Section 58, DP 758044 | 1:100 | A 10 | |
| | | | | Chkd: | Drawn: | | |



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SECTION B
1:100

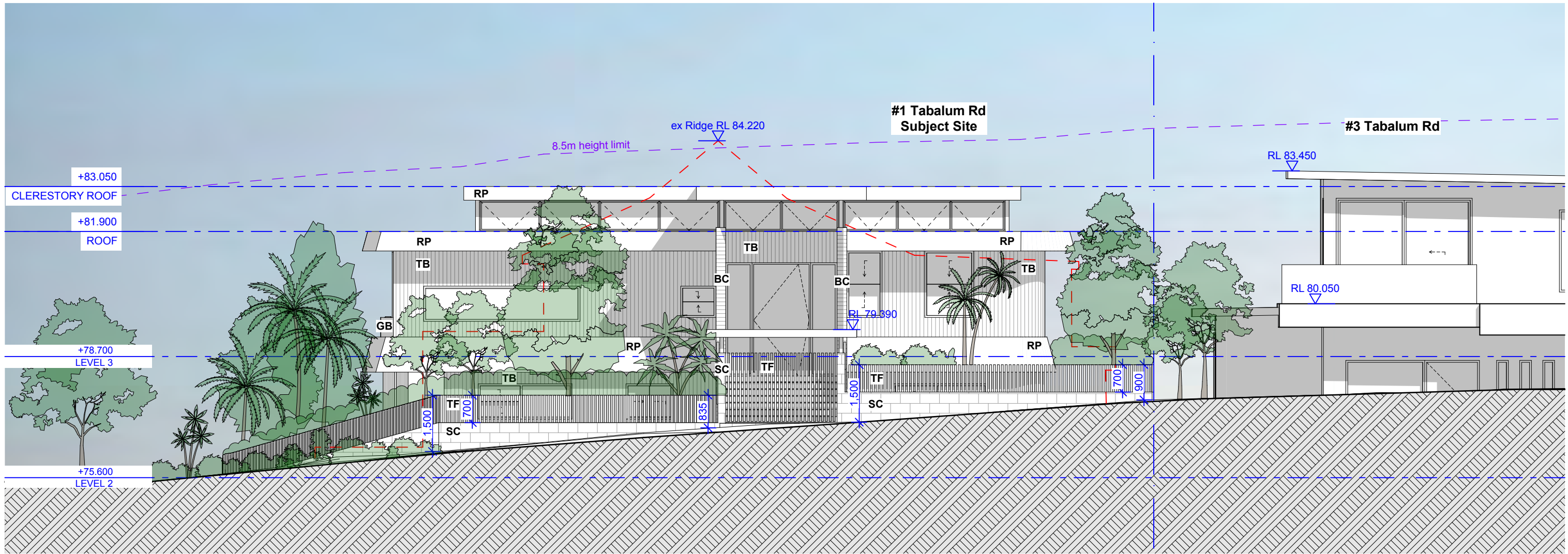


| Revision | Date | Revision Note |
|----------------|------|---------------|
| General Notes: | | |

Project: **New Dwelling**
 Client: **Kevin Mooney**
 Address: **1 Tabalum Rd, Balgowlah Heights
 Lot 20, Section 58, DP 758044**

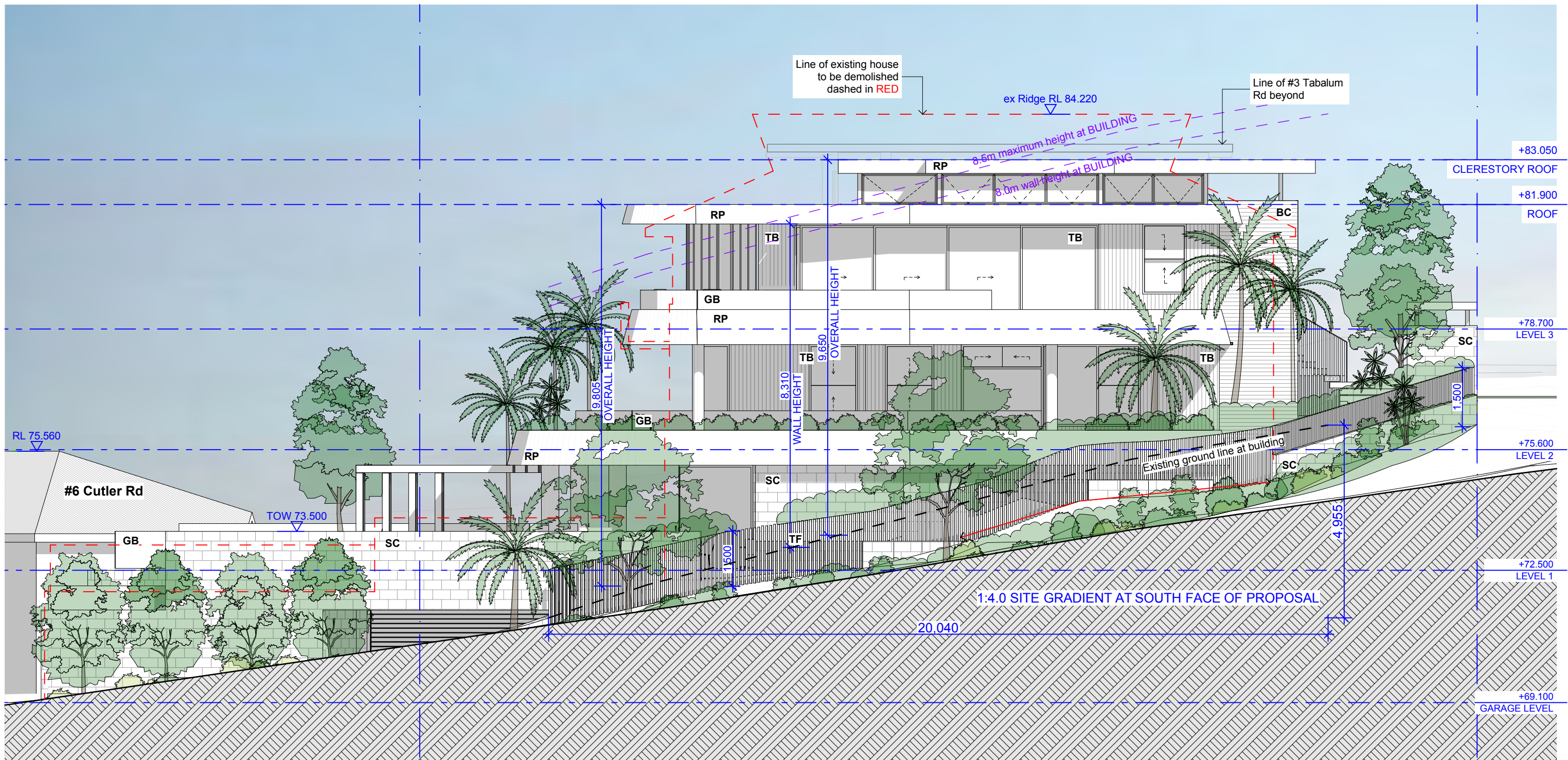
Drawing: **SECTION B**
 Project #: **MOO 0219** Issue Type: **DA01**
 Original Sheet Size: **A3** Issue Date: **20/01/2020**
 Scale @ A3: **1:100** Sheet #: **Revision:**
 Chkd: **Drawn: A 11**

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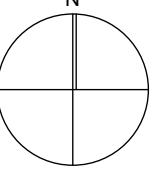



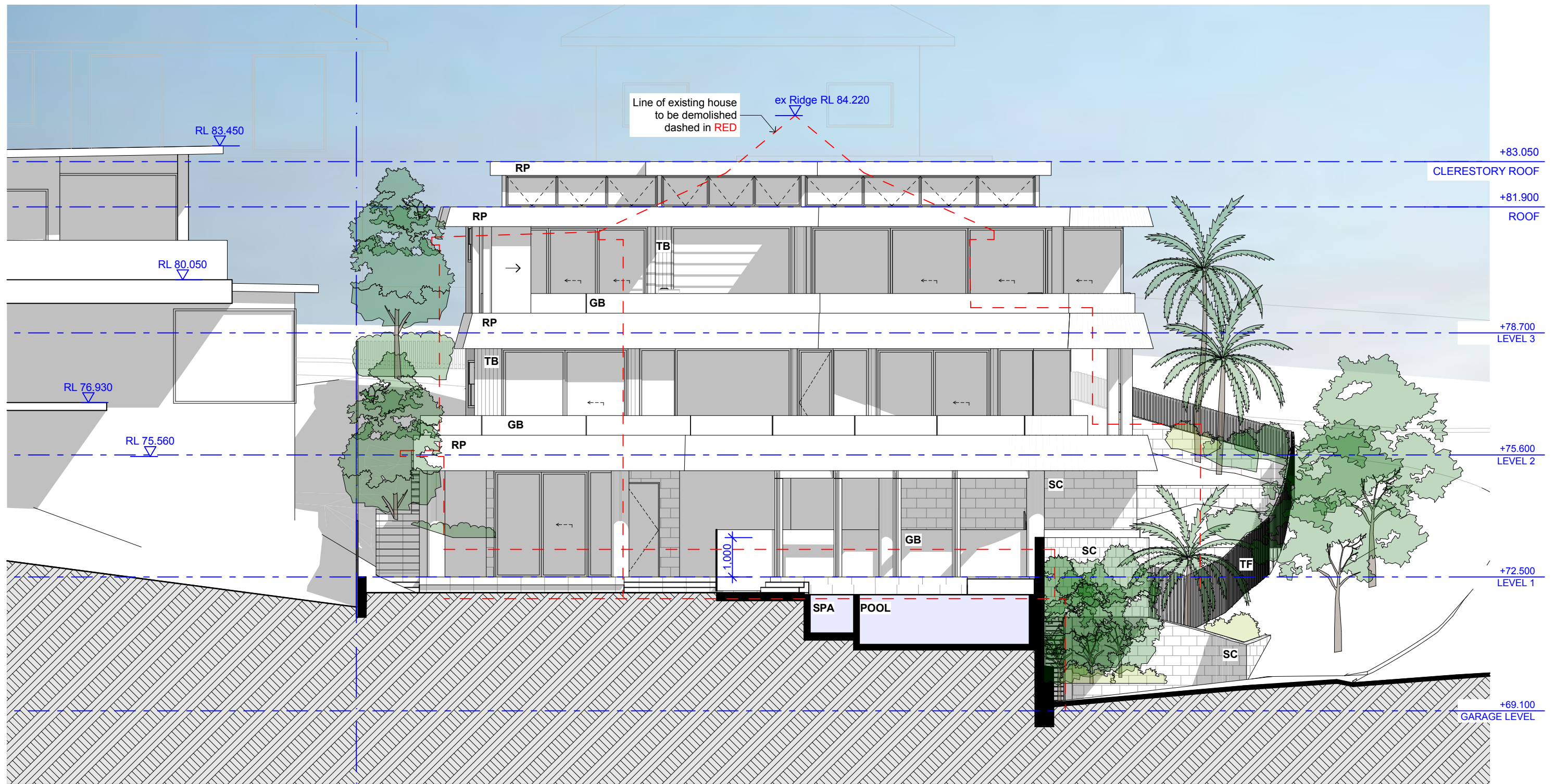
○ EAST (TABALUM RD STREETScape) ELEVATION
1:100

| | | | | | | | | |
|----------------|----------|------|---------------|---|--|------------------------|-----------|---|
| | Revision | Date | Revision Note | Project: | Drawing: EAST (TABALUM RD STREETScape) ELEVATION | | | |
| | | | | Client: | MOO 0219 | Issue Type: | DA01 | |
| General Notes: | | | | Address: 1 Tabalum Rd, Balgowlah Heights Lot 20, Section 58, DP 758044 | Original Sheet Size: A3 | Issue Date: 20/01/2020 | Revision: | 209/40 Yeo Street (PO Box 277), Neutral Bay, NSW 2089 T (02) 9909 8844, F (02) 9909 8833, www.sanctumdesign.com.au Copyright © Sanctum Design Consultants PTY. LTD. A.B.N. 19 080 529 246 Principal: James Cooper. Member BDANSW Nominated Architect, Ian Bassett NSW Reg. No. 6987 |
| | | | | Scale @ A3: 1:100 | Sheet #: A 12 | | | |
| | | | | Chkd: | Drawn: | | | |

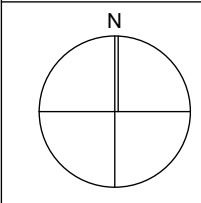


○ SOUTH (CUTLER RD STREETSCAPE) ELEVATION
1:100

| | | | | | | | | |
|--|----------|------|---------------|---|--|----------|-------------|---|
|  | Revision | Date | Revision Note | Project: | Drawing: | | |  |
| | | | | New Dwelling | SOUTH (CUTLER RD STREETSCAPE) ELEVATION | | | |
| General Notes: | | | | Client: | Project #: | MOO 0219 | Issue Type: | DA01 |
| | | | | Kevin Mooney | Original Sheet Size: | A3 | Issue Date: | 20/01/2020 |
| | | | | Address: | Scale @ A3: | 1:100 | Sheet #: | Revision: |
| | | | | 1 Tabalum Rd, Balgowlah Heights Lot 20, Section 58, DP 758044 | Chkd: | Drawn: | A 13 | |
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WEST ELEVATION
1:100



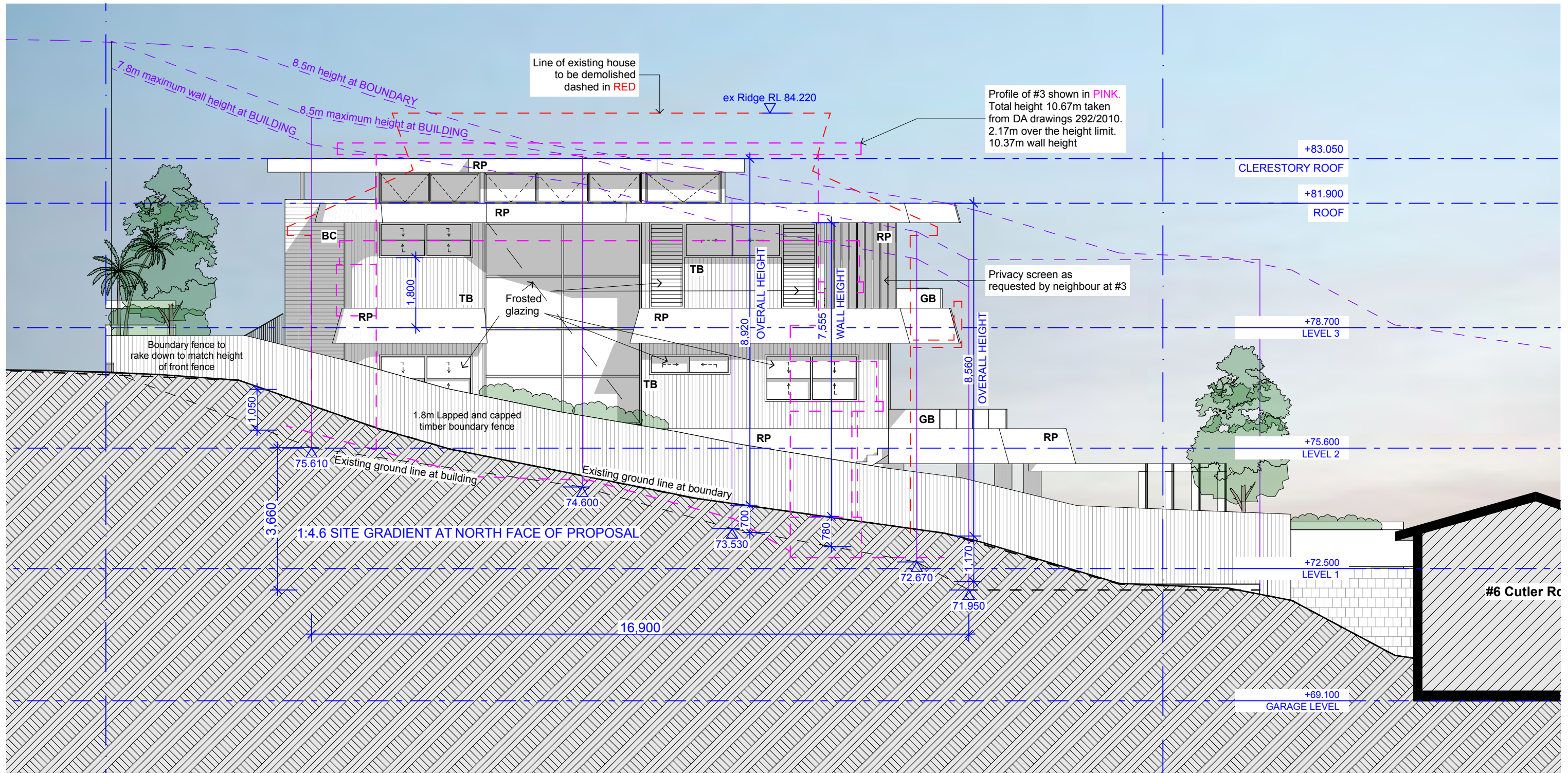
| Revision | Date | Revision Note |
|----------|------|---------------|
| | | |

General Notes:

Project: **New Dwelling**
 Client: **Kevin Mooney**
 Address: **1 Tabalum Rd, Balgowlah Heights
 Lot 20, Section 58, DP 758044**

Drawing: **WEST ELEVATION**
 Project #: **MOO 0219** Issue Type: **DA01**
 Original Sheet Size: **A3** Issue Date: **20/01/2020**
 Scale @ A3: **1:100** Sheet #: **A 14**
 Chkd: Drawn: Revision:

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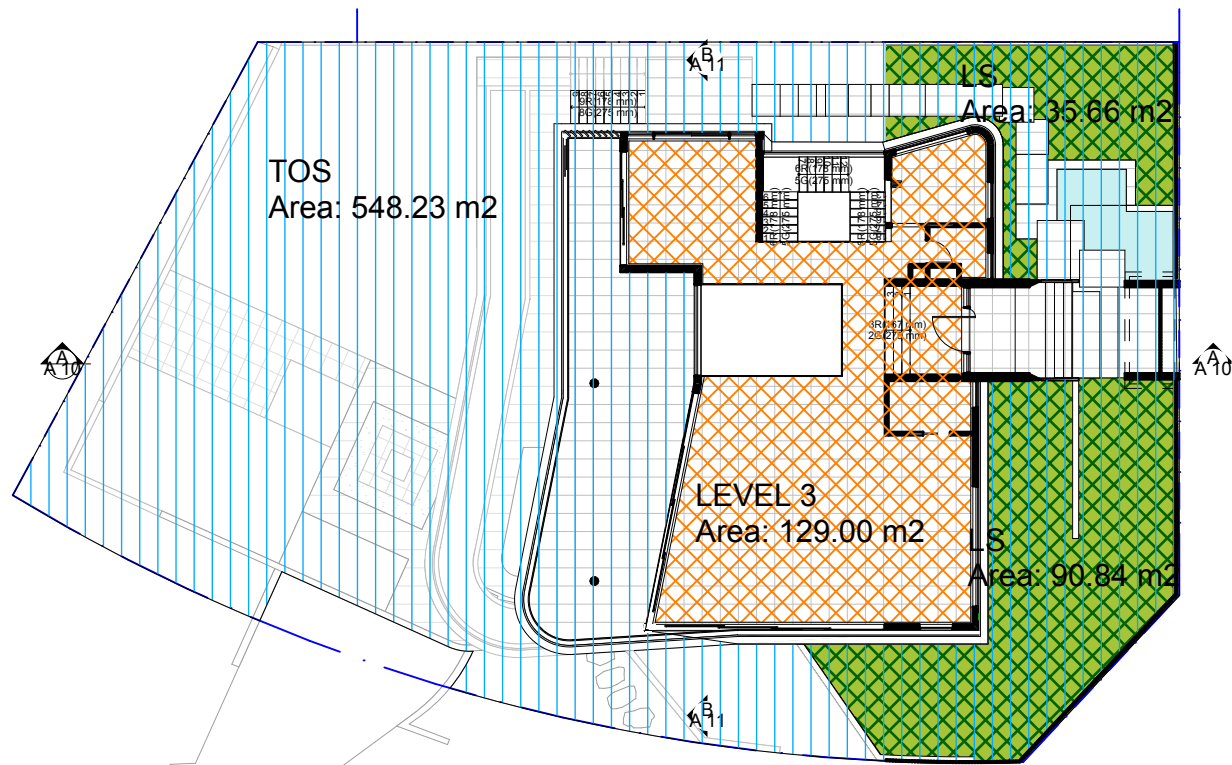
NORTH ELEVATION
1:100

| | | | | | | | |
|----------------|-------------|--|---------------|---|------------------------|-------------|-------------|
| | Revision | Date | Revision Note | Project: | Drawing: | | |
| | | | | New Dwelling | NORTH ELEVATION | | |
| General Notes: | Client: | Kevin Mooney | | Project #: | MOO 0219 | Issue Type: | DA01 |
| | Address: | 1 Tabalum Rd, Balgowlah Heights Lot 20, Section 58, DP 758044 | | Original Sheet Size: | A3 | Issue Date: | 20/01/2020 |
| | Scale @ A3: | 1:100 | | Sheet #: | Revision: | | |
| | Chkd: | Drawn: | | A 15 | | | |
| | | | | | | | |
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○ 3D STREETScape FROM TABALUM RD

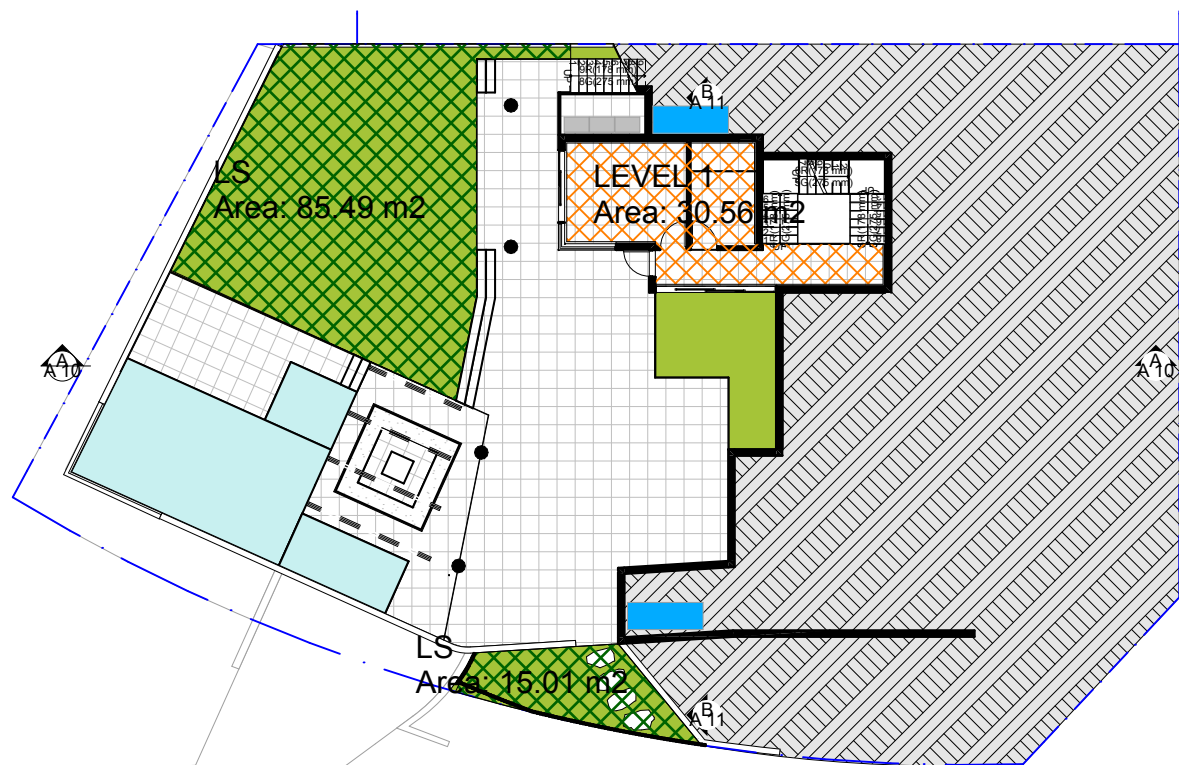
| | | | | | | |
|--|----------------|------|---------------|---------------------------------|--|--|
| | Revision | Date | Revision Note | Project: New Dwelling | Drawing: 3D VIEW | |
| | General Notes: | | | Client: Kevin Mooney | Project #: MOO 0219 Issue Type: DA01 Original Sheet Size: A3 Issue Date: 20/01/2020 Scale @ A3: _____ Sheet #: _____ Chkd: _____ Drawn: _____ A 16 | |



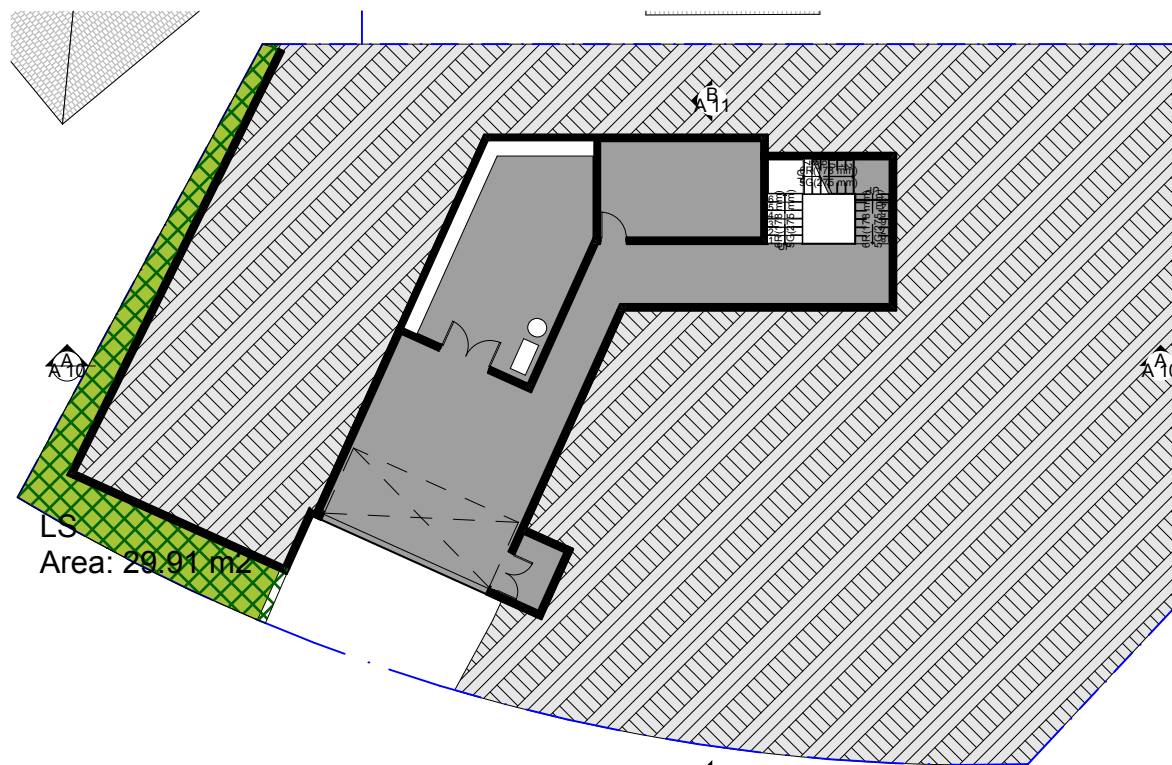
LEVEL 3 - AREAS
1:250



LEVEL 2 - AREAS
1:250



LEVEL 1 - AREAS
1:250



GARAGE - AREAS
1:250

SITE AREA = 753.8m²

| GFA | |
|---------|-----------------------------|
| LEVEL 1 | 30.56 |
| LEVEL 2 | 140.57 |
| LEVEL 3 | 129.00 |
| | 300.13 m² |

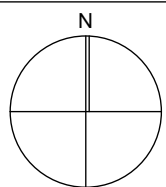
FSR = 0.398:1

| TOTAL OPEN SPACE | |
|------------------|-----------------------------|
| LEVEL 3 | 548.23 |
| | 548.23 m² |

REQUIRED = 452.28m²

| LANDSCAPE AREA | |
|----------------|-----------------------------|
| GARAGE LEVEL | 29.91 |
| LEVEL 1 | 100.50 |
| LEVEL 2 | 76.23 |
| LEVEL 3 | 126.50 |
| | 333.14 m² |

**REQUIRED LANDSCAPE AREA
181m²**

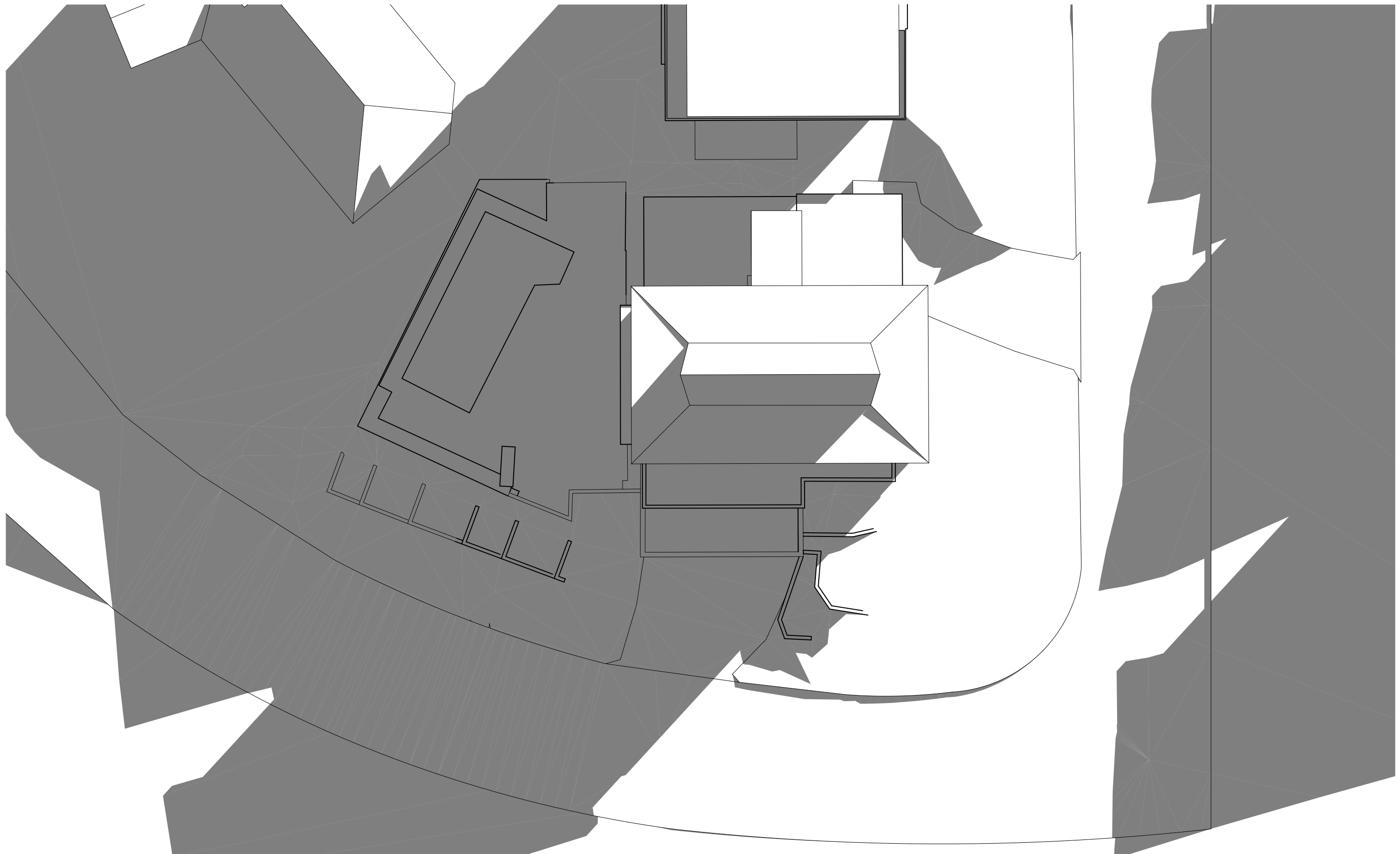


| Revision | Date | Revision Note |
|----------------|------|---------------|
| General Notes: | | |

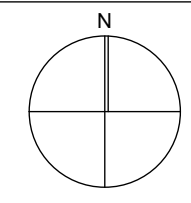
Project: **New Dwelling**
 Client: **Kevin Mooney**
 Address: **1 Tabalum Rd, Balgowlah Heights
 Lot 20, Section 58, DP 758044**

Drawing: **AREA CALCULATIONS**
 Project #: **MOO 0219** Issue Type: **DA01**
 Original Sheet Size: **A3** Issue Date: **20/01/2020**
 Scale @ A3: **1:250** Sheet #: **Revision:**
 Chkd: **Drawn:** **A 17**

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○ Shadows - 9am - June 21 - Existing
1:200



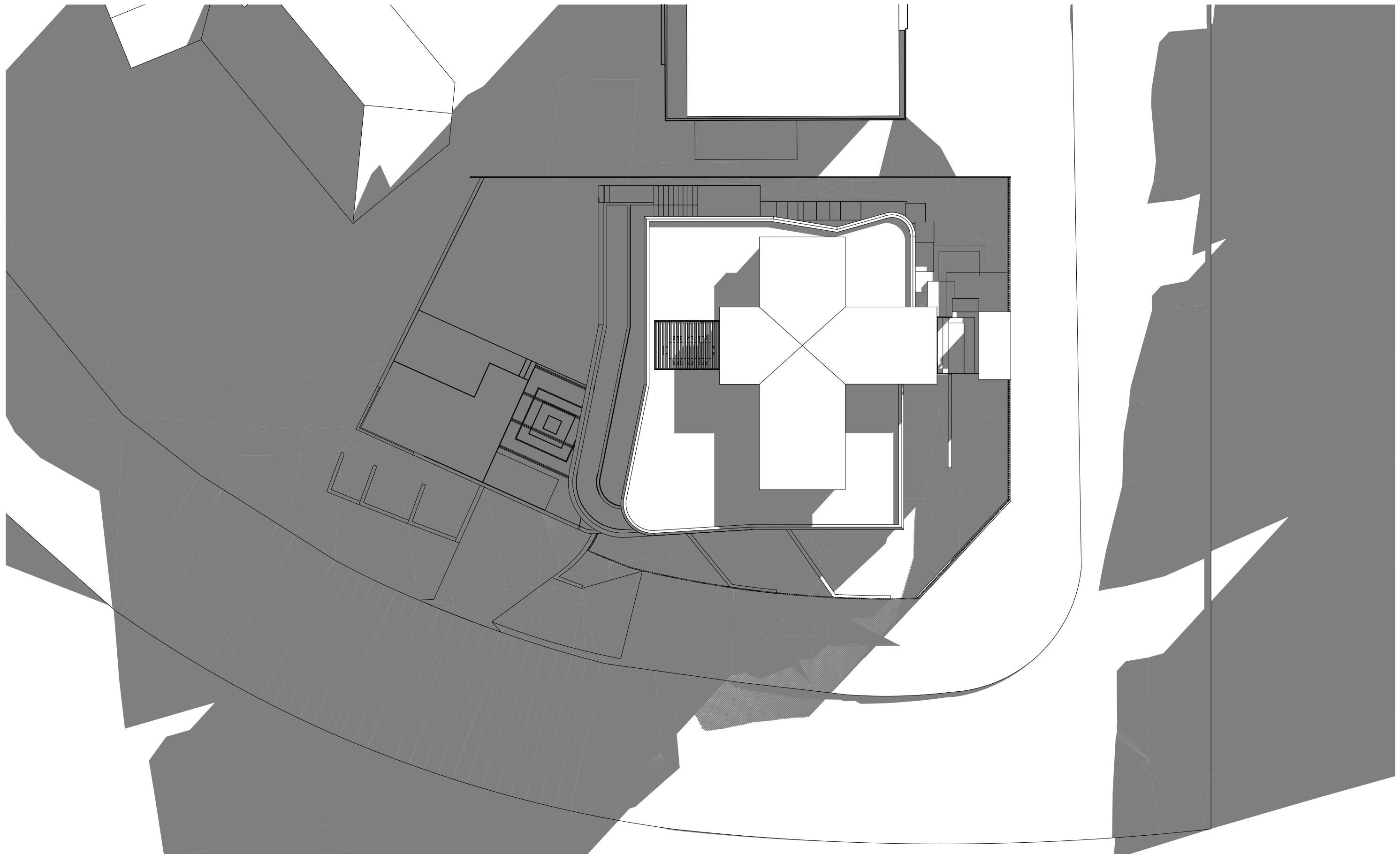
| Revision | Date | Revision Note |
|----------|------|---------------|
| | | |

General Notes:

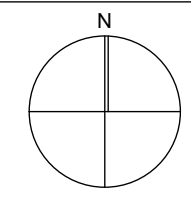
Project: **New Dwelling**
 Client: **Kevin Mooney**
 Address: **1 Tabalum Rd, Balgowlah Heights
 Lot 20, Section 58, DP 758044**

Drawing: **SHADOW DIAGRAMS - JUNE 21 - 9am - EXISTING**
 Project #: **MOO 0219** Issue Type: **DA01**
 Original Sheet Size: **A3** Issue Date: **20/01/2020**
 Scale @ A3: **1:200** Sheet #: **A 18**
 Chkd: **Drawn:**

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○ Shadows - 9am - June 21 - Proposed
1:200



| Revision | Date | Revision Note |
|----------|------|---------------|
| | | |

General Notes:

Project: **New Dwelling**

Client: **Kevin Mooney**

Address: **1 Tabalum Rd, Balgowlah Heights
Lot 20, Section 58, DP 758044**

Drawing: **SHADOW DIAGRAMS - JUNE 21 - 9am - PROPOSED**

Project #: MOO 0219 Issue Type: **DA01**

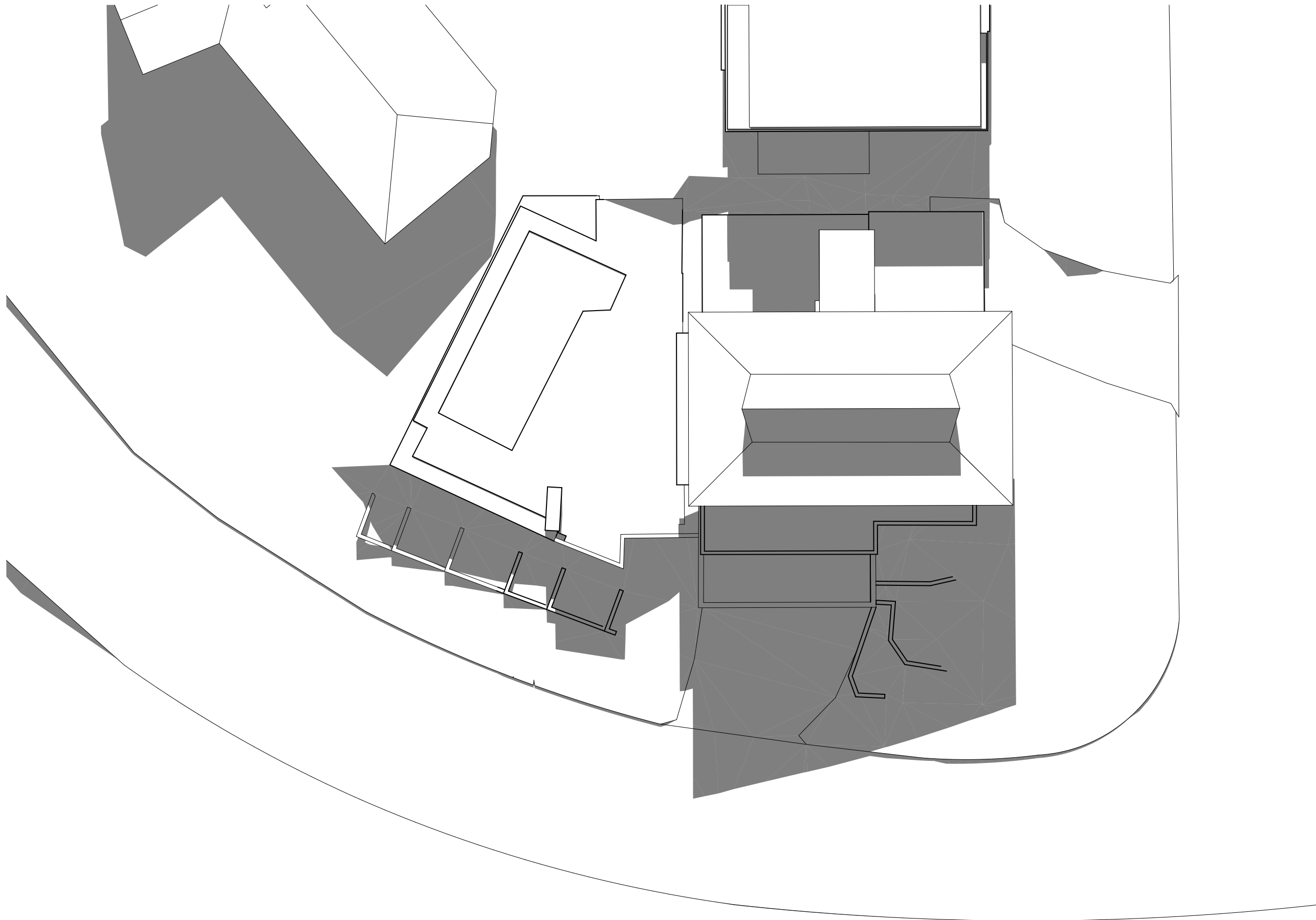
Original Sheet Size: A3 Issue Date: 20/01/2020

Scale @ A3: 1:200 Sheet #: **Revision:**

Chkd: Drawn: **A 19**

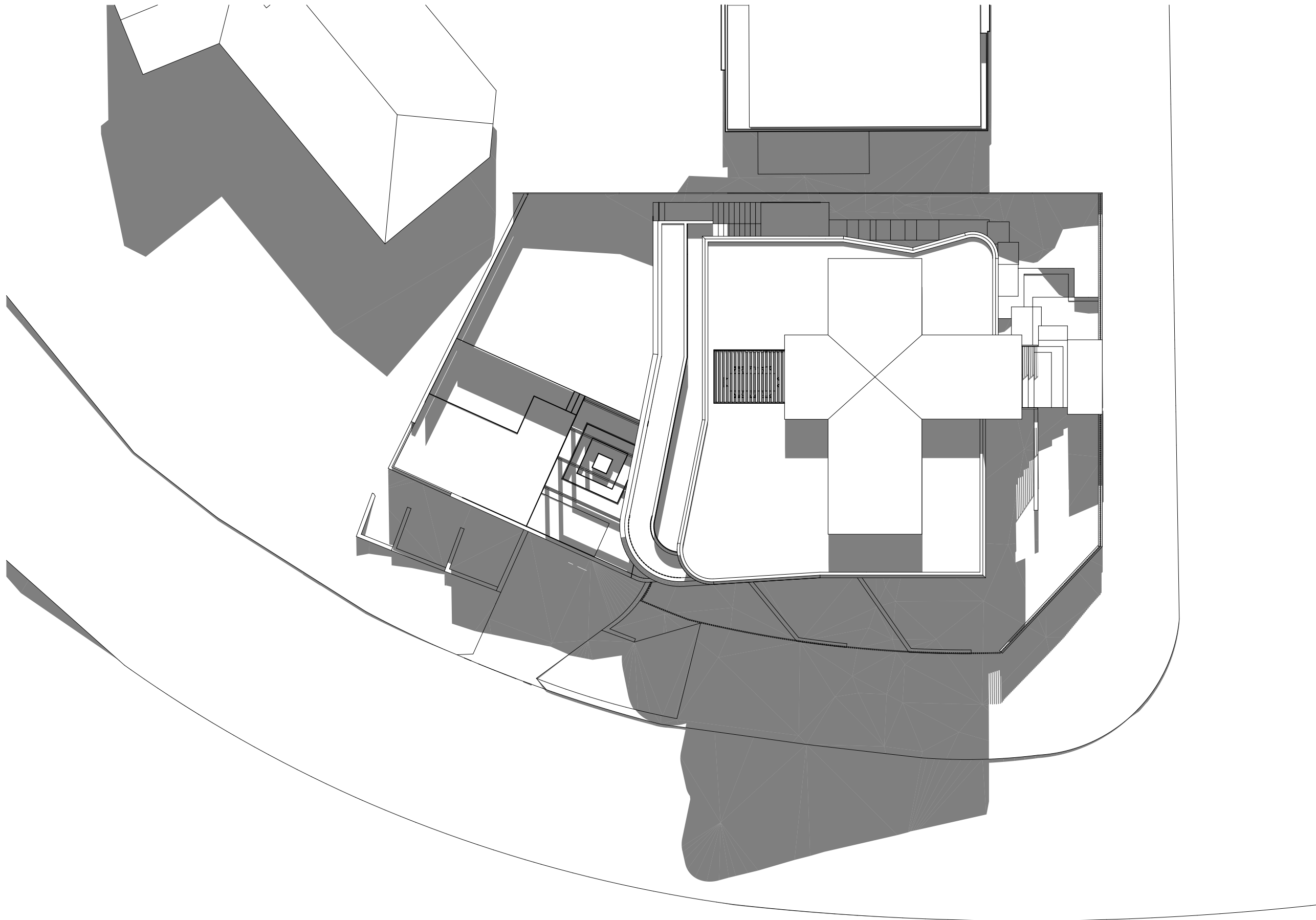
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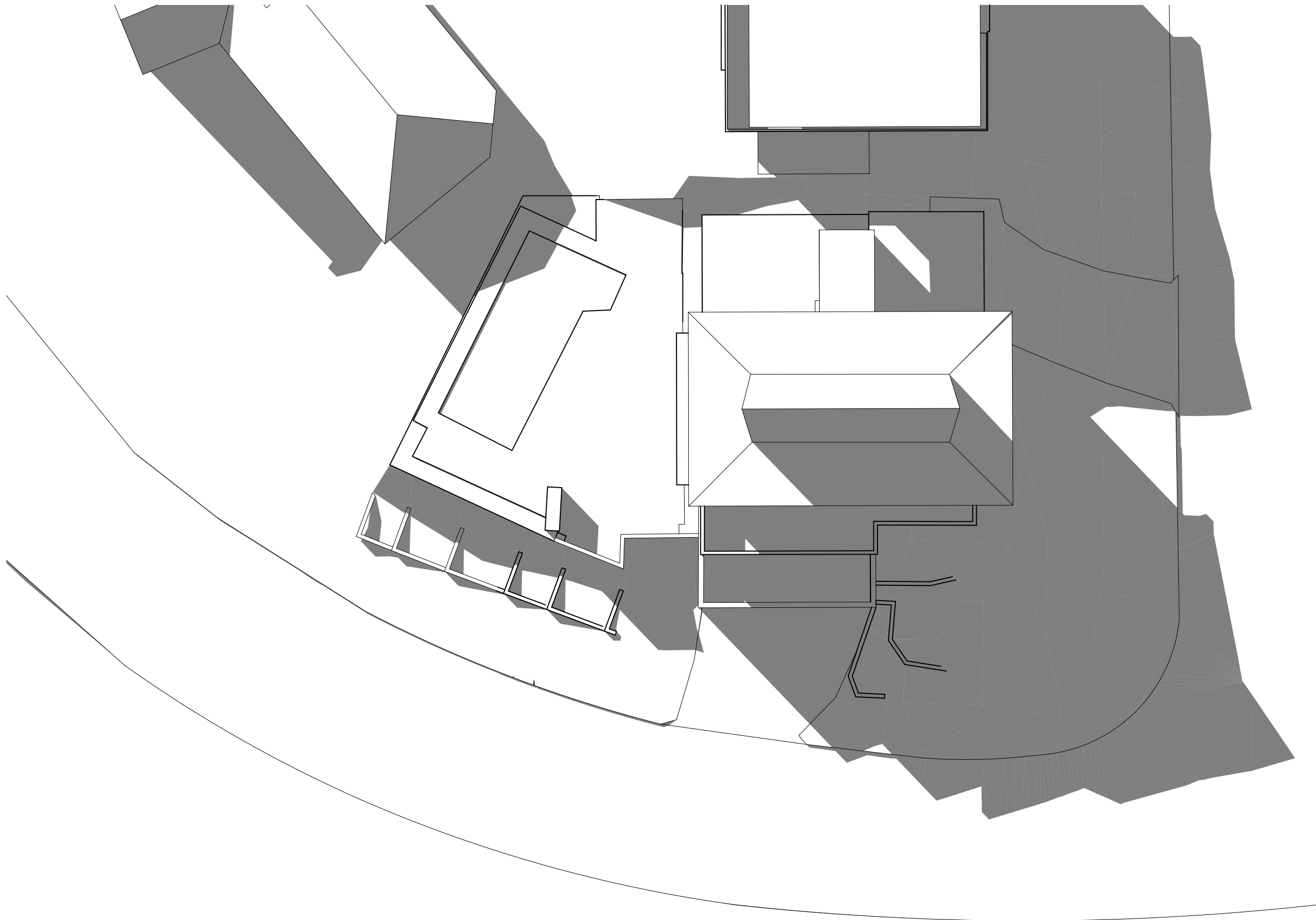
Shadows - 12pm - June 21 - Existing
1:200

| | | | | | | | |
|--|----------------|------|---------------|---|--|----------------------------|--|
|  | Revision | Date | Revision Note | Project: New Dwelling | Drawing: SHADOW DIAGRAMS - JUNE 21 - 12pm - EXISTING | |  |
| | General Notes: | | | Client: Kevin Mooney | Project #: MOO 0219 | Issue Type: DA01 | |
| | | | | Address: 1 Tabalum Rd, Balgowlah Heights Lot 20, Section 58, DP 758044 | Original Sheet Size: A3 | Issue Date: 20/01/2020 | Copyright © Sanctum Design Consultants PTY. LTD. A.B.N. 19 080 529 246 Principal: James Cooper. Member BDANSW Nominated Architect, Ian Bassett NSW Reg. No. 6987 |
| | | | | | Scale @ A3: 1:200 | Sheet #: A 20 | |
| | | | | | Chkd: | Drawn: | |

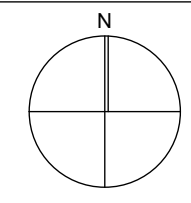


Shadows - 12pm - June 21 - Proposed
1:200

| | | | | | | |
|--|----------------|------|---------------|---|--|--|
| | Revision | Date | Revision Note | Project: New Dwelling | Drawing: SHADOW DIAGRAMS - JUNE 21 - 12pm - PROPOSED | |
| | General Notes: | | | Client: Kevin Mooney | Project #: MOO 0219 Issue Type: DA01 | |
| | | | | Address: 1 Tabalum Rd, Balgowlah Heights Lot 20, Section 58, DP 758044 | Original Sheet Size: A3 Issue Date: 20/01/2020 | Copyright © Sanctum Design Consultants PTY. LTD. A.B.N. 19 080 529 246 Principal: James Cooper. Member BDANSW Nominated Architect, Ian Bassett NSW Reg. No. 6987 |
| | | | | | Scale @ A3: 1:200 Sheet #: A 21 | |
| | | | | | Chkd: Drawn: | |



○ Shadows - 3pm - June 21 - Existing
1:200



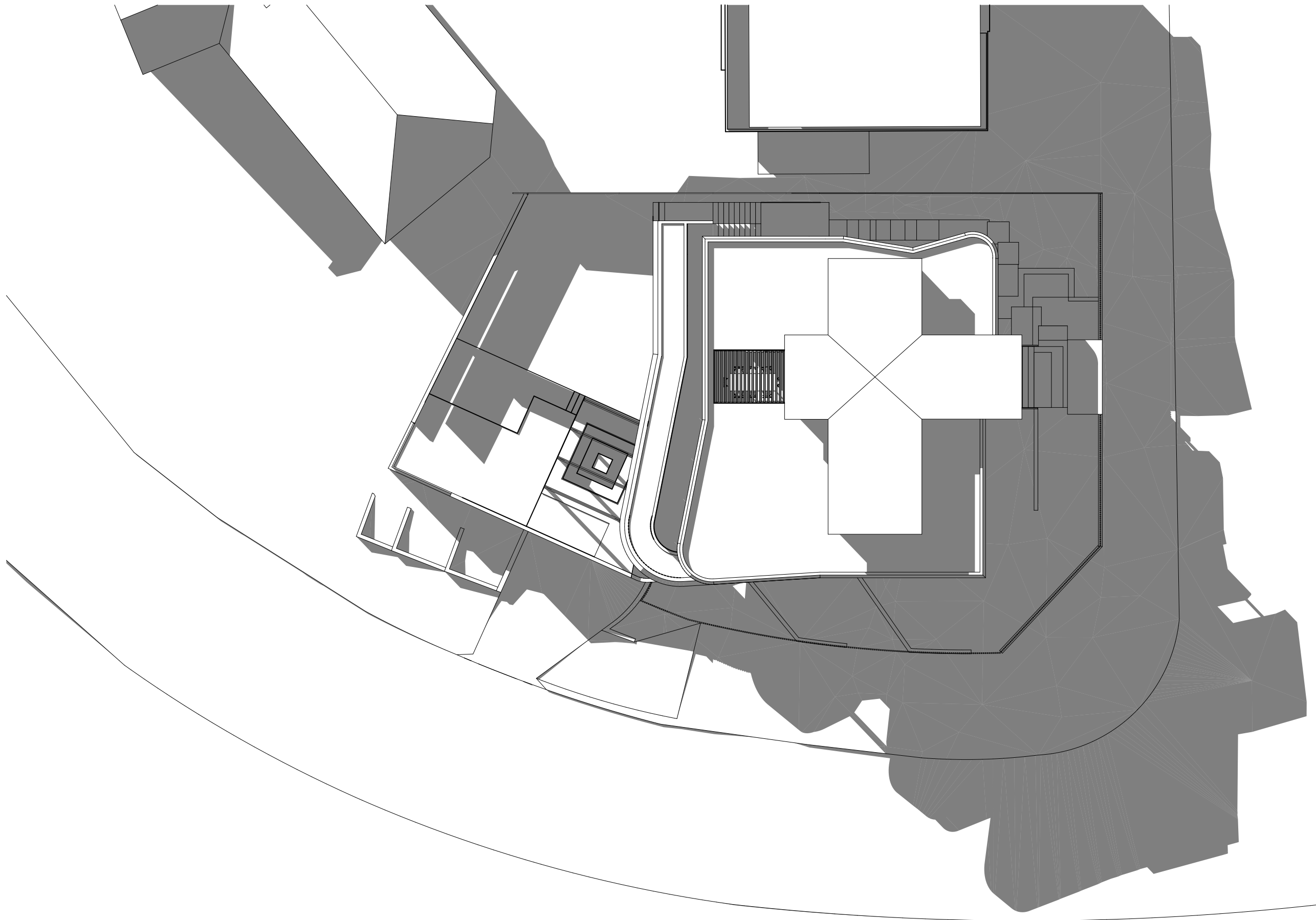
| Revision | Date | Revision Note |
|----------|------|---------------|
| | | |

General Notes:

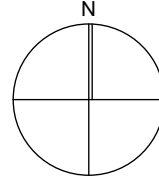

Project: **New Dwelling**
 Client: **Kevin Mooney**
 Address: **1 Tabalum Rd, Balgowlah Heights
 Lot 20, Section 58, DP 758044**

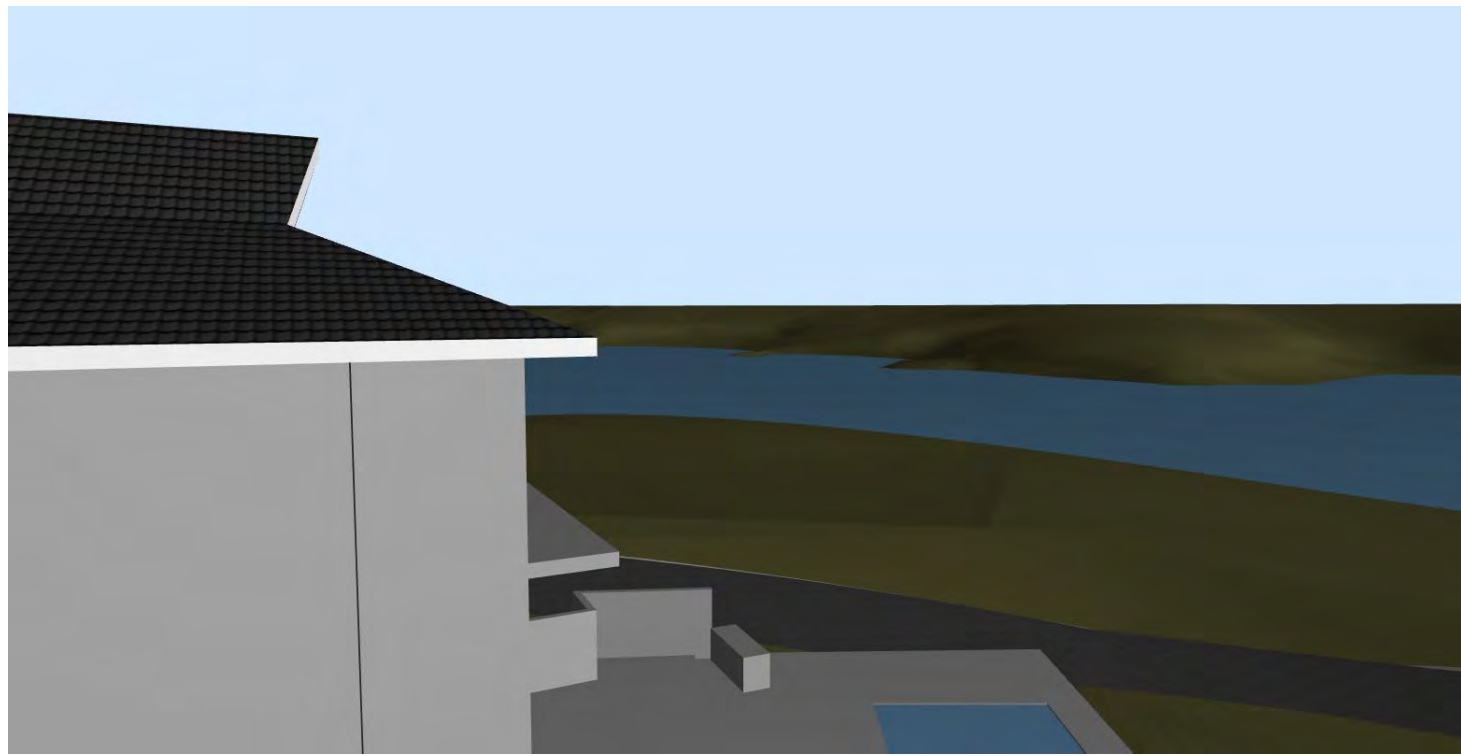
Drawing: **SHADOW DIAGRAMS - JUNE 21 - 3pm - EXISTING**
 Project #: **MOO 0219** Issue Type: **DA01**
 Original Sheet Size: **A3** Issue Date: **20/01/2020**
 Scale @ A3: **1:200** Sheet #: **A 22**
 Chkd: _____ Drawn: _____

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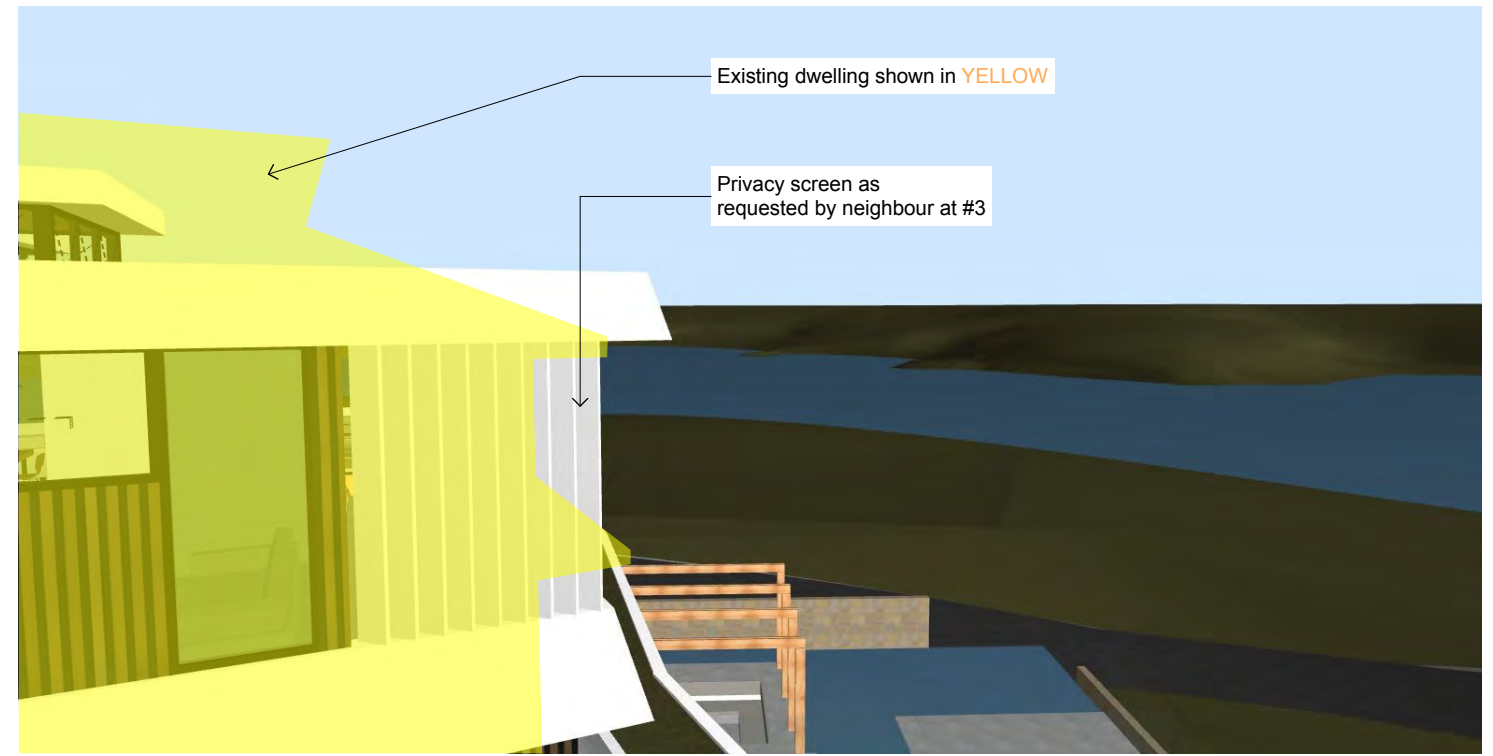


○ Shadows - 3pm - June 21 - Proposed
1:200

| | | | | | | |
|--|----------------|------|---------------|---|---|---|
|  | Revision | Date | Revision Note | Project: New Dwelling | Drawing: SHADOW DIAGRAMS - JUNE 21 - 3pm - PROPOSED |  |
| | General Notes: | | | Client: Kevin Mooney | Project #: MOO 0219 Issue Type: DA01 | |
| | | | | Address: 1 Tabalum Rd, Balgowlah Heights Lot 20, Section 58, DP 758044 | Original Sheet Size: A3 Issue Date: 20/01/2020 | Revision: |
| | | | | | Scale @ A3: 1:200 Sheet #: A 23 | |
| | | | | | Chkd: Drawn: | |



#3 Tabalum Rd - View South from Balcony - Existing



#3 Tabalum Rd - View South from Balcony - Proposed



#3 Tabalum Rd - Composite photo looking South from balcony

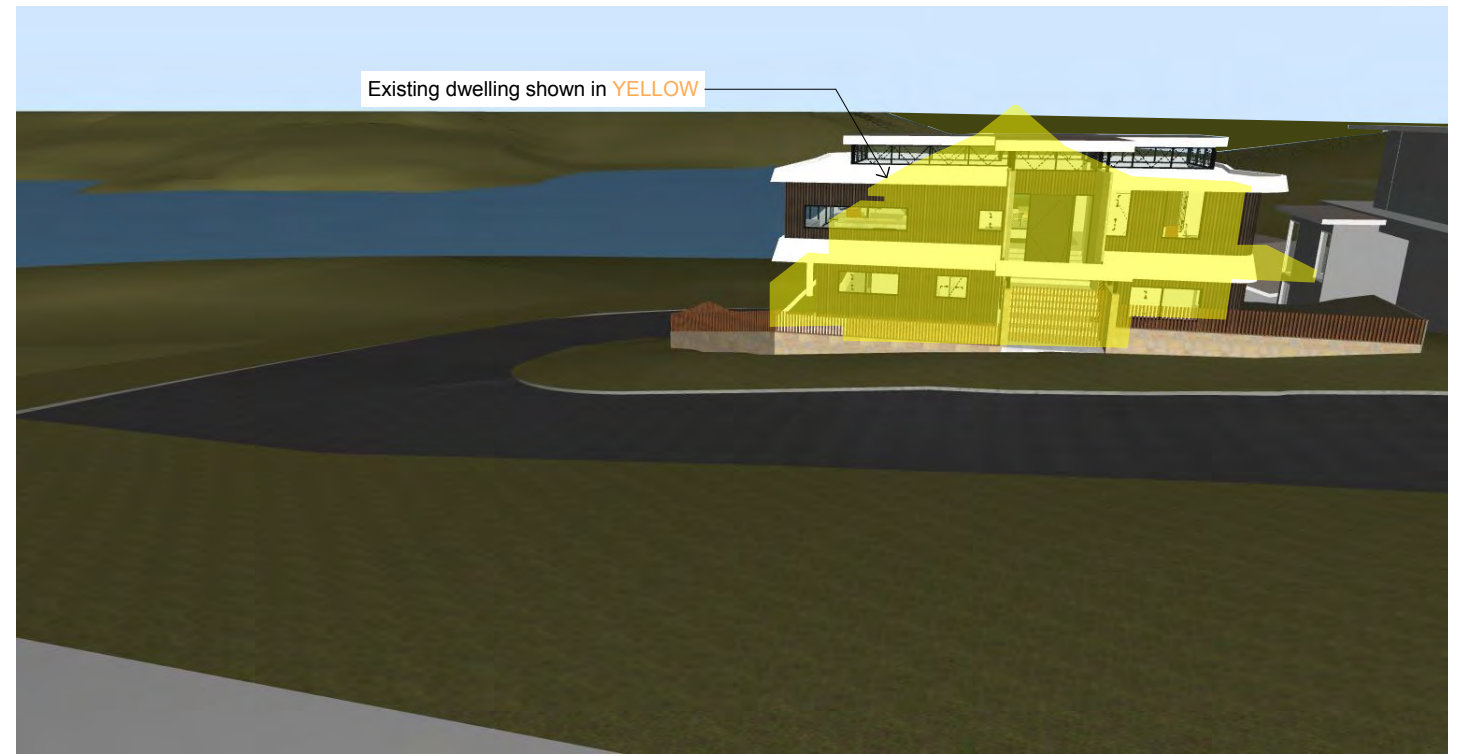


#3 Tabalum Rd - Composite photo looking South-West from balcony

| | | | | | | |
|----------------|--------------------------------|------------------------|----------------------------|--|---|---|
| | Revision | Date | Revision Note | Project: New Dwelling | Drawing: VIEW ANALYSIS FROM #3 TABALUM RD | |
| | Client: Kevin Mooney | Project #: MOO 0219 | Issue Type: DA01 | Address: 1 Tabalum Rd, Balgowlah Heights Lot 20, Section 58, DP 758044 | Original Sheet Size: A3 | |
| General Notes: | | | | Scale @ A3: | Sheet #: A 24 | Revision: |
| | | | | Chkd: | Drawn: | 209/40 Yeo Street (PO Box 277), Neutral Bay, NSW 2089 T (02) 9909 8844, F (02) 9909 8833, www.sanctumdesign.com.au Copyright © Sanctum Design Consultants PTY. LTD. A.B.N. 19 080 529 246 Principal: James Cooper. Member BDANSW Nominated Architect, Ian Bassett NSW Reg. No. 6987 |



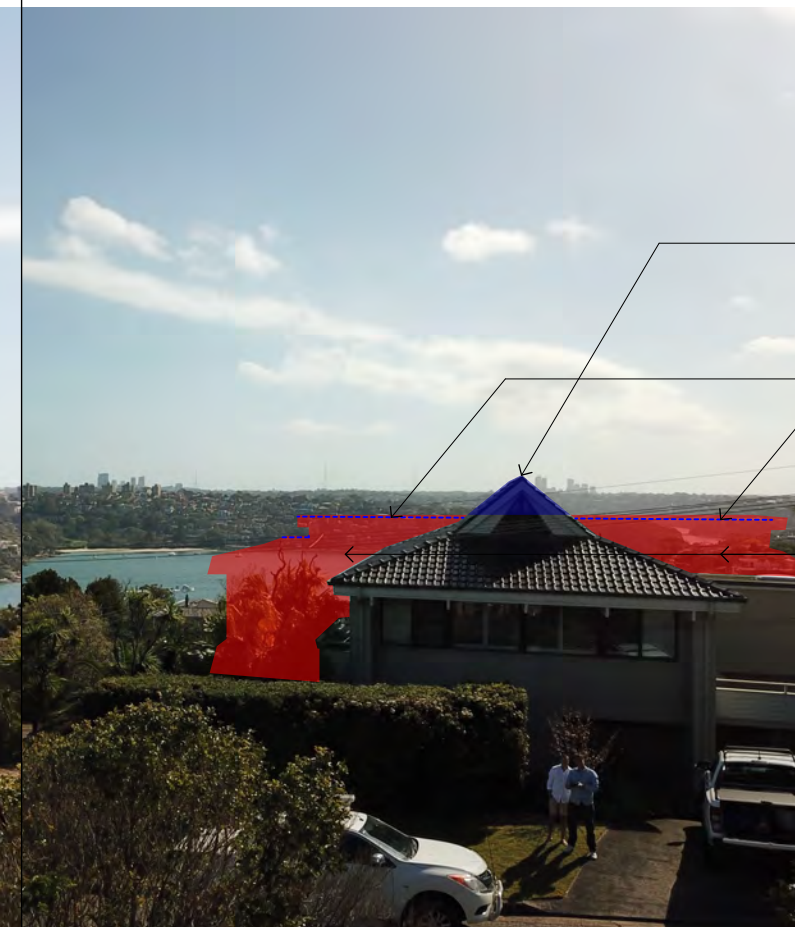
○ #2 Tabalum Rd - View West from Balcony - Existing



○ #2 Tabalum Rd - View West from Balcony - Proposed



○ #2 Tabalum Rd - Composite photo looking South-West from Window



○ #2 Tabalum Rd - Composite photo looking West from Window

Net view gain from proposed dwelling shown in **PURPLE**

8.5m height limit line shown in **BLUE**.
(See elevations and sections)
Area below the **BLUE** line complies with the 8.5m height limit

Net view loss (minor) from proposed dwelling shown in **RED**

NB. #2 Tabalum also has water views to the South/South-East from the Eastern side of the dwelling

| | | | | | | |
|--|--------------------------------|------------------------|----------------------------|---|---|--|
|  | Revision | Date | Revision Note | Project: New Dwelling | Drawing: VIEW ANALYSIS FROM #2 TABALUM RD |  |
| | Client: Kevin Mooney | Project #: MOO 0219 | Issue Type: DA01 | Address: 1 Tabalum Rd, Balgowlah Heights Lot 20, Section 58, DP 758044 | Original Sheet Size: A3 | |
| General Notes: | | | | Scale @ A3: | Sheet #: A 25 | Revision: |
| | | | | Chkd: | Drawn: | <small>209/40 Yeo Street (PO Box 277), Neutral Bay, NSW 2089 T (02) 9909 8844, F (02) 9909 8833, www.sanctumdesign.com.au Copyright © Sanctum Design Consultants PTY. LTD. A.B.N. 19 080 529 246 Principal: James Cooper. Member BDANSW Nominated Architect, Ian Bassett NSW Reg. No. 6987</small> |



○ #4 Tabalum Rd - View West from Living Room Window - Existing



○ #4 Tabalum Rd - View West from Living Room Window - Proposed

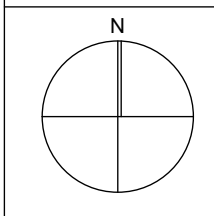


○ #4 Tabalum Rd - Composite photo looking South-West from Window

Net view gain from proposed dwelling shown in **PURPLE**

8.5m height limit line shown in **BLUE**.
(See elevations and sections)
Area below the **BLUE** line complies with the 8.5m height limit

Net view loss (minor) from proposed dwelling shown in **RED**



| Revision | Date | Revision Note |
|----------|------|---------------|
| | | |

General Notes:

Project: **New Dwelling**

Client: **Kevin Mooney**

Address: **1 Tabalum Rd, Balgowlah Heights
Lot 20, Section 58, DP 758044**

Drawing: **VIEW ANALYSIS FROM #4 TABALUM RD**

Project #: **MOO 0219** Issue Type: **DA01**

Original Sheet Size: **A3** Issue Date: **20/01/2020**

Scale @ A3: Sheet #: Revision:

Chkd: Drawn: **A 26**

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○ #6 Tabalum Rd - View West from Balcony - Existing



○ #6 Tabalum Rd - View West from Balcony - Proposed



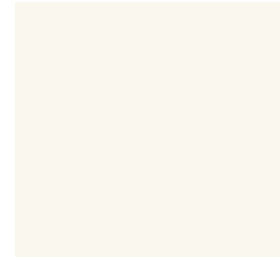


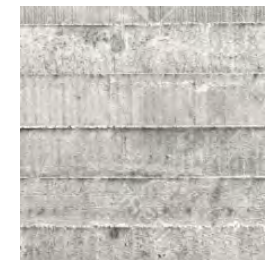



○ #6 Tabalum Rd - Composite photo looking South-West from Balcony

Net view gain from proposed dwelling shown in PURPLE

8.5m height limit line shown in BLUE.
(See elevations and sections)
Area below the BLUE line complies with the 8.5m height limit

Net view loss (minor) from proposed dwelling shown in RED

| | | | | | | |
|--|----------------|------|---------------|---------------------------------|---|--|
| | Revision | Date | Revision Note | Project: New Dwelling | Drawing: VIEW ANALYSIS FROM #6 TABALUM RD | |
| | General Notes: | | | Client: Kevin Mooney | Project #: MOO 0219 Issue Type: DA01 Original Sheet Size: A3 Issue Date: 20/01/2020 Scale @ A3: Sheet #: A 27 Chkd: Drawn: | |

| | | | |
|---|---|--|--|
| <p>RP Render and paint Painted Dulux 'Natural White'</p> |  | <p>TB Timber Battens</p> |  |
| <p>SC Sandstone cladding</p> |  | <p>BC Board-formed concrete</p> |  |
| <p>GB Glass balustrade</p> |  | <p>TF Timber batten fence</p> |  |
| <p>CS Cobblestone paving Stone TBC</p> |  | | |

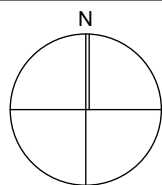
NOTE:
All colour selections shall be sampled and swatch tested on subject surface prior to final application. Colours represented on this schedule do NOT necessarily reflect true colours.

| WINDOW No | VIEW FROM OUTSIDE | TYPE | SIZE - W x H (mm) | HEAD (nom.) | UNIT AREA (m ²) | GLAZING TYPE | FRAME TYPE | WINDOW No | VIEW FROM OUTSIDE | TYPE | SIZE - W x H (mm) | HEAD (nom.) | UNIT AREA (m ²) | GLAZING TYPE | FRAME TYPE |
|-----------|-------------------|-------------------------------------|-------------------|-------------|-----------------------------|---|--|-----------|-------------------|--|-------------------|-------------|-----------------------------|---|--|
| W1.01 | | SLIDING DOOR | 4,000x2,700 | 2,700 | 10.80 | AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER | AS PER BASIX REQUIREMENTS. MATT BLACK. | W2.02b | | FIXED & SASHLESS DOUBLE HUNG (SILICON JOINT) | 2,300x1,950 | 2,700 | 4.49 | AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER | AS PER BASIX REQUIREMENTS. MATT BLACK. |
| W1.02a | | FIXED CORNER WINDOW (SILICON JOINT) | 1,800x2,700 | 2,700 | 4.86 | AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER | AS PER BASIX REQUIREMENTS. MATT BLACK. | W2.03 | | | 1,300x2,700 | | 3.51 | | |
| W1.02b | | FIXED CORNER WINDOW (SILICON JOINT) | 800x2,700 | 2,700 | 2.16 | AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER | AS PER BASIX REQUIREMENTS. MATT BLACK. | W2.03 | | | 3,100x2,700 | | 8.37 | | |
| W1.03 | | SLIDING DOOR | 2,400x2,700 | 2,700 | 6.48 | AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER | AS PER BASIX REQUIREMENTS. MATT BLACK. | W2.03 | | FIXED | 2,940x2,700 | 2,700 | 7.94 | AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER | AS PER BASIX REQUIREMENTS. MATT BLACK. |
| W2.01 | | SLIDING DOOR | 3,200x2,700 | 2,700 | 8.64 | AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER | AS PER BASIX REQUIREMENTS. MATT BLACK. | W2.04 | | HINGED DOOR | 900x2,700 | 2,700 | 2.43 | AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER | AS PER BASIX REQUIREMENTS. MATT BLACK. |
| W2.02a | | FIXED CORNER WINDOW (SILICON JOINT) | 800x1,950 | 2,700 | 1.56 | AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER | AS PER BASIX REQUIREMENTS. MATT BLACK. | W2.05a | | FIXED CORNER WINDOW (SILICON JOINT) | 800x2,700 | 2,700 | 2.16 | AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER | AS PER BASIX REQUIREMENTS. MATT BLACK. |

| | | | | | |
|----------------|----------|------|---------------|---|--------------------------------|
| | Revision | Date | Revision Note | Project: | Drawing: |
| | | | | New Dwelling | WINDOW SCHEDULE 1 |
| General Notes: | | | | Client: | Project #: |
| | | | | Kevin Mooney | MOO 0219 |
| | | | | Address: 1 Tabalum Rd, Balgowlah Heights Lot 20, Section 58, DP 758044 | Issue Type: DA01 |
| | | | | | Original Sheet Size: A3 |
| | | | | | Issue Date: 20/01/2020 |
| | | | | | Scale @ A3: _____ |
| | | | | | Sheet #: _____ |
| | | | | | Revision: _____ |
| | | | | Chkd: _____ | Drawn: _____ |
| | | | | | A 29 |

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Nominated Architect, Ian Bassett NSW Reg. No. 6987

| WINDOW No | VIEW FROM OUTSIDE | TYPE | SIZE - W x H (mm) | HEAD (nom.) | UNIT AREA (m ²) | GLAZING TYPE | FRAME TYPE | WINDOW No | VIEW FROM OUTSIDE | TYPE | SIZE - W x H (mm) | HEAD (nom.) | UNIT AREA (m ²) | GLAZING TYPE | FRAME TYPE |
|-----------|-------------------|-------------------------------------|-------------------|-------------|-----------------------------|---|--|-----------|-------------------|--|-------------------|-------------|-----------------------------|---|--|
| W2.06 | | SLIDING DOOR | 2,900x2,700 | 2,700 | 7.83 | AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER | AS PER BASIX REQUIREMENTS. MATT BLACK. | W2.11a | | FIXED (SILICON JOINT) | 1,590x2,100 | 2,700 | 3.34 | AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER | AS PER BASIX REQUIREMENTS. MATT BLACK. |
| W2.07a | | FIXED CORNER WINDOW (SILICON JOINT) | 800x2,700 | 2,700 | 2.16 | AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER | AS PER BASIX REQUIREMENTS. MATT BLACK. | W2.11b | | FIXED & SASHLESS DOUBLE HUNG (SILICON JOINT) | 2,400x2,100 | 2,700 | 5.04 | AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER | AS PER BASIX REQUIREMENTS. MATT BLACK. |
| W2.07b | | FIXED CORNER WINDOW (SILICON JOINT) | 800x2,700 | 2,700 | 2.16 | AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER | AS PER BASIX REQUIREMENTS. MATT BLACK. | W2.12 | | FIXED & SASHLESS DOUBLE HUNG | 2,400x900 | 2,400 | 2.16 | AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER | AS PER BASIX REQUIREMENTS. MATT BLACK. |
| W2.08 | | SASHLESS DOUBLE HUNG | 1,250x2,100 | 2,700 | 2.63 | AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER | AS PER BASIX REQUIREMENTS. MATT BLACK. | W2.13 | | SLIDING | 1,200x900 | 2,400 | 1.08 | AS PER BASIX REQUIREMENTS. FROSTED, TO BE CONFIRMED BY OWNER | AS PER BASIX REQUIREMENTS. MATT BLACK. |
| W2.09 | | SASHLESS DOUBLE HUNG | 1,250x2,100 | 2,700 | 2.63 | AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER | AS PER BASIX REQUIREMENTS. MATT BLACK. | W2.14 | | SLIDING | 1,730x1,000 | 2,400 | 1.73 | AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER | AS PER BASIX REQUIREMENTS. MATT BLACK. |
| W2.10 | | FIXED & SLIDING | 2,100x2,100 | 2,700 | 4.41 | AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER | AS PER BASIX REQUIREMENTS. MATT BLACK. | W2.15 | | FIXED & SASHLESS DOUBLE HUNG | 2,400x1,200 | 2,400 | 2.88 | AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER | AS PER BASIX REQUIREMENTS. MATT BLACK. |



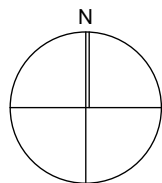
| Revision | Date | Revision Note |
|----------|------|---------------|
| | | |

General Notes:

Project: **New Dwelling**
Client: **Kevin Mooney**
Address: **1 Tabalum Rd, Balgowlah Heights Lot 20, Section 58, DP 758044**

Drawing: **WINDOW SCHEDULE 2**
Project #: **MOO 0219** Issue Type: **DA01**
Original Sheet Size: **A3** Issue Date: **20/01/2020**
Scale @ A3: _____ Sheet #: **Revision:**
Chkd: _____ Drawn: _____ **A 30**

| WINDOW No | VIEW FROM OUTSIDE | TYPE | SIZE - W x H (mm) | HEAD (nom.) | UNIT AREA (m ²) | GLAZING TYPE | FRAME TYPE | WINDOW No | VIEW FROM OUTSIDE | TYPE | SIZE - W x H (mm) | HEAD (nom.) | UNIT AREA (m ²) | GLAZING TYPE | FRAME TYPE |
|-----------|-------------------|----------------------|-------------------|-------------|-----------------------------|---|--|-----------|-------------------|----------------------|-------------------|-------------|-----------------------------|---|--|
| W2.16 | | SASHLESS DOUBLE HUNG | 2,500x1,200 | 2,400 | 3.00 | AS PER BASIX REQUIREMENTS. FROSTED, TO BE CONFIRMED BY OWNER | AS PER BASIX REQUIREMENTS. MATT BLACK. | W3.02 | | SLIDING | 8,050x2,700 | 2,700 | 21.74 | AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER | AS PER BASIX REQUIREMENTS. MATT BLACK. |
| W2.17 | | FIXED | 4,050x2,500 | | 10.12 | AS PER BASIX REQUIREMENTS. FROSTED, TO BE CONFIRMED BY OWNER | AS PER BASIX REQUIREMENTS. MATT BLACK. | W3.03 | | SLIDING | 7,936x2,700 | 2,700 | 21.43 | AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER | AS PER BASIX REQUIREMENTS. MATT BLACK. |
| W2.18 | | FIXED | 400x1,500 | 2,400 | 0.60 | AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER | AS PER BASIX REQUIREMENTS. MATT BLACK. | W3.04 | | SASHLESS DOUBLE HUNG | 1,125x1,800 | 2,700 | 2.03 | AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER | AS PER BASIX REQUIREMENTS. MATT BLACK. |
| W2.19 | | SLIDING | 2,080x500 | 2,400 | 1.04 | AS PER BASIX REQUIREMENTS. FROSTED, TO BE CONFIRMED BY OWNER | AS PER BASIX REQUIREMENTS. MATT BLACK. | W3.05 | | FIXED | 4,000x900 | 1,800 | 3.60 | AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER | AS PER BASIX REQUIREMENTS. MATT BLACK. |
| W2.20 | | SASHLESS DOUBLE HUNG | 2,400x1,200 | 2,400 | 2.88 | AS PER BASIX REQUIREMENTS. FROSTED, TO BE CONFIRMED BY OWNER | AS PER BASIX REQUIREMENTS. MATT BLACK. | W3.06 | | SASHLESS DOUBLE HUNG | 900x800 | 1,800 | 0.72 | AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER | AS PER BASIX REQUIREMENTS. MATT BLACK. |
| W3.01 | | FIXED | 3,030x2,700 | 2,700 | 8.18 | AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER | AS PER BASIX REQUIREMENTS. MATT BLACK. | W3.07 | | FIXED | 675x2,900 | 2,900 | 1.96 | AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER | AS PER BASIX REQUIREMENTS. MATT BLACK. |



| Revision | Date | Revision Note |
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| | | |

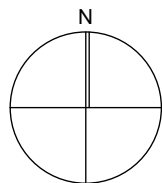
General Notes:

Project: **New Dwelling**
Client: **Kevin Mooney**
Address: **1 Tabalum Rd, Balgowlah Heights Lot 20, Section 58, DP 758044**

Drawing: **WINDOW SCHEDULE 3**
Project #: **MOO 0219** Issue Type: **DA01**
Original Sheet Size: **A3** Issue Date: **20/01/2020**
Scale @ A3: _____ Sheet #: _____ Revision: _____
Chkd: _____ Drawn: _____ **A 31**

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Principal: James Cooper. Member BDANSW
Nominated Architect, Ian Bassett NSW Reg. No. 6987

| WINDOW No | VIEW FROM OUTSIDE | TYPE | SIZE - W x H (mm) | HEAD (nom.) | UNIT AREA (m ²) | GLAZING TYPE | FRAME TYPE | WINDOW No | VIEW FROM OUTSIDE | TYPE | SIZE - W x H (mm) | HEAD (nom.) | UNIT AREA (m ²) | GLAZING TYPE | FRAME TYPE |
|-----------|-------------------|----------------------|-------------------|-------------|-----------------------------|---|--|-----------|-------------------|----------------------|-------------------|-------------|-----------------------------|---|--|
| W3.08 | | FIXED | 675x2,900 | 2,900 | 1.96 | AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER | AS PER BASIX REQUIREMENTS. MATT BLACK. | W3.14 | | SASHLESS DOUBLE HUNG | 2,500x900 | 2,700 | 2.25 | AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER | AS PER BASIX REQUIREMENTS. MATT BLACK. |
| W3.09 | | SASHLESS DOUBLE HUNG | 900x1,700 | 2,700 | 1.53 | AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER | AS PER BASIX REQUIREMENTS. MATT BLACK. | W3.15 | | L | 900x2,200 | 2,700 | 1.98 | AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER | AS PER BASIX REQUIREMENTS. MATT BLACK. |
| W3.10 | | SASHLESS DOUBLE HUNG | 1,250x1,700 | 2,700 | 2.13 | AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER | AS PER BASIX REQUIREMENTS. MATT BLACK. | W3.16 | | SLIDING | 3,800x2,700 | 2,700 | 10.26 | AS PER BASIX REQUIREMENTS. FROSTED, TO BE CONFIRMED BY OWNER | AS PER BASIX REQUIREMENTS. MATT BLACK. |
| W3.11 | | SASHLESS DOUBLE HUNG | 2,500x900 | 2,700 | 2.25 | AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER | AS PER BASIX REQUIREMENTS. MATT BLACK. | W4.01 | | AWNING | 2,950x800 | Ceiling | 2.36 | AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER | AS PER BASIX REQUIREMENTS. MATT BLACK. |
| W3.12 | | FIXED | 4,050x2,750 | 2,700 | 11.14 | AS PER BASIX REQUIREMENTS. FROSTED, TO BE CONFIRMED BY OWNER | AS PER BASIX REQUIREMENTS. MATT BLACK. | W4.02 | | AWNING | 2,600x800 | Ceiling | 2.08 | AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER | AS PER BASIX REQUIREMENTS. MATT BLACK. |
| W3.13 | | LOUVRE | 900x2,200 | 2,700 | 1.98 | AS PER BASIX REQUIREMENTS. FROSTED, TO BE CONFIRMED BY OWNER | AS PER BASIX REQUIREMENTS. MATT BLACK. | W4.03 | | AWNING | 4,150x800 | Ceiling | 3.32 | AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER | AS PER BASIX REQUIREMENTS. MATT BLACK. |



| Revision | Date | Revision Note |
|----------|------|---------------|
| | | |

General Notes:

Project: **New Dwelling**

Client: **Kevin Mooney**

Address: **1 Tabalum Rd, Balgowlah Heights Lot 20, Section 58, DP 758044**

Drawing: **WINDOW SCHEDULE 4**

Project #: **MOO 0219** Issue Type: **DA01**

Original Sheet Size: **A3** Issue Date: **20/01/2020**

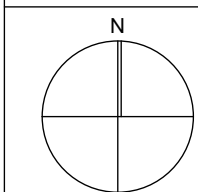
Scale @ A3: _____ Sheet #: **Revision:**

Chkd: _____ Drawn: **A 32**



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Principal: James Cooper. Member BDANSW
Nominated Architect, Ian Bassett NSW Reg. No. 6987

| WINDOW No | VIEW FROM OUTSIDE | TYPE | SIZE - W x H (mm) | HEAD (nom.) | UNIT AREA (m ²) | GLAZING TYPE | FRAME TYPE | WINDOW No | VIEW FROM OUTSIDE | TYPE | SIZE - W x H (mm) | HEAD (nom.) | UNIT AREA (m ²) | GLAZING TYPE | FRAME TYPE |
|-----------|-------------------|--------|-------------------|-------------|-----------------------------|---|--|-----------|-------------------|--------|-------------------|-------------|-----------------------------|---|--|
| W4.04 | | AWNING | 4,050x800 | Ceiling | 3.24 | AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER | AS PER BASIX REQUIREMENTS. MATT BLACK. | W4.10 | | AWNING | 4,050x800 | Ceiling | 3.24 | AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER | AS PER BASIX REQUIREMENTS. MATT BLACK. |
| W4.05 | | AWNING | 3,850x800 | Ceiling | 3.08 | AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER | AS PER BASIX REQUIREMENTS. MATT BLACK. | W4.11 | | AWNING | 6,150x800 | Ceiling | 4.92 | AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER | AS PER BASIX REQUIREMENTS. MATT BLACK. |
| W4.06 | | AWNING | 1,950x800 | Ceiling | 1.56 | AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER | AS PER BASIX REQUIREMENTS. MATT BLACK. | W4.12 | | AWNING | 2,600x800 | Ceiling | 2.08 | AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER | AS PER BASIX REQUIREMENTS. MATT BLACK. |
| W4.07 | | AWNING | 3,550x800 | Ceiling | 2.84 | AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER | AS PER BASIX REQUIREMENTS. MATT BLACK. | | | | | | | | |
| W4.08 | | AWNING | 1,950x800 | Ceiling | 1.56 | AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER | AS PER BASIX REQUIREMENTS. MATT BLACK. | | | | | | | | |
| W4.09 | | AWNING | 5,850x800 | Ceiling | 4.68 | AS PER BASIX REQUIREMENTS. CLEAR OR NEUTRAL, TO BE CONFIRMED BY OWNER | AS PER BASIX REQUIREMENTS. MATT BLACK. | | | | | | | | |



| Revision | Date | Revision Note |
|----------|------|---------------|
| | | |

General Notes:

Project: **New Dwelling**
Client: **Kevin Mooney**
Address: **1 Tabalum Rd, Balgowlah Heights Lot 20, Section 58, DP 758044**

Drawing: **WINDOW SCHEDULE 5**
Project #: **MOO 0219** Issue Type: **DA01**
Original Sheet Size: **A3** Issue Date: **20/01/2020**
Scale @ A3: _____ Sheet #: _____
Chkd: _____ Drawn: _____ **A 33**

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Principal: James Cooper. Member BDANSW
Nominated Architect, Ian Bassett NSW Reg. No. 6987

NatHERS Thermal Comfort & BASIX Inclusions - 1 Tabalum Road, Balgowlah Heights

Glazing Doors/Windows

Aluminium frame double performance glazing:

U-value: 2.90 (equal to or lower than) SHGC: 0.51 (±10%)

Given values are AFRC total window system values (glass and frame)

Roof

Concrete with R1.0 external insulation

External Colour

Light (SA<0.475)

Ceiling

Plasterboard ceiling with R4.5 insulation (insulation only value) to soffit of concrete where roof is over

Plasterboard ceiling with R2.5 insulation (insulation only value) to soffit of concrete where balcony is over

Plasterboard ceiling with an R2.5 to garage ceiling where habitable rooms above

Ceiling Penetrations

1 sealed LED light per 4m² of ceiling area

External Wall

Concrete walls with R2.5 insulation (insulation only value) plasterboard lined

External Colour

Light (SA<0.475)

Walls within dwellings

Concrete

Floors

Concrete slab on ground with a minimum R2.5 insulation (insulation only value)

Suspended concrete with a minimum R3.0 insulation (insulation only value)

Concrete between levels, no insulation required

Floor coverings

Timber to bedrooms and tiles elsewhere

Alternative water

Tank size: 5,000L

Collecting from 200m² roof area

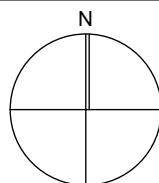
Connected to outdoor tap for irrigation of landscaping

Alternative Energy

Solar Photovoltaic system minimum of 5.0 peak KW

Hot water system

5 star gas instantaneous



Revision

Date

Revision Note

Project:

New Dwelling

Client:

Kevin Mooney

Address: **1 Tabalum Rd, Balgowlah Heights
Lot 20, Section 58, DP 758044**

Drawing:

THERMAL COMFORT INCLUSIONS

Project #:

MOO 0219

Issue Type:

DA01

Original Sheet Size:

A3

Issue Date:

20/01/2020

Scale @ A3:

Sheet #:

Revision:

Chkd:

Drawn:

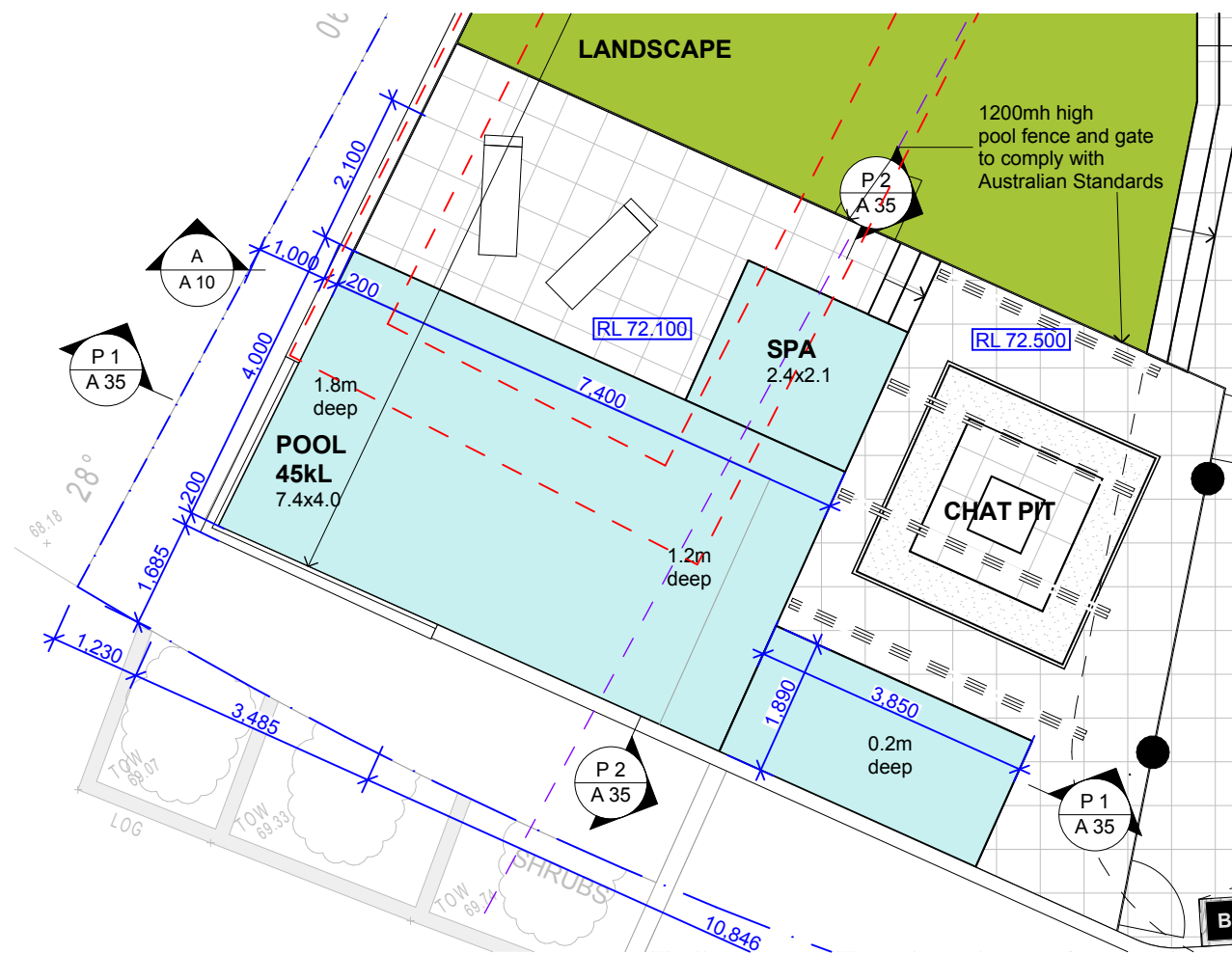
A 34

General Notes:

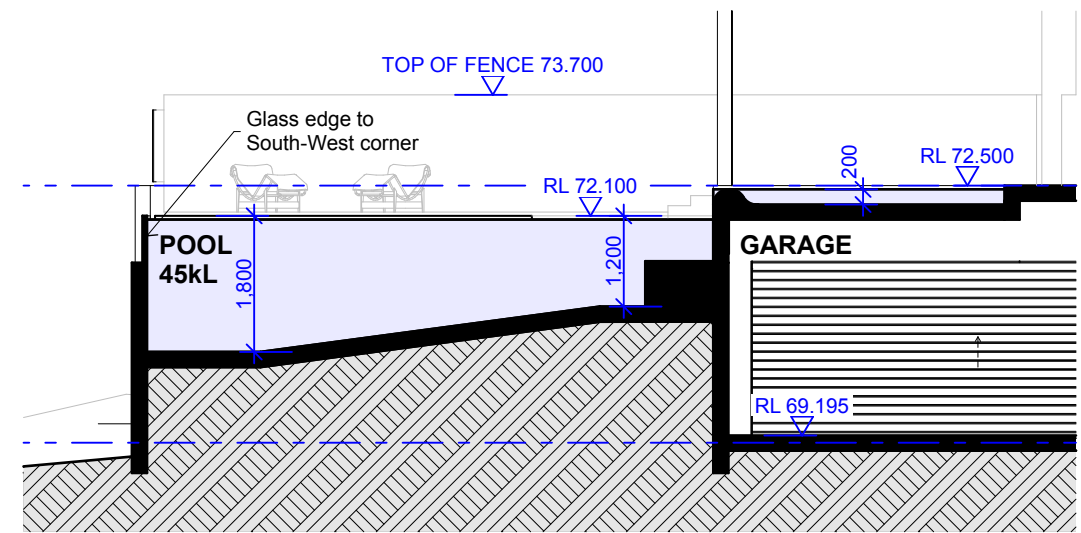


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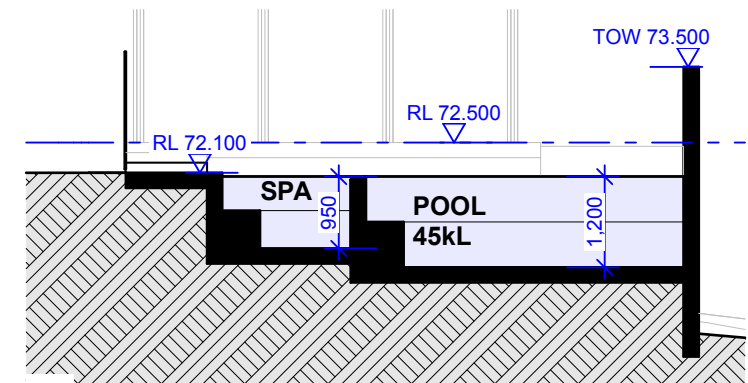
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Principal: James Cooper. Member BDANSW
Nominated Architect, Ian Bassett NSW Reg. No. 6987



POOL PLAN
1:100

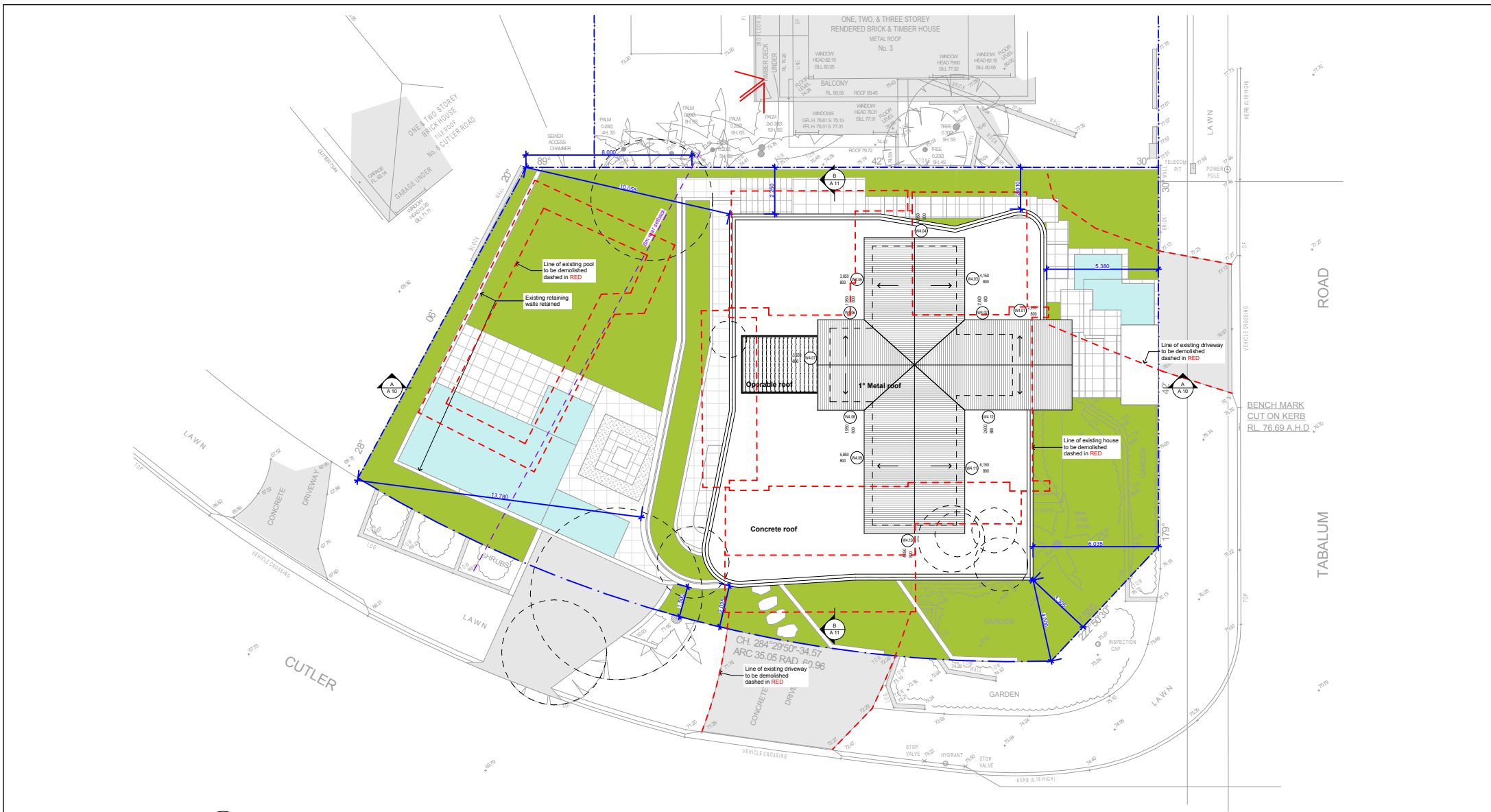


POOL SECTION 1
1:100



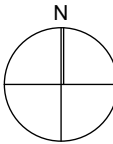

POOL SECTION 2
1:100

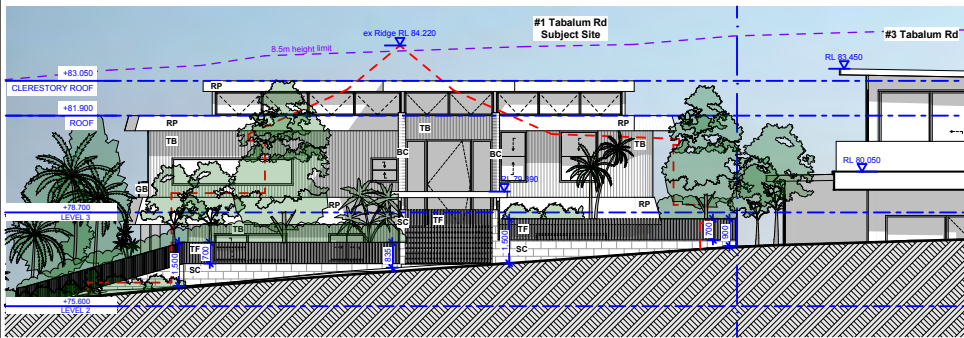
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|----------------|----------|------|--|--|---|
| | Revision | Date | Revision Note | Project: New Dwelling | Drawing: POOL DETAILS |
| | | | | Client: Kevin Mooney | Project #: MOO 0219 Issue Type: DA01 |
| General Notes: | | | Address: 1 Tabalum Rd, Balgowlah Heights Lot 20, Section 58, DP 758044 | Original Sheet Size: A3 Issue Date: 20/01/2020 | Scale @ A3: 1:100 Sheet #: A 35 |
| | | | | Chkd: | Drawn: A 35 |
| | | | | <p>209/40 Yeo Street (PO Box 277), Neutral Bay, NSW 2089 T (02) 9909 8844, F (02) 9909 8833, www.sanctumdesign.com.au Copyright © Sanctum Design Consultants PTY. LTD. A.B.N. 19 080 529 246 Principal: James Cooper. Member BDANSW Nominated Architect, Ian Bassett NSW Reg. No. 6987</p> | |



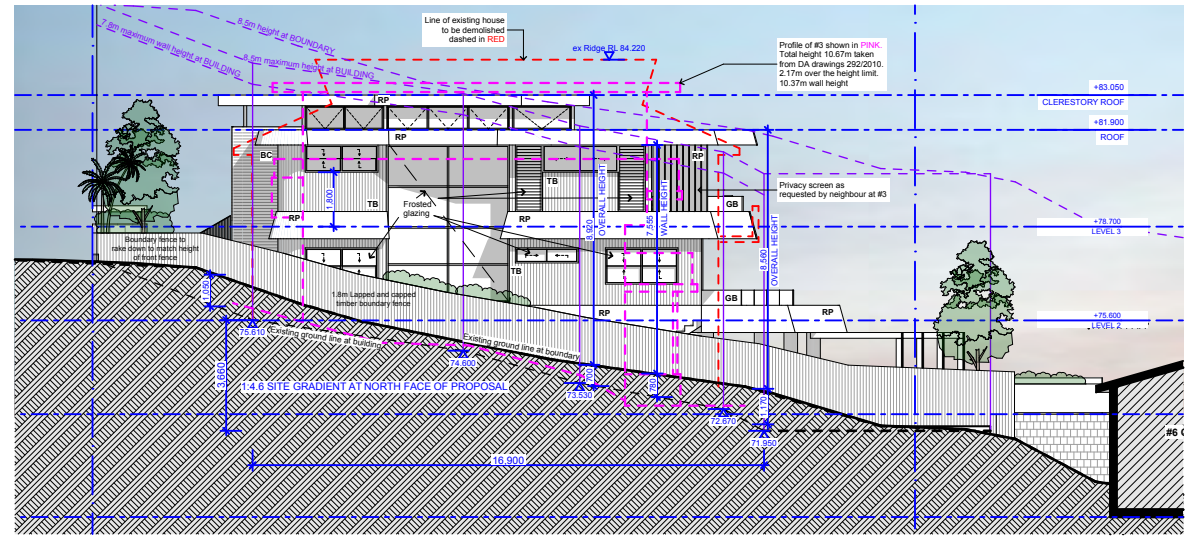
SITE PLAN
1:250



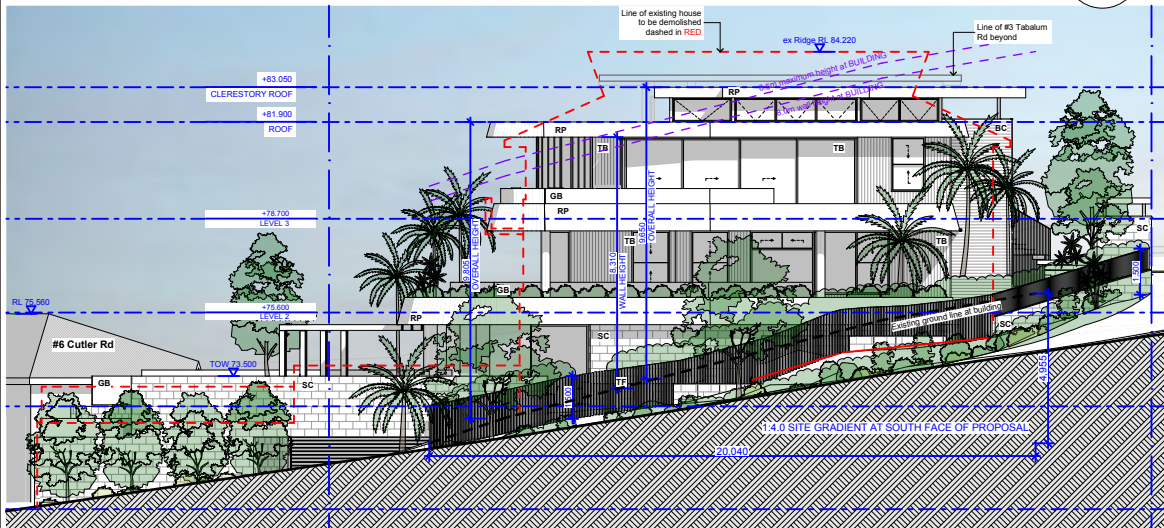
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|  | Revision Date Revision Note | Project: New Dwelling | Drawing: NOTIFICATION PLAN |  |
| | Client: Kevin Mooney | Project #: MOO 0219 Issue Type: DA01 | Original Sheet Size: A3 Issue Date: 28/01/2020 | |
| General Notes: | Address: 1 Tabalum Rd, Balgowlah Heights Lot 20, Section 58, DP 758044 | Scale @ A3: 1:250 Sheet #: A 36 | Revision: A 36 | Copyright © Sanctum Design Consultants PTY. LTD. A.B.N. 19 080 529 246 Principal: James Cooper. Member BDANSW Nominated Architect, Ian Bassett NSW Reg. No. 6987 |



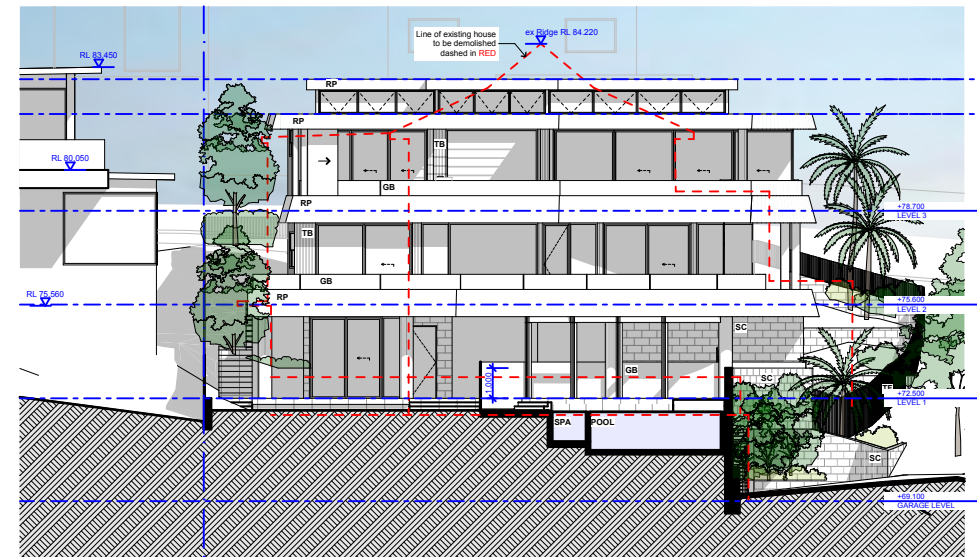
EAST (TABALUM RD STREETSCAPE) ELEVATION
1:250



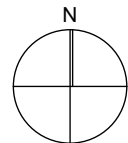
NORTH ELEVATION
1:250



SOUTH (CUTLER RD STREETSCAPE) ELEVATION
1:250



WEST ELEVATION
1:250



Revision Date Revision Note

Project:

New Dwelling

Drawing:

NOTIFICATION PLAN

Client:

Kevin Mooney

Project #:

MOO 0219

Issue Type:

DA01

Original Sheet Size:

A3

Issue Date:

28/01/2020

General Notes:

Address:

**1 Tabalum Rd, Balgowlah Heights
Lot 20, Section 58, DP 758044**

Scale @ A3:

1:250

Sheet #:

A 37

Revision:

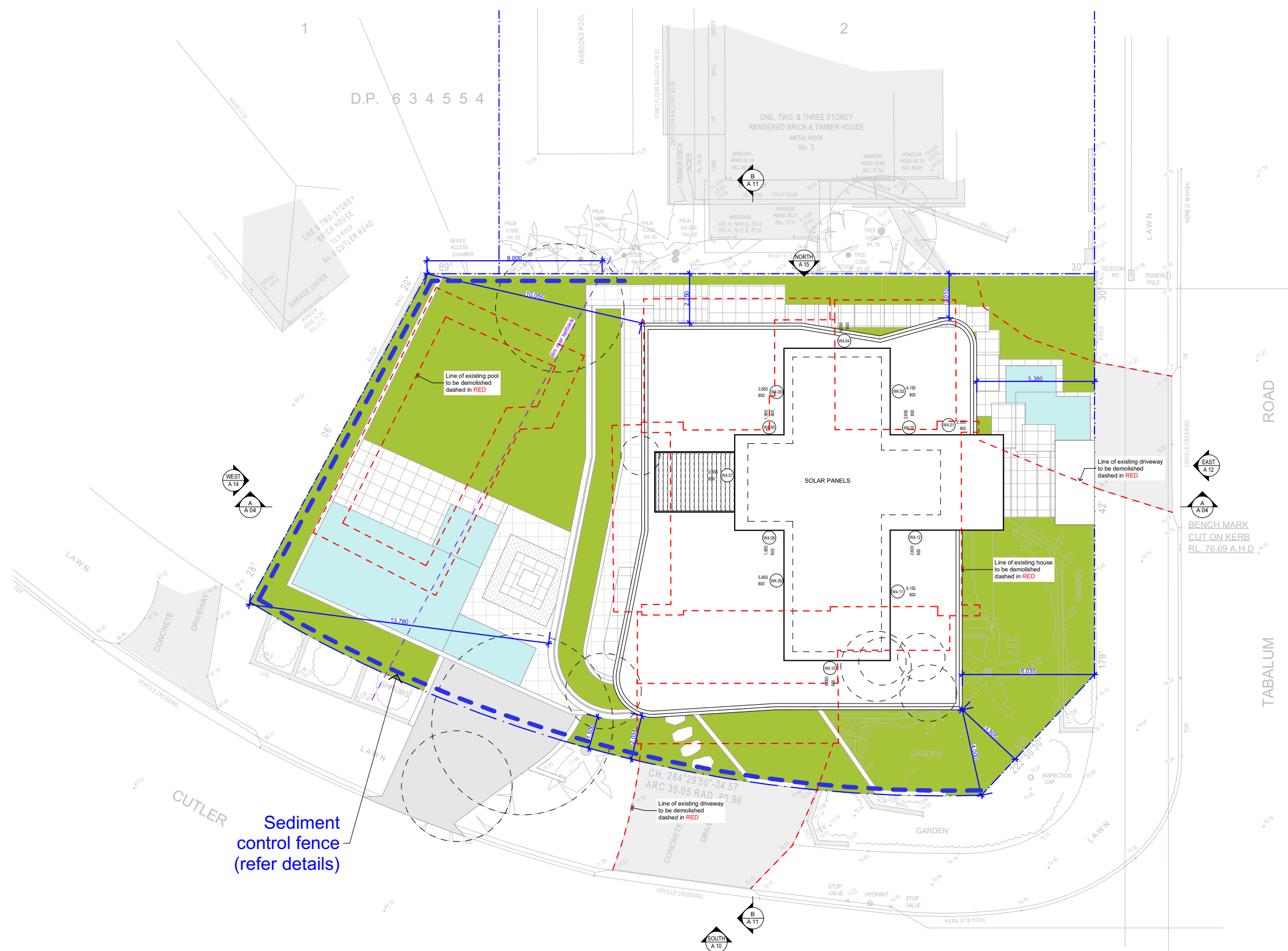
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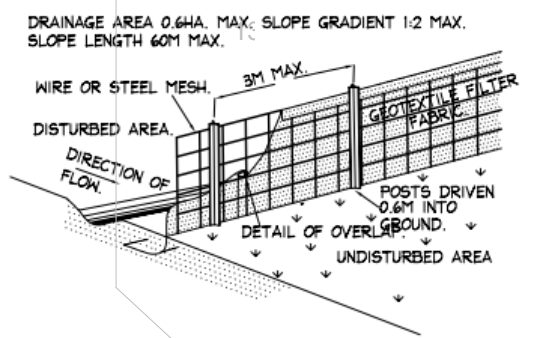
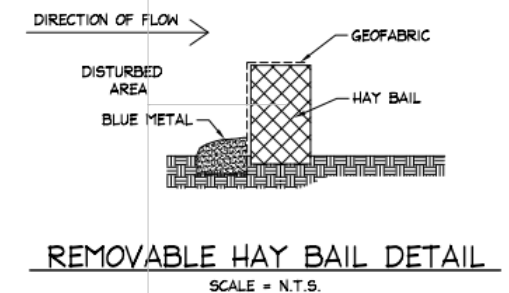
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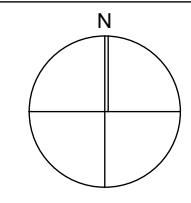


EROSION AND SEDIMENT CONTROL PLAN
1:200



SEDIMENT FENCE
CONSTRUCTION NOTES:
CONSTRUCT SEDIMENT FENCE AS CLOSE AS POSSIBLE TO PARALLEL TO THE CONTOURS OF THE SITE.
DRIVE 1.5 METRE LONG STAR PICKETS INTO GROUND, 3 METRES APART.
DIG A 150mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
BACKFILL TRENCH OVER BASE OF FABRIC.
FIX SELF-SUPPORTING GEOTEXTILE TO UPSLOPE SIDE OF POSTS WITH WIRE TIES OR AS RECOMMENDED BY GEOTEXTILE MANUFACTURER.
JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 150mm OVERLAP.

- SEDIMENT CONTROL:**
1. INSTALL SEDIMENT CONTROL STRUCTURES IN LOCATIONS INDICATED ON DRAWINGS AND AS OTHERWISE REQUIRED TO CONTROL SEDIMENT DURING ALL EXCAVATIONS AND WHILST AREAS OF THE SITE ARE EXPOSED TO EROSION.
 2. CONTROL STRUCTURES TO BE AS DETAILED OR AS OTHERWISE REQUIRED BY CERTIFYING AUTHORITY.
 3. REVIEW CONTROL MEASURES AND MAINTAIN STRUCTURES DURING CONSTRUCTION.
 4. IF ADDITIONAL MEASURES ARE REQUIRED FOR EROSION CONTROL OR BY COUNCIL REQUIREMENTS REFER TO 'URBAN EROSION AND SEDIMENT CONTROL' GUIDELINES PREPARED BY THE DEPARTMENT OF CONSERVATION AND LAND MANAGEMENT.



| Revision | Date | Revision Note |
|----------|------|---------------|
| | | |

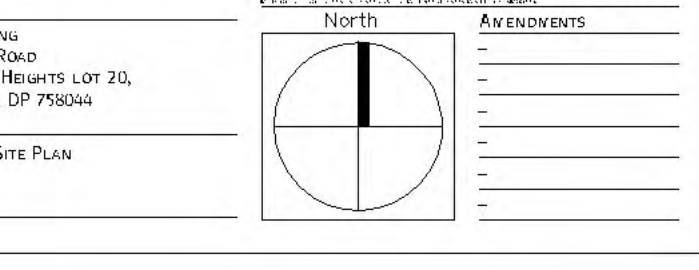
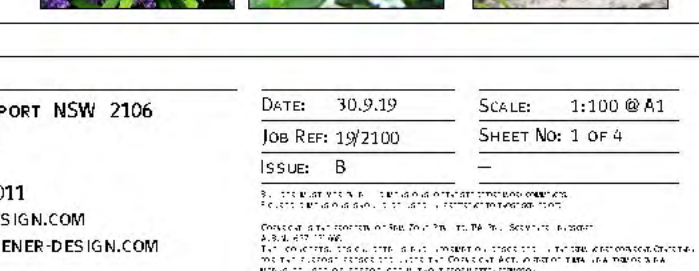
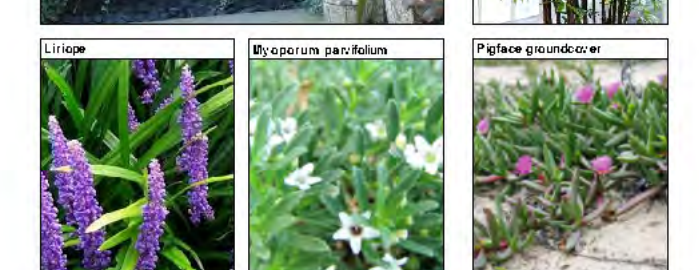
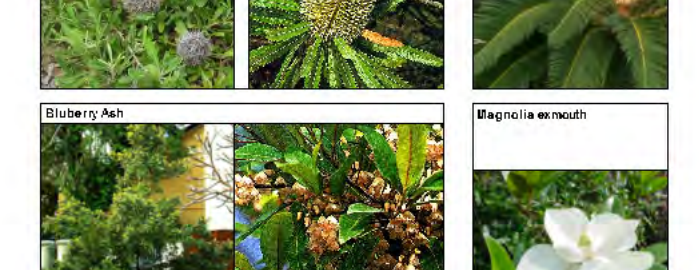
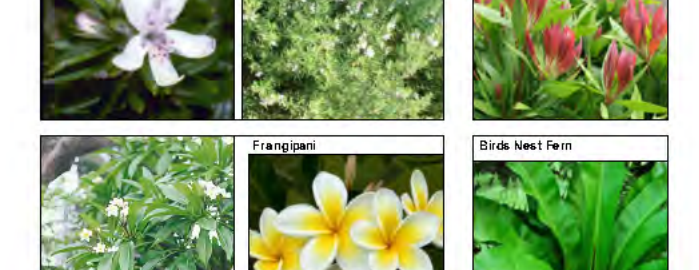
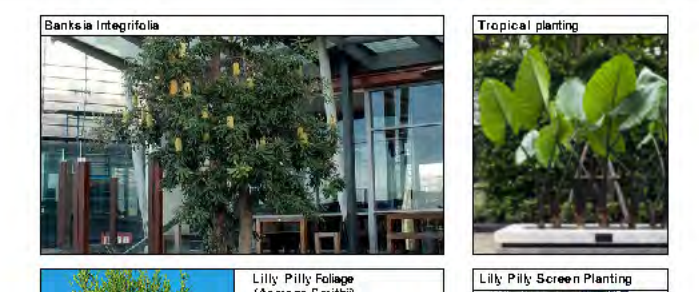
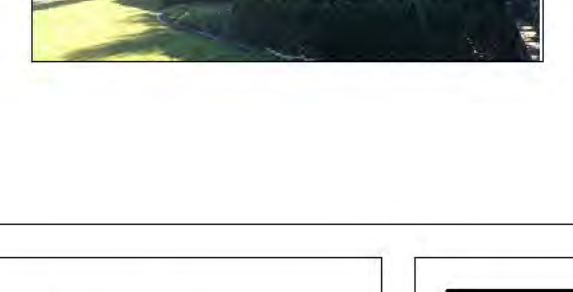
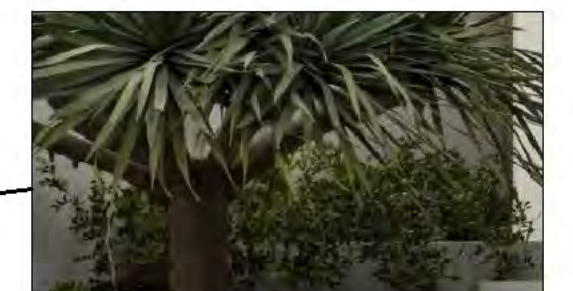
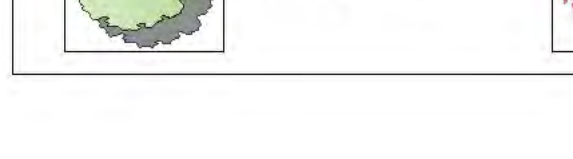
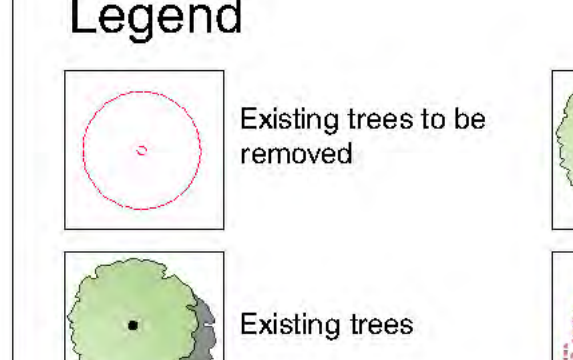
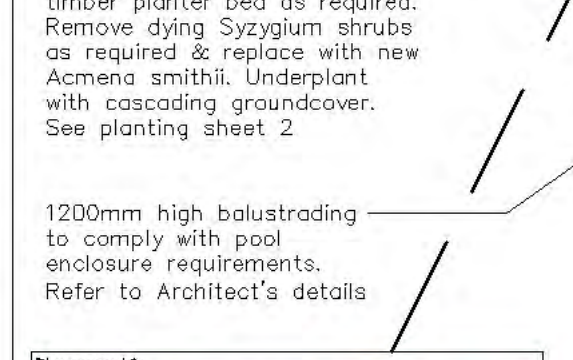
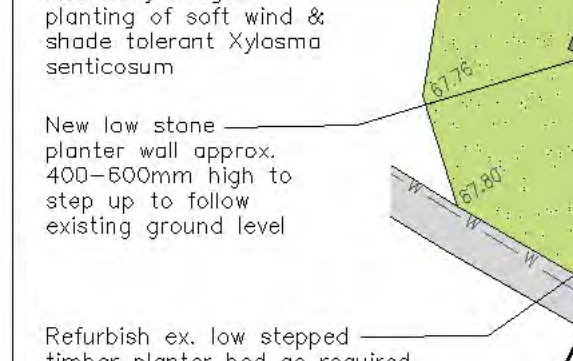
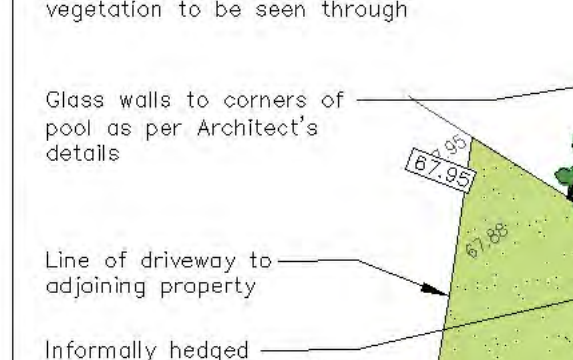
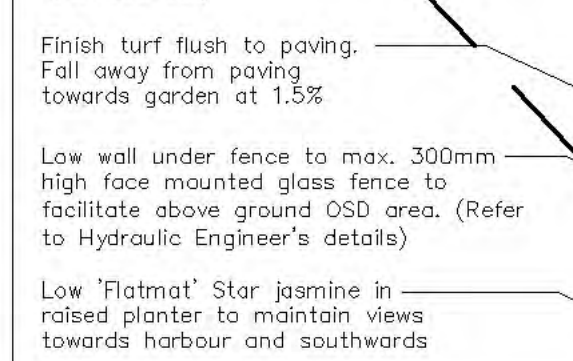
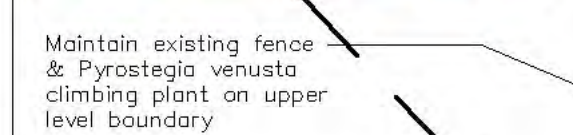
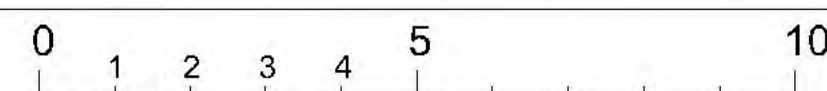
General Notes:

Project: **New Dwelling**
Client: **Kevin Mooney**
Address: **1 Tabalum Rd, Balgowlah Heights Lot 20, Section 58, DP 758044**

Drawing: **EROSION AND SEDIMENT CONTROL PLAN**
Project #: **MOO 0219** Issue Type: **DD01**
Original Sheet Size: **A3** Issue Date: **26/09/2019**
Scale @ A3: **1:200** Sheet #: Revision:
Chkd: Drawn: **A37**

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Principal: James Cooper. Member BDANSW
Nominated Architect, Ian Bassett NSW Reg. No. 6987

Landscape site plan 1:100 @ A1



Legend

| | | | | | | | |
|------------------------------|--------------------------|---------------------------------|----------------------------------|---------------------------------|--|--------------------|--------------------|
| Existing trees to be removed | Proposed evergreen trees | Palm | Strappy leaved understory plants | Low shrubs / ornamental grasses | Concrete stepping stones in garden bed | Balustrading/fence | Concrete |
| Existing trees | Proposed Deciduous tree | Tropical planting/ large leaves | Tree Ferns | Screen plants | Flagstones in garden | Water | Proposed levels |
| | | | | Private open paving | Lawn areas | Walls | Survey layer under |
| | | | | Common open paving | Timber decking / seating | Stone clad walls | |

Drawing schedule
 Sheet 1: Site plan
 Sheet 2: Elevations & detail plan
 Sheet 3: Planting plan and details
 Sheet 4: Soil & landscape areas

PAUL SCRIVENER LANDSCAPE ARCHITECTURE

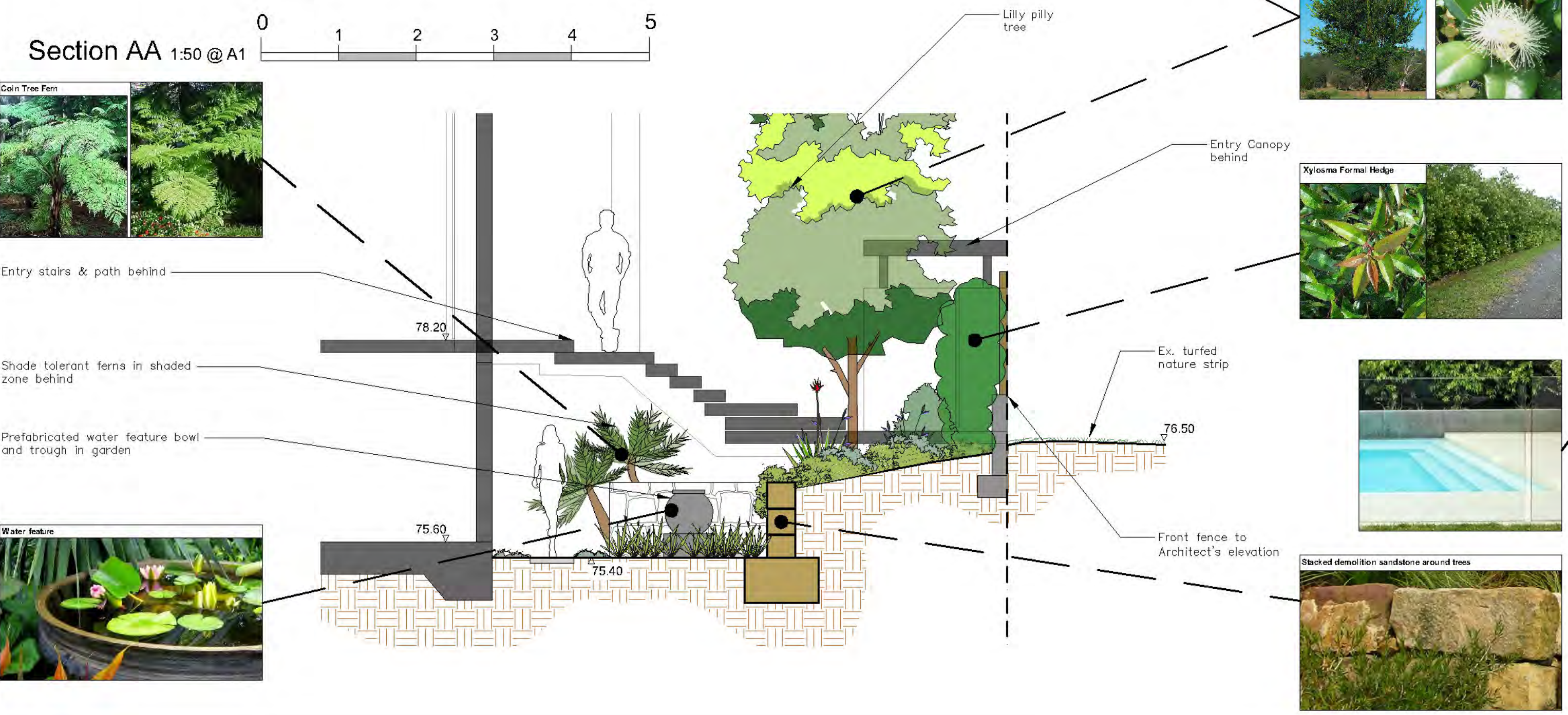
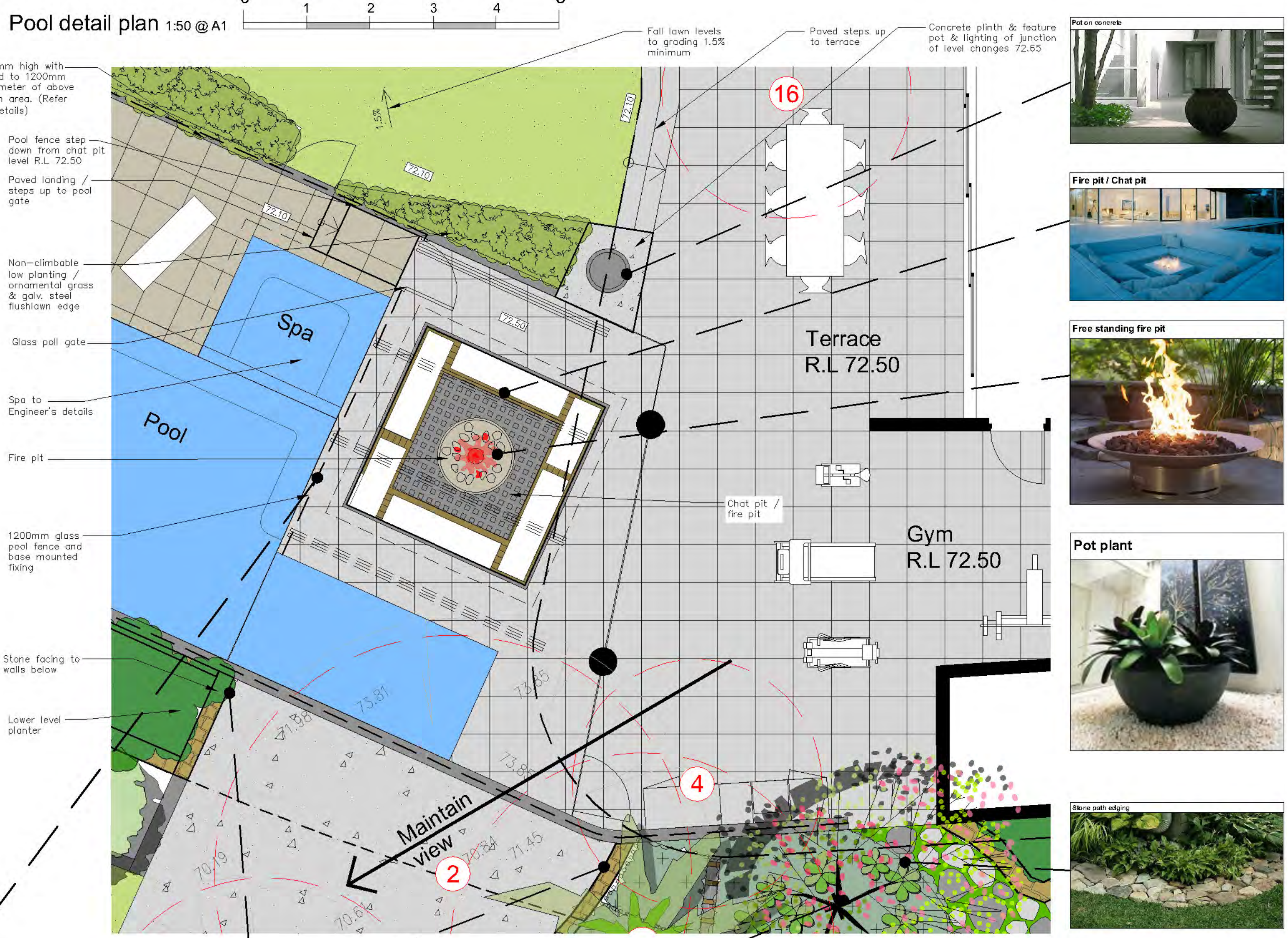
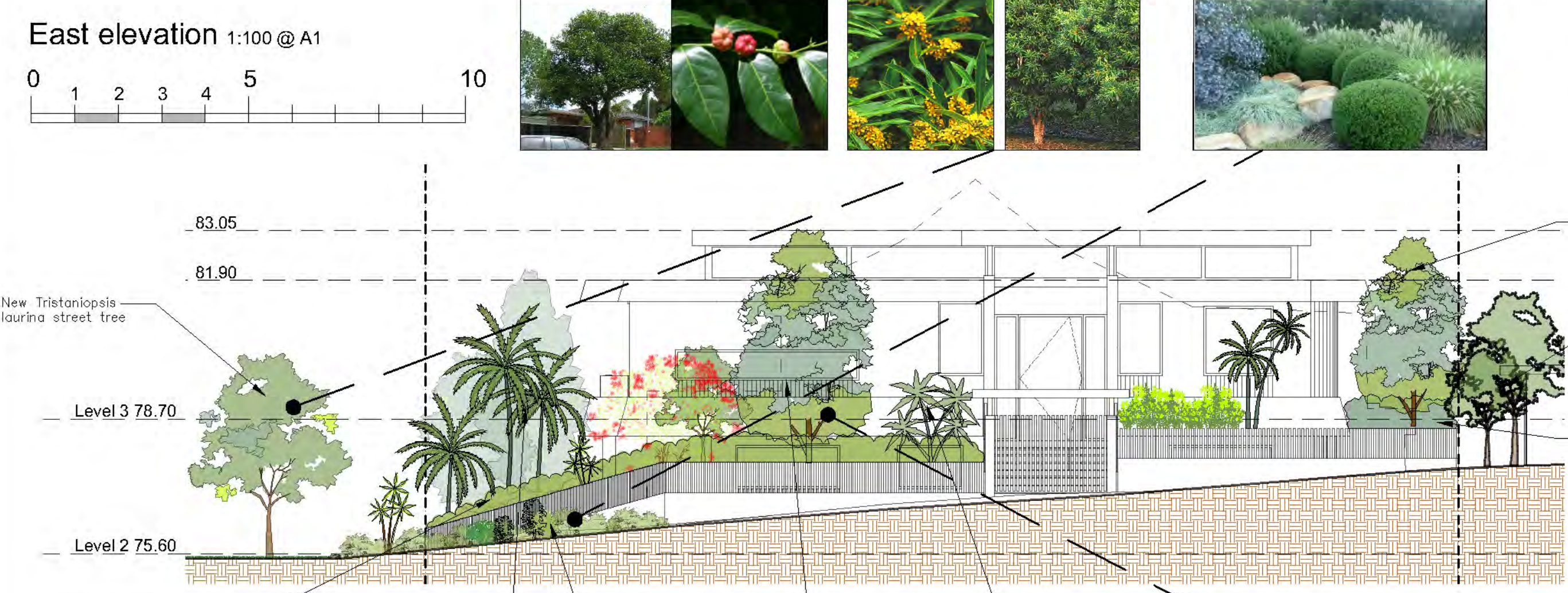
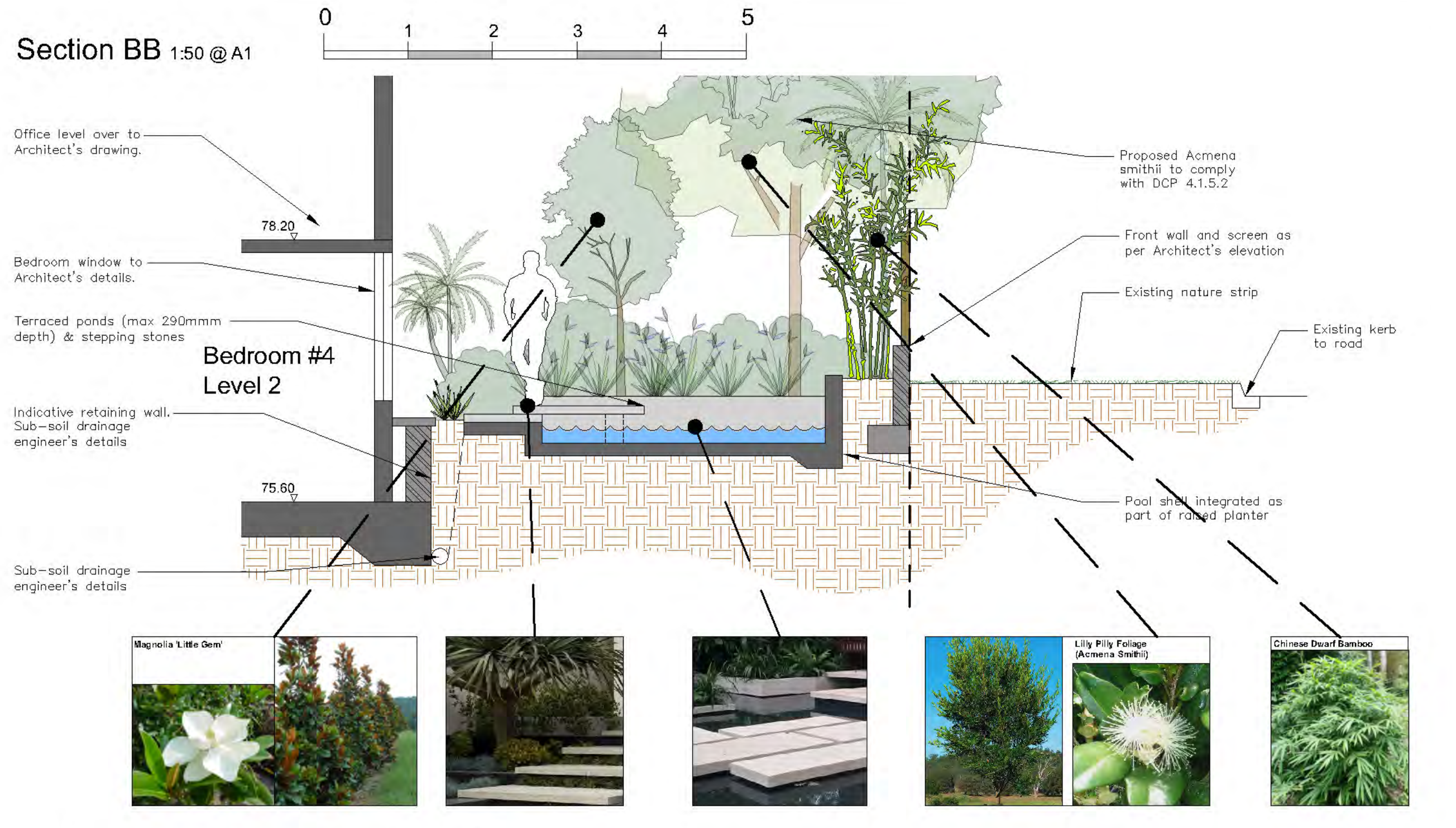
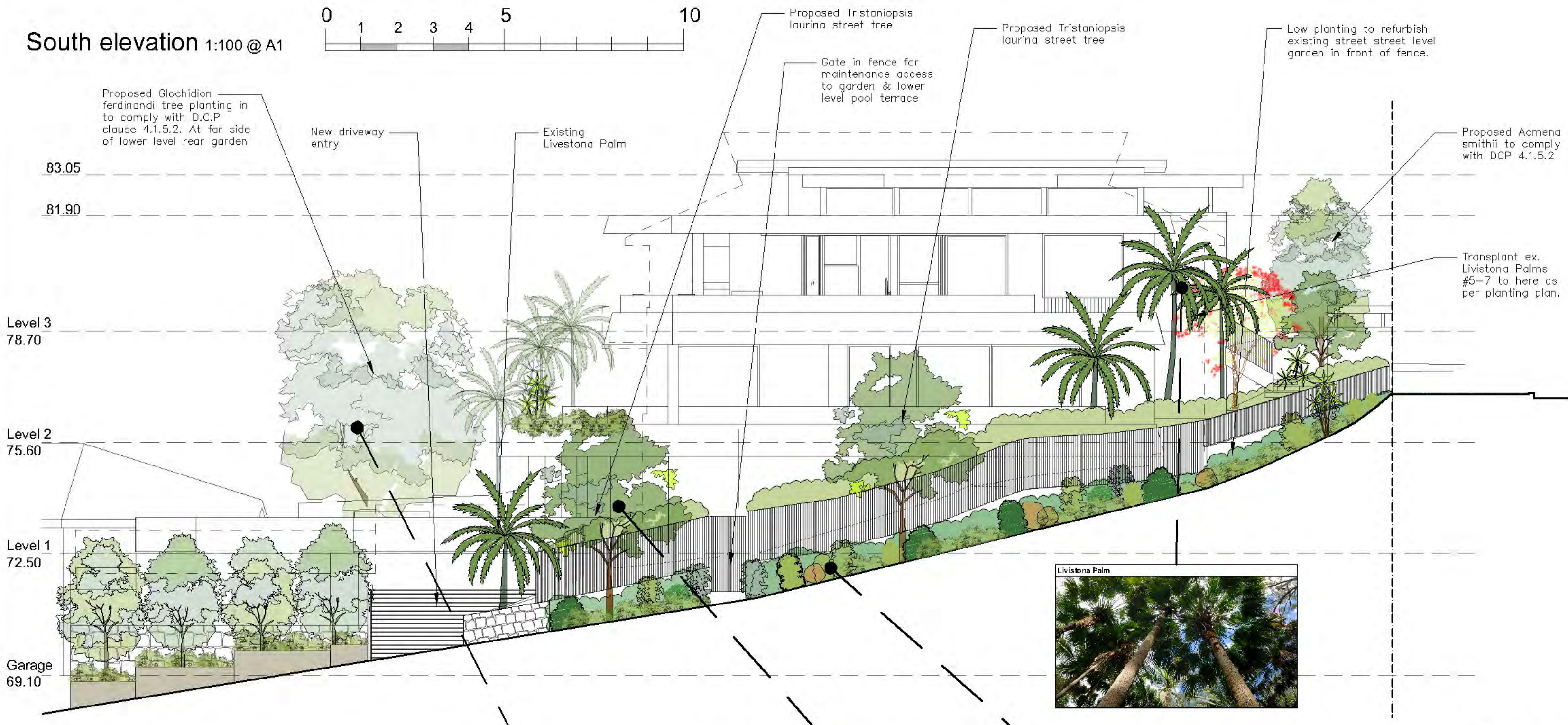
PO Box 813 NEWPORT NSW 2106
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 EMAIL: PAUL@SCRIVENER-DESIGN.COM

PROJECT: NEW DWELLING 3 TABALLUM ROAD BILLOWAH HEIGHTS LOT 20, SECTION 58, DP 758044

DATE: 30.9.19
 JOB REF: 192100
 ISSUES: B
 SCALE: 1:100 @ A1
 SHEET NO: 3 OF 4

REVISIONS:

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |



PAUL SCRIVENER
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EMAIL: PAUL@SCRIVENER-DESIGN.COM

DATE: 30.9.19 SCALE: 1:100 @ A1
JOB REF: 192100 SHEET NO: 2 OF 4
ISSUE: B

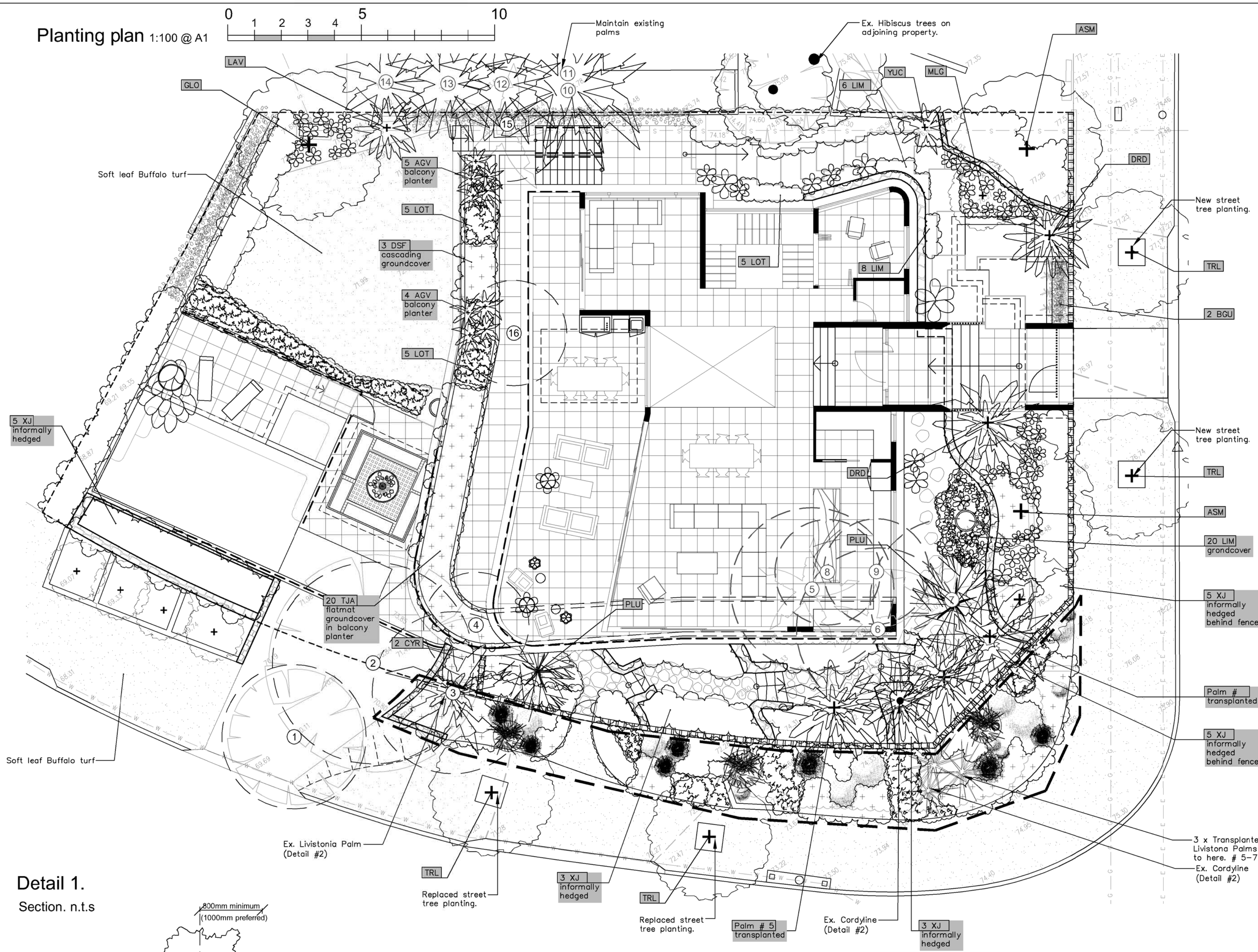
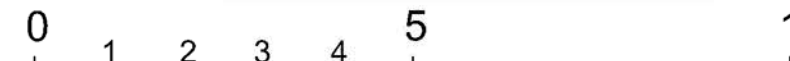
PROJECT: NEW DWELLING
3 TABILAY ROAD
BALLGOWAH HEIGHTS LOT 20,
SECTION 58, DP 758044

DATE: ELEVATIONS AND DETAIL PLAN

North

| REVISIONS | DATE | DESCRIPTION |
|-----------|------|-------------|
| | | |
| | | |
| | | |
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Planting plan 1:100 @ A1



Planting schedule

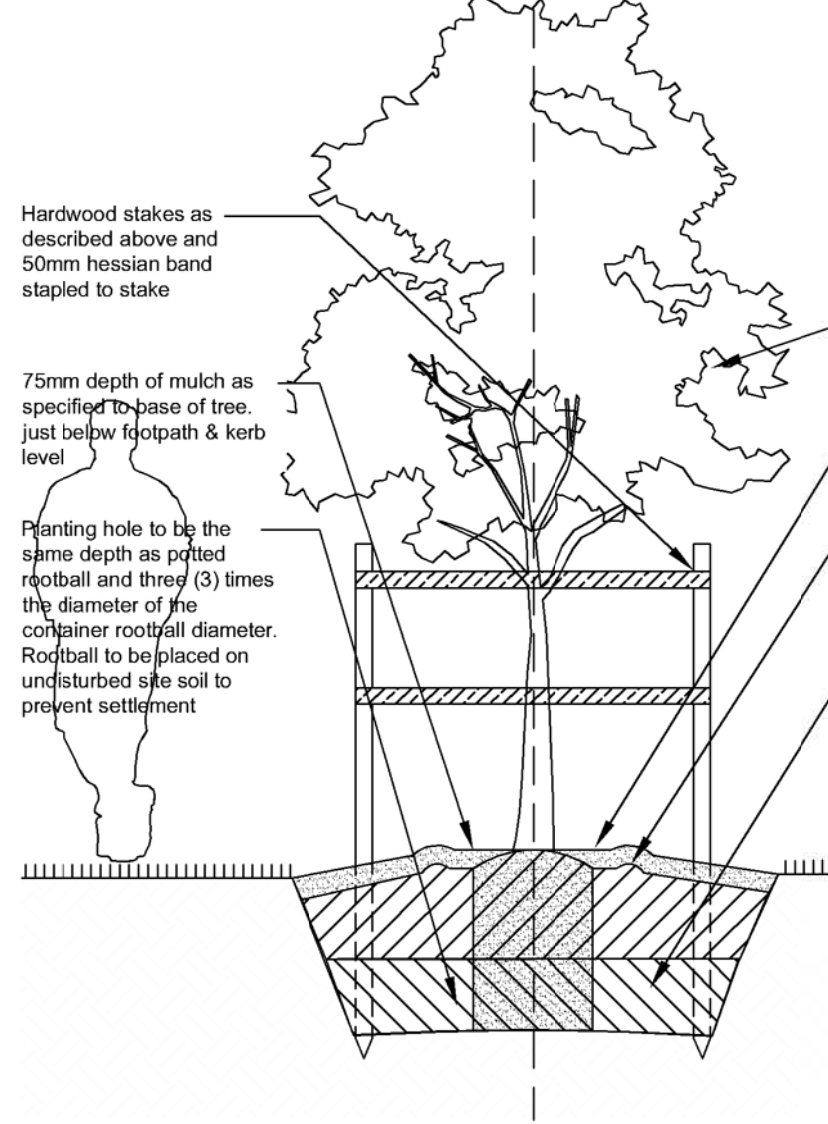
| Symbol | Botanical name | Common name | Cont. size | Staking | Mature height | No req. |
|--|-----------------------------------|---|------------|------------------------|---------------|---------|
| Trees | | | | | | |
| APA | Acer palmatum | Japanese Maple (versatile small deciduous garden tree) | 75L | 3x50x50x1800 | 5-7.0M | 0 |
| ASM | Adiantum sp. | Lily Pilly (Native tree in deep soil - Prune lower branches) | 75L | 3x50x50x1800 | 8-10.0M | 0 |
| BAS | Banksia serrata | Old Man Banksia (Small native. Grafted trunk & serrated leaves) | 75L | 3x50x50x1800 | 4-6.0M | 0 |
| BIN | Banksia integrifolia | Coast Banksia (medium indigenous tree) | 75L | 3x50x50x1800 | 8-12.0M | 0 |
| BAK | Banksia myrsina | Grey Myrtle (Native tree in deep soil) | 75L | 3x50x50x1800 | 3-5.0M | 0 |
| ER | Elaeocarpus reticulatus | Blueberry Ash (indigenous small tree) | 45L | 3x50x50x1800 | 8-10.0M | 0 |
| GLO | Glochidion ferdinandi | Cheese Tree (indigenous medium tree) | 75L | 3x50x50x1800 | 8-10.0M | 0 |
| PLU | Plumeria acutifolia | Frangipani (small flowering deciduous tree) | 45L | 2x50x50x1800 | 3-4.0M | 0 |
| SYO | Syzygium oleosum | Blue Lilly Pilly (native screen tree) | 75L | 3x38x38x1800 | 10.0M | 0 |
| TRL | Tristanopsis laurina 'Luscious' | Water Gum cultivar (indigenous small-med tree) | 75L | 3x50x50x1800 | 5-7.0M | 0 |
| Shrubs / small feature trees | | | | | | |
| APD | Acer dissectum 'Arro Purpureum' | Dwarf Cut Leaf Maple (Low deciduous garden tree) | 300mm | nil | 1.52-2.0M | 0 |
| BMM | Banksia 'mimosa' | Dwarf Banksia marginata | 300mm | nil | 2.0M | 0 |
| CLJ | Callistemon 'Little Jet' | Little Jet Bottlebrush (flowering native ideal for hedging) | 200mm | nil | 0.8-1.4M | 0 |
| EOM | Eriostemon australasica | Pink Wax Flower (flowering native shrub) | 200mm | nil | 2.0M | 0 |
| GAF | Gardenia Augusta 'Florida' | Florists Gardenia (Flowering scented shrub) | 200mm | nil | 1.0M | 0 |
| MLG | Magnolia 'Little Gem' | Little Gem (small ornamental standard tree) | 300mm | 2x50x50x1800 | 2.5-3.0M | 0 |
| MP | Murraya paniculata | Orange Jessamine (flowering screening plant) | 300mm | hedged | 2-3.0M | 0 |
| PTT | Pittosporum tobira 'Miss Muffet' | Miss Muffet Pittosporum (bright green foliage hedge) | 200mm | hedged | 0.8-1.0M | 0 |
| SPP | Syzygium 'Superior' | Superior Lilly Pilly (flowering screen plant Can be hedged) | 200mm | hedged to req height | 1.6-2.8M | 0 |
| WF | Westringia fruticosa | Coastal Rosemary (native shrub. Can be informally hedged) | 250mm | hedged | 1-1.5M | 0 |
| WFG | Westringia fruticosa 'Grey Box' | Ozbreed Grey Box® (hardy low screen can be hedged) | 200mm | hedged | 4.0-7.0M | 0 |
| Standards / Topiary plants | | | | | | |
| TP1 | X | Small topiary ball (Trimmed topiary plant) | 200mm | nil | 0.25-0.35M | 0 |
| TP2 | X | Medium topiary ball (Trimmed topiary plant) | 200mm | nil | 0.35-0.5M | 0 |
| TP3 | X | Large topiary ball (Trimmed topiary plant) | 250mm | nil | 0.5-0.7M | 0 |
| TP4 | X | Very large topiary ball (Trimmed topiary plant) | 300mm | nil | 0.8-1.2M | 0 |
| Ferns / Palms / Succulents / ornamental bamboos | | | | | | |
| ACV | Agave attenuata | Century plant (striking spiky leaved succulent) | 200mm | nil | 0.5M | 0 |
| ALR | Alicantarea 'Rubra' | Giant Bromeliad (large succulent leaved ornamental plant) | 300mm | nil | 1.0M | 0 |
| ARC | Archontophoenix cunninghamiana | Bangalow Palm (Tropical style tall palm) | semi adv. | wire guy | 8-12M | 0 |
| ASO | Asplenium 'Osaka' | Osaka Birds Nest Fern | 150mm | nil | 0.8M | 0 |
| BGU | Bambusa guangxiensis | Dwarf Chinese Bamboo (ornamental bamboo can be hedged) | 200mm | nil | 2-3.5M | 0 |
| BLS | Blechnum nudum | Silver Lady Fern (small clumping fern) | 150mm | nil | 0.5-0.8 | 0 |
| CAL | Calathea zebra | Zebra Plant (small glossy tropical foliage plant) | 200mm | nil | 0.6M | 0 |
| CHM | Chamaerops humilis | European Fan Palm (Hardy Small - med palm) | 300mm | nil | 2-4.0M | 0 |
| COB(B) | Colocasia esculenta 'BM' | Black Magic Elephants ears (dark large leaved plant) | 200mm | nil | 1-1.5M | 0 |
| COB | Colocasia esculenta | Elephant's ears (Large leaved plant) | 200mm | nil | 1.5M | 0 |
| COR(M) | Cordyline spp. Mini | Selected Dwarf Cordyline (Shade tolerant bright foliage) | 200mm | nil | 0.6M | 0 |
| COR(P) | Cordyline petiolaris | Cordyline (Shade tolerant bright foliage) | 200mm | nil | 0.6-1.0M | 0 |
| CYR | Cycas revoluta | Sago Palm (striking native low palm like) | 300mm | nil | 1-1.2M | 0 |
| DRA | Dracaena fragrans | Dragon Tree (striking native palm like) | 250mm | nil | 1.5M | 0 |
| DRD | Dracaena draco | Dragon Tree (striking feature plant) | semi adv. | nil | 25-3.5M | 0 |
| LAV | Livingstonea australis | Cabbage Palm (tall indigenous palm) | semi adv | wire guy | 8-12.0M | 0 |
| RHA | Raphis excelsior | Lady Finger Palm | 300mm | nil | 2-2.5M | 0 |
| STR | Strelitzia reginae | Reginae Palm (stunning Dwarf flowering accent plant) | 200mm | nil | 0.7M | 0 |
| YUC | Yucca elaphantipes | Giant Yucca (multi trunked spiky feature plant) | 300mm | nil | 1.5M | 0 |
| XA | Xanthorrhoea australis | Grass Tree (striking ornamental Grass tree with tall spike) | 200mm | nil | 1.5-2.5M | 0 |
| Groundcovers/Climbers | | | | | | |
| ALL | Acacia cognata 'LimeLight' | Dwarf prostrate Acacia (Low growing with cascading foliage) | 200mm | nil | 0.7M | 0 |
| BKK | Banksia spinulosa 'Birds Candles' | Birthday Candles (Low shrub/groundcover) | 200mm | nil | 0.6M | 0 |
| CGT | Casuarina glauca 'Cousin It' | Cousin It Groundcover (hybrid groundcover) | 200mm | nil | 0.15M | 0 |
| CRG | Carporobolus glaucescens | Pigface (very hardy salt wind tolerant trailing groundcover) | 200mm | nil | 0.2M | 0 |
| DIC | Dichondra repens | Kidney weed (native carpet groundcover) | tubes | nil | 0.1M | 0 |
| DSF | Dichondra 'Silver Falls' | Silver Falls (cascading groundcover in roof garden) | 200mm | nil | 0.15M | 0 |
| GPR | Grevillea 'Pooina Royal Mantle' | Grevillea Groundcover (native low groundcover) | 150mm | nil | 0.2M | 0 |
| HIS | Hibbertia scandens | Guinea Flower (flowering climber / groundcover) | 200mm | nil | 0.3M | 0 |
| MYP | Mycosium parvifolium | Creeping Ecobella (native cascading groundcover) | 150mm | nil | 0.2M | 0 |
| PJ | Pandorea jasminoides | Bower Plant (native climbing/cascading groundcover) | 200mm | wire supports on fence | 2.5M | 0 |
| SDY | Strobilanthes dyerianus | Persian Shield (Flowering border plant) | 200mm | nil | 0.5-0.8M | 0 |
| TJA | Trachelospermum asiaticum | Flatmat Star Jasmine (F101 Ozbreed hybrid groundcover) | 200mm | nil | 0.2M | 0 |
| TJT | Trachelospermum tricolor | Variegated Star Jasmine (variegated colour groundcover) | 200mm | nil | 0.5M | 0 |
| VH | Viola hederacea | Native Violets (native low groundcover) | tubes | nil | 0.1M | 0 |
| Silver / grey foliage plants | | | | | | |
| FEB | Festuca glauca 'Blue Boulder' | Blue Boulder (Silver grey low clumping ornamental grass) | 150mm | nil | 0.3M | 0 |
| PLS | Plectostachys serratifolia | Licorice Plant (ster foliage groundcover) | 150mm | nil | 0.2-0.3M | 0 |
| SEN | Senecio serpens | Blue Chalk Sticks (silver blue low succulent groundcover) | 200mm | nil | 0.2M | 0 |
| Ornamental grasses/strappy leaved plants | | | | | | |
| CM | Clivia minata | Kaffir Lily (shade tolerant groundcover) | 200mm | nil | 0.5M | 0 |
| DCR | Dianella caerulea 'Tasred' | Tasred Flax Lily (native grass like plant) | 100mm | nil | 0.4M | 0 |
| DIA | Dianella 'Cassa Blue' | Hybrid Flax Lily (native grass like plant) | 100mm | nil | 0.4M | 0 |
| ISN | Isoplepis (Finnia) nodosa | Knobby Club Rush (native ornamental grass) | 150mm | nil | 0.6M | 0 |
| LIM | Liriope Evergreen Giant | Turf Lily (shade tolerant groundcover) | 150mm | nil | 0.4M | 0 |
| LTT | Lomandra Lime Tuff | Dwarf Lomandra (ornamental grass) | 150mm | nil | 0.4M | 0 |
| PHX | Phloxendron 'Xanadu' | Xanadu (shade tolerant understory / border plant) | 200mm | nil | 0.5M | 0 |
| SML | Spathiphyllum 'Alo Moana' | Peace Lily (shade tolerant flowering / glossy leaves) | 200mm | nil | 0.4M | 0 |
| Water lilies and aquatic plants | | | | | | |
| NEL | Nelumbo nucifera | Sacred Lotus (flowering water Lily in submerged pot) | 200mm | nil | 0.2M | 0 |

General construction notes

- 1. Site preparation**
Any existing trees and vegetation to be retained shall be preserved and protected from damage of any sort during the execution of landscape work. In particular, root systems of existing plants must not be disturbed if possible. Any nearby site works should be carried out using hand tools. To ensure the survival and growth of existing trees during landscaping works, protect by fencing or arming where necessary. Trees shall not be removed or topped unless specific written approval to do so is given or is indicated on plan. Storage of materials, mixing of materials, vehicle parking, disposal of liquids, machinery repairs and refueling, site office and sheds, and the lighting of fires shall not occur within three (3) metres of any existing trees. Do not stockpile soil, rubble or other debris cleared from the site, or building materials, within the dripline of existing trees. Vehicular access shall not be permitted within three (3) metres of any tree.
- 2. Soil preparation**
All proposed planting areas to be deep ripped to 200mm (where possible) and clay soils to be treated with clay breaker. Apply at least 200mm depth good quality garden soil mix to all garden planting areas. To comply with AS 4419 Turfed areas to be Soft leaf Buffalo or Soft Leaf Buffalo to be laid over 150mm good quality turf underlay over existing soil which is to be deep ripped to 200mm depth prior to installation. To be worked in with rotary hoe except where tree root damage would otherwise occur. In such situations care to be taken to hand cultivate in any area where existing tree roots exist to preserve health of trees and to comply with the requirements of the Arborist's report. Where planting is to occur in existing soil profiles ensure soil conditions and compost worked into the top 200mm profile. To comply with AS 4454:1999.
- 3. New plantings**
Newly planted trees and large shrubs should be secured to stakes with hessian ties to prevent rocking by wind. Planting holes for plant material should be large enough in size to take root ball with additional space to take back filling of good quality planting mix. (Please note mature heights of planting as shown on planting schedule can vary due to site conditions, locations in constricted deep soil or over slab planters and so forth) Also shallow soils in certain locations may affect planting heights. Nominated heights for plantings in raised planters over slabs are nominated as less than their normal expected heights in acknowledgement of the contained soil environment. For other deep soil trees heights are subject to particular site conditions, and intended hedging or pruning for functional requirements such as available planting width, intended access under branches and solar access.
- 4. Planter boxes & waterproofing.**
All slab areas to be waterproofed and 'Atlantis' drainage coil installed with geotextile fabric. Refer Engineer's details for structural details for planter box construction. All internal planter slab levels to fall to drainage outlets as detailed by Stormwater Engineer. Ensure cavity between planter box and building wherever planter joins habitable rooms of building. Keep cavity clear of debris by providing capping run butted against building. Exterior finishes as per Architect's detail. Ensure base of cavity is able to drain via weep holes in event water seeps into cavity so as to not build up against building wall. Containers to be at height as indicated on Architects' drawing. All planting containers to have the following:
 - Impervious waterproof membrane along base and up to top of soil level of containers to Engineer's details.
 - 'Atlantis' drainage coil (or engineer's approved equivalent at base to be connected to drainage system of development as per stormwater Engineer's details.
 - A.N.L. planter box soil mix or equivalent. To comply with AS 4419 and AS 3743.
 - Contractor to install all planter box finishes after other site works are completed to ensure no deterioration of waterproofing membrane. Contractor to be responsible for the integrity of the waterproofing of the planter boxes throughout construction and installation period.
 - All planter boxes are to have automatic dripline irrigation system. Connecting pipes to be installed during construction of planters and to be coordinated with all Engineer's details.
- 5. Mulching**
All planting areas to be mulched with a minimum 75mm thick cover of recycled hard wood chip mulch and then all plant areas to be thoroughly soaked with water. To comply with AS 4454
- 6. Fertiliser**
All planting areas to be fertilised with 9 month 'NPK' slow release fertiliser.
- 7. Staking**
To those plants indicated on the planting schedules provide: hardwood stakes as nominated and driven into ground to a depth able to achieve rigid support.
- 8. Lawn edging**
All ground level garden beds adjacent to site boundary or paved areas to have edging as nominated on the plans.
- 9. Turfing**
Turfed native strip areas to be Soft leaf Buffalo or Soft Leaf Buffalo 'shademaster' (as nominated on plans) to be laid over 100mm good quality turf underlay over existing soil which is to be deep ripped to 200mm depth prior to installation.
- 10. Structural**
All structural details whatsoever to Engineer's details. All drainage and waterproofing details to Engineers details.

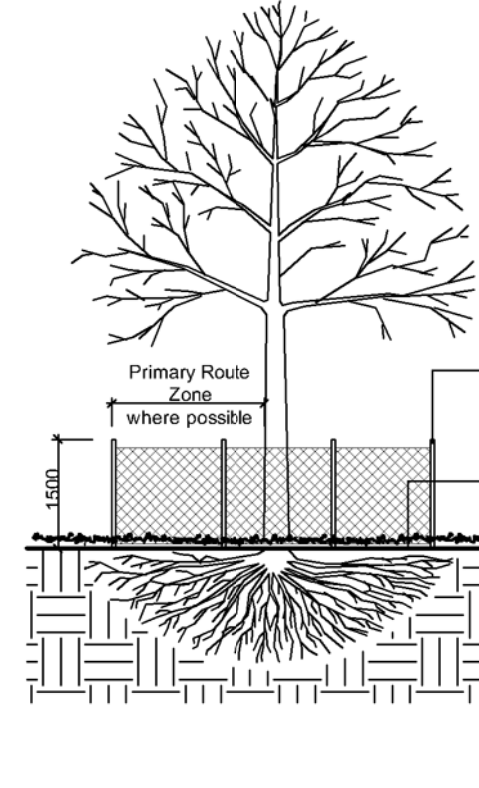
Detail 1.

Section. n.t.s



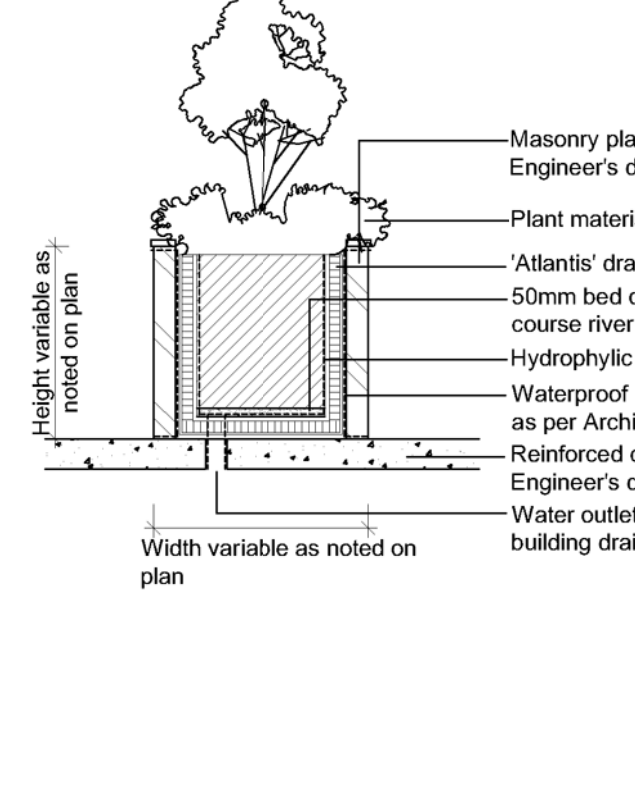
Detail 2.

Tree protection measure Type 2 n.t.s.



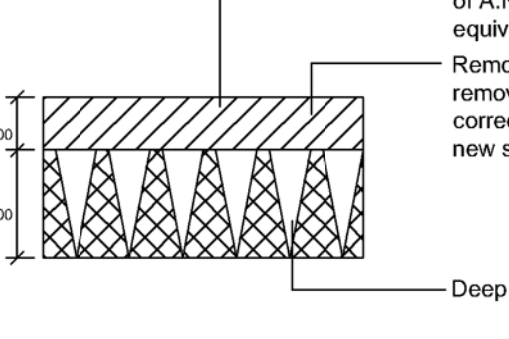
Detail 3.

Typical planter box drainage detail n.t.s.



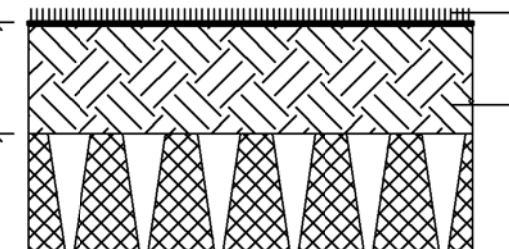
Detail 4.

Soil preparation detail n.t.s.



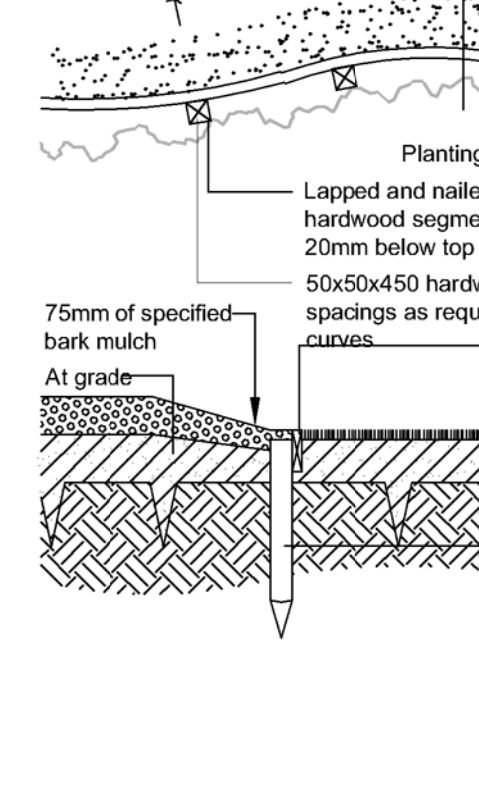
Detail 5.

Turf over soil n.t.s.



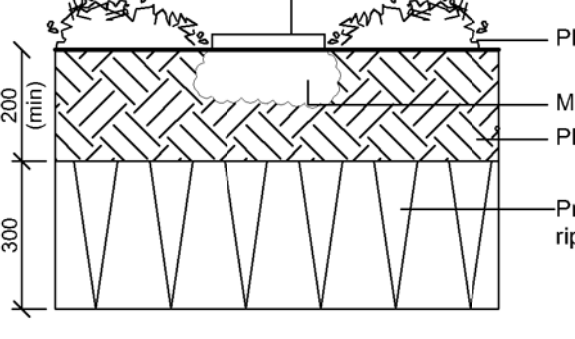
Detail 6.

Timber edge detail n.t.s.



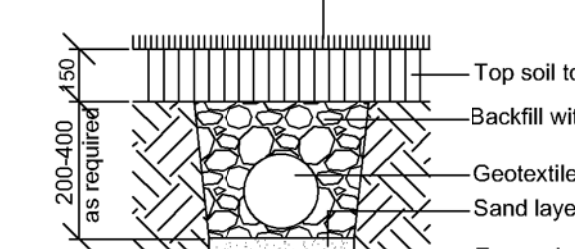
Detail 7.

Stepping stones in garden n.t.s.



Detail 8.

Ag. drainage line n.t.s.



Irrigation notes

Automatic drip line watering system to be selected. To extend to all garden areas except lawn areas. To include all raised planter boxes over slab structures. Water supply tap hosecocks to each isolated planterbox for separate irrigation lines with battery timers. (To be coordinated with Hydraulic engineer's details). Drip-line supply system only to be incorporated. Contractor is to provide an irrigation design to meet the following requirements.
Generally: Supply an automatic drip line irrigation system. To include all piping to solenoids either PVC lines and/or class 12 pressure pipe or low density, rubber modified polypropylene reticulation as required to provide water supply to the nominated areas. To be coordinated with Hydraulic engineer's plans. To include all bends, junctions, ends, ball valves, solenoids and all other ancillary equipment. Backwash valve: An approved backwash prevention valve is to be located at the primary water source for top up valves to rainwater tanks (where applicable).
Irrigation system to be supplied from rainwater tanks as nominated on the Hydraulic Engineer's plans with town water top up system.
Chemical root control: Provide standard chemical root inhibiting chemical cartridge. These are to be industry standard, in-line replaceable cartridges located for easy access for replacement cartridge installation.

Automatic Controller: Provide automatic 2 week timer with hourly multi-cycle operation for each zone as noted on the irrigation areas plan on sheet 2.
Performance: It shall be the Landscape Contractor's responsibility to ensure and guarantee satisfactory operation of the irrigation system. The system is to be fit for the purpose and should utilize sufficient solenoids to provide for the varying watering requirements of landscape areas to allow all plants and lawn areas to thrive and attain long term viability.
Testing: After the system has been installed to the satisfaction of the project manager, the installation shall be tested under working conditions. Acceptance of the installed plant and equipment shall be subject to these being satisfactory.
Warranty: A twelve month warranty is to be provided in writing by the Landscape Contractor, which shall commit the Landscape Contractor to rectify the system (the items they have installed) to the satisfaction of the project manager or nominated representative. This will apply should any fault develop, or the capacity or efficiency fall below that guaranteed, or should the discharge or pressure be inadequate, or should defects develop in the filter unit or control heads, or any blockages that may develop in the system.
Approvals: The Landscape Contractor is to liaise as necessary, to ensure that the irrigation system conforms with all Water Board, Council and Australian standards (AS)

All construction & landscape works to be read in conjunction with Arborist's report prepared by 'Hugh the Arborist's'

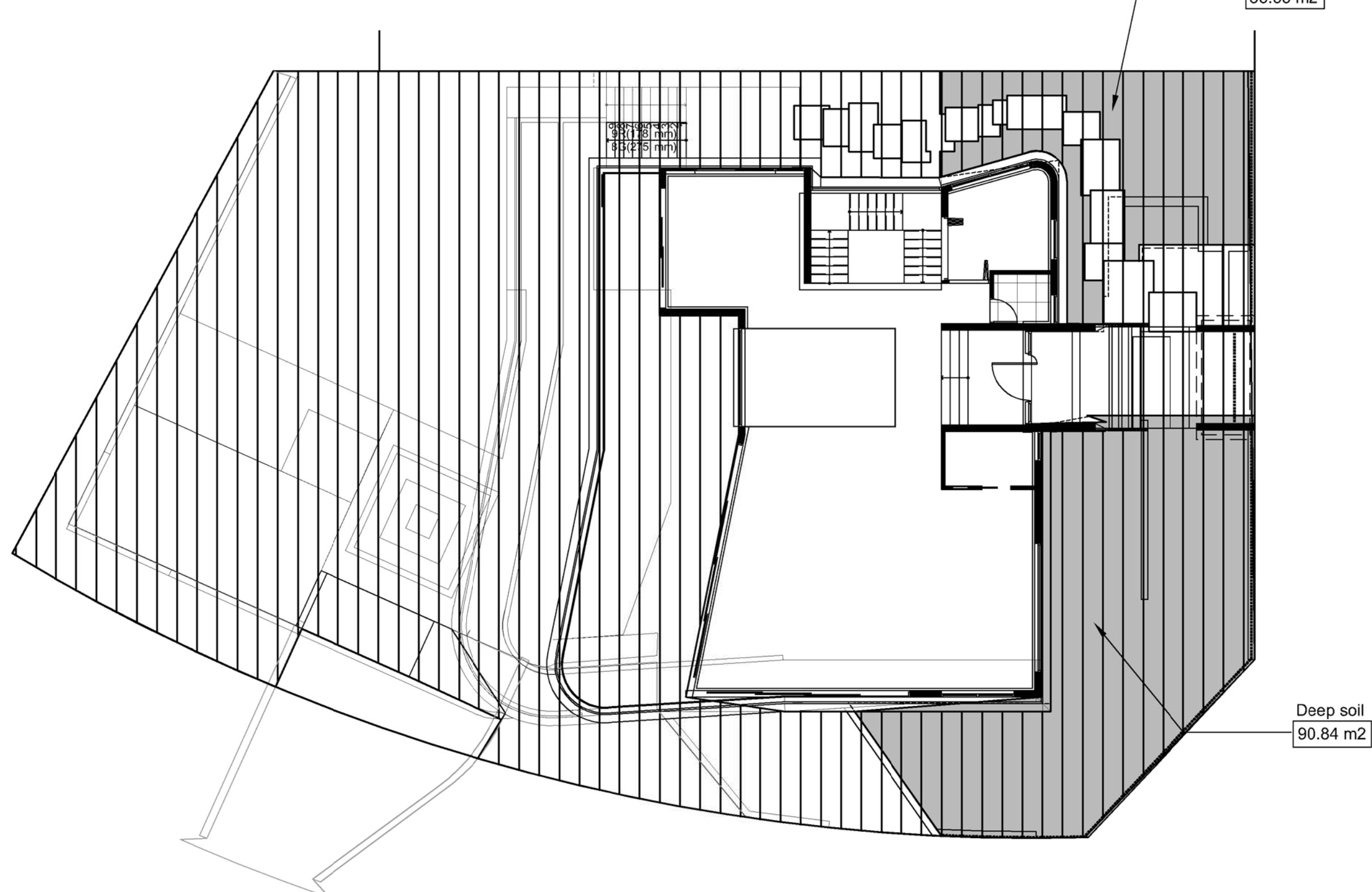
PO Box 813 NEWPORT NSW 2106
ABN: 627 121 448
PHONE: 02 9907 8011
WWW.SCRIVENER-DESIGN.COM
EMAIL: PAUL@SCRIVENER-DESIGN.COM

DATE: 30.9.19
JOB REF: 19/2100
SCALE: 1:100 @ A1
SHEET NO: 3 of 4

PROJECT: NEW DWELLING
1 TABALUM ROAD
BALGOWAH HEIGHTS LOT 20,
SECTION 58, DP758044

Dwg: PLANTING PLAN AND DETAILS

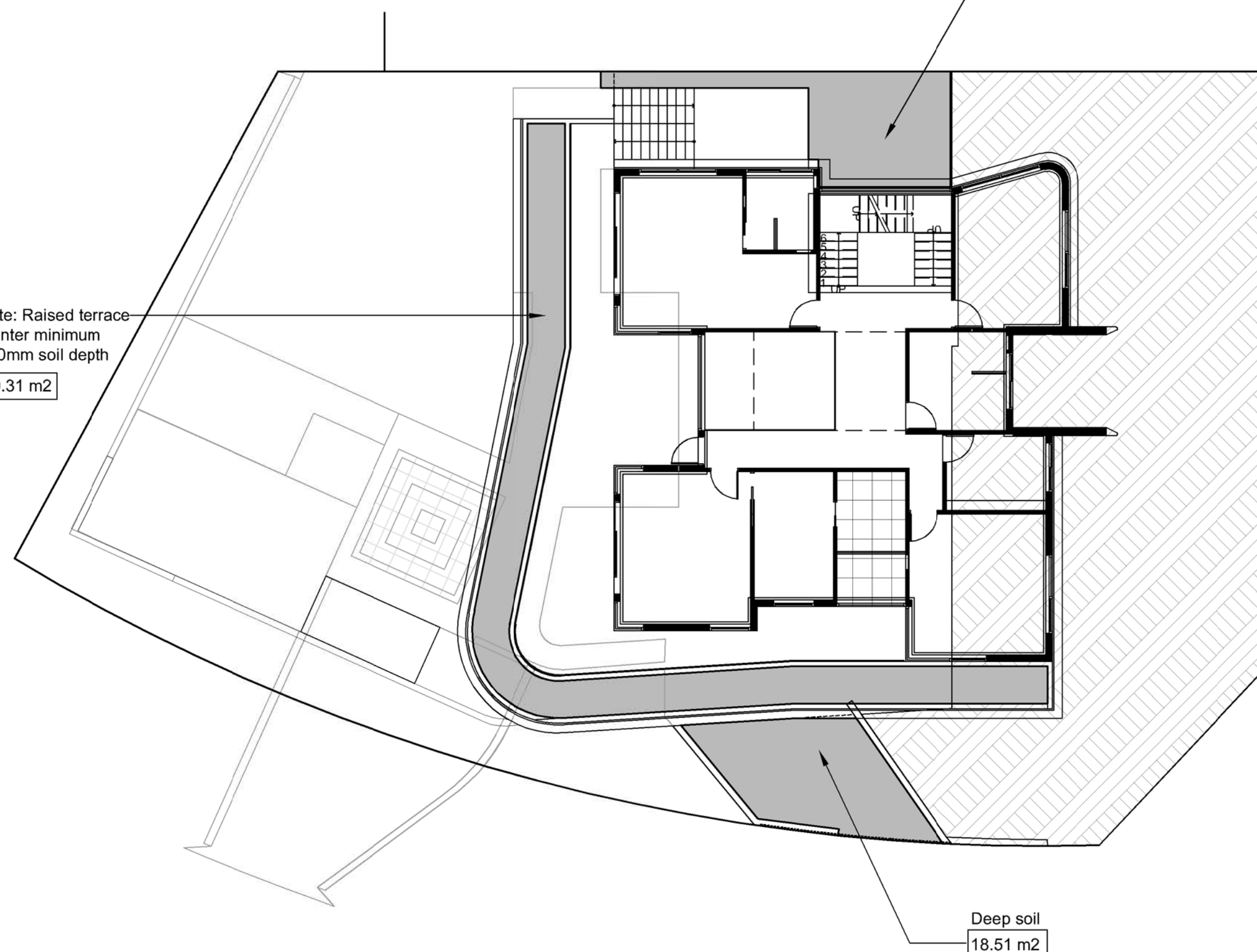
Level 3 1:150 @ A1



Deep soil
36.66 m²

Deep soil
90.84 m²

Level 2 1:150 @ A1

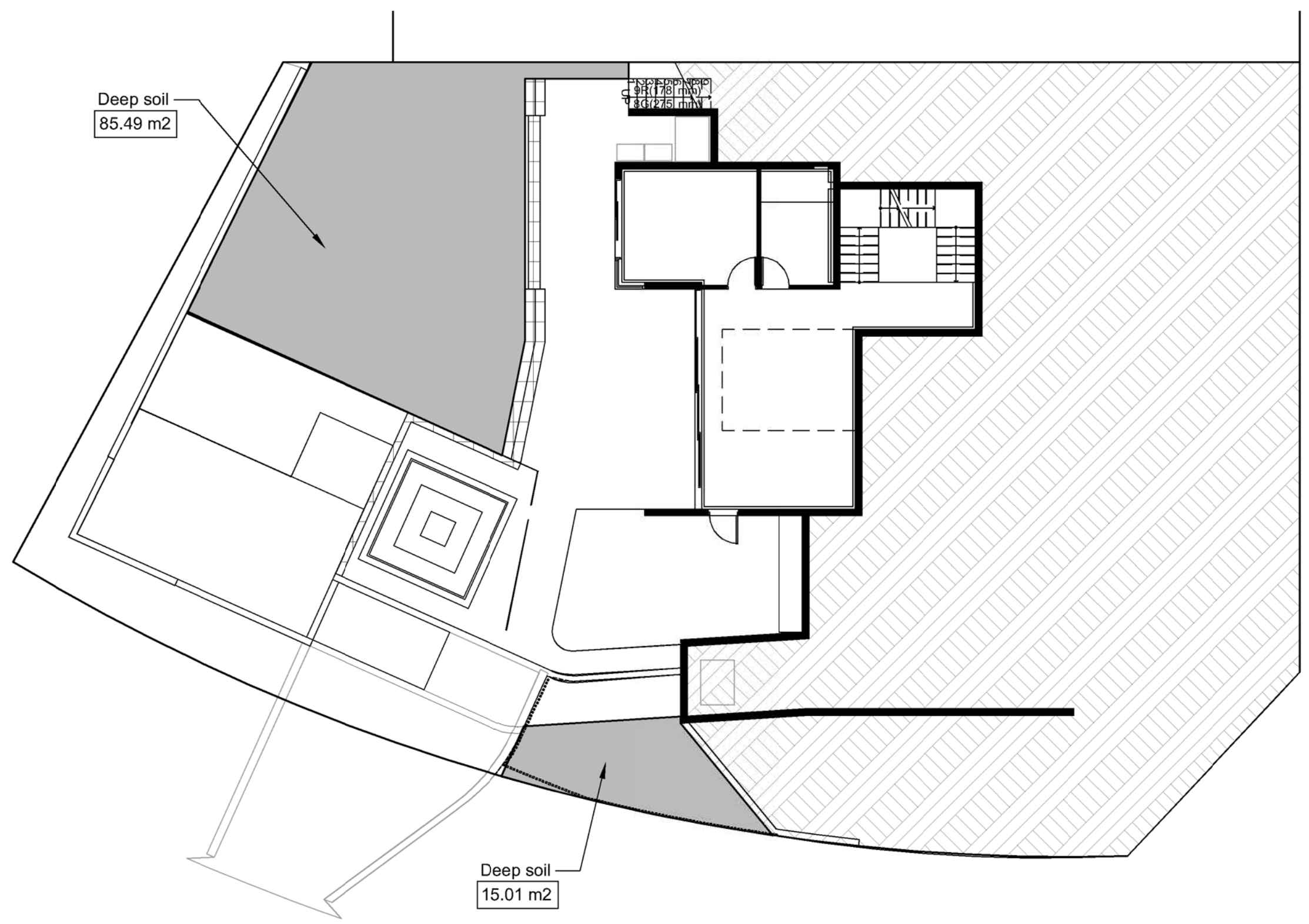


Deep soil
18.41 m²

Deep soil
18.51 m²

Note: Raised terrace planter minimum 600mm soil depth
39.31 m²

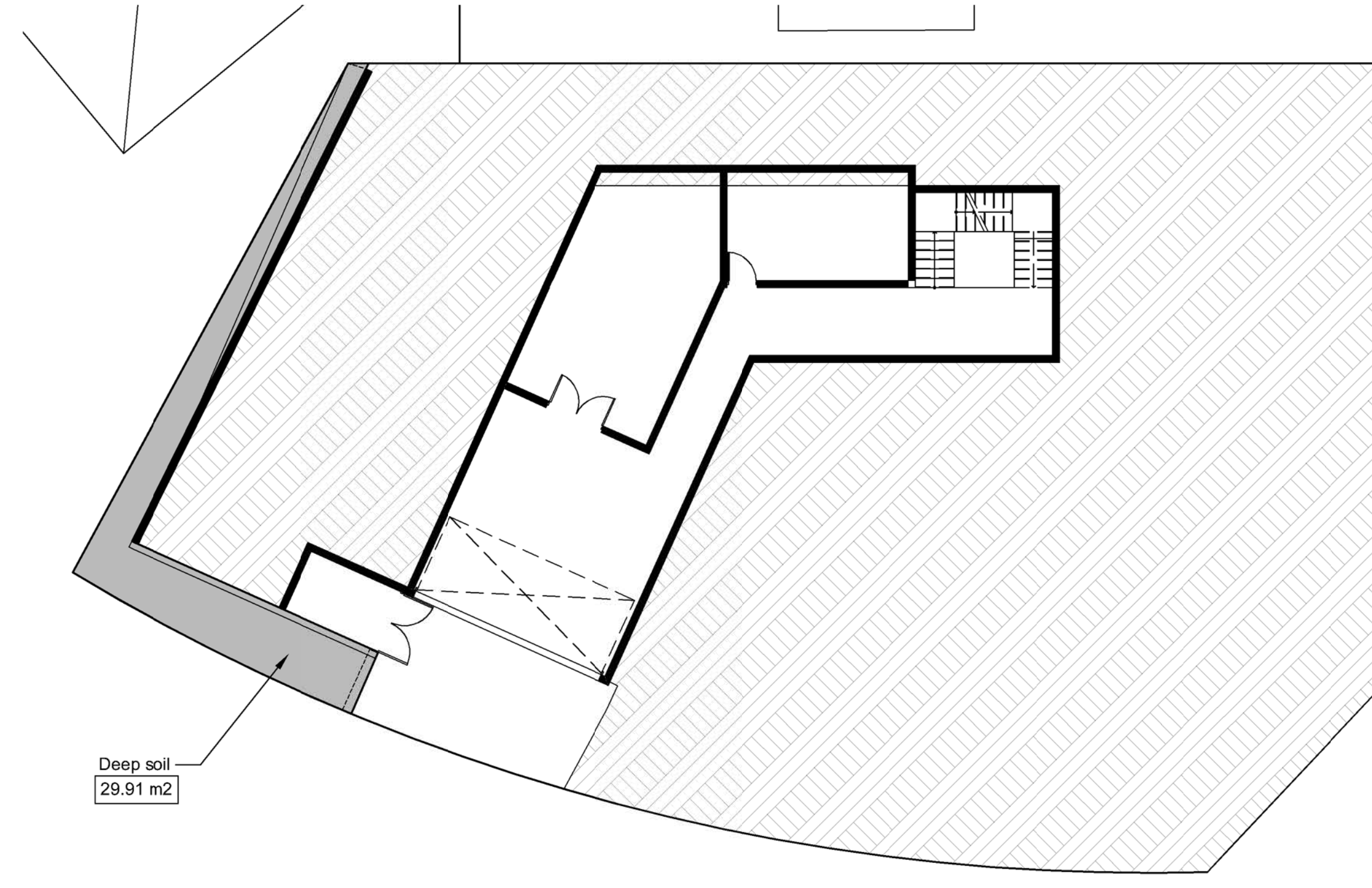
Level 1 1:150 @ A1



Deep soil
85.49 m²

Deep soil
15.01 m²

Garage level 1:150 @ A1



Deep soil
29.91 m²

Site area = 753.8 m²

Total open space = 548.23m²

Required = 452.28 m²

Landscape area

Garage level 29.91


level 1 100.50

level 2 76.23

level 3 126.50

333.14 m²

Required landscape area = 181.0 m²



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DATE: 30.9.19 SCALE: 1:100 @ A1
 JOB REF: 192100 SHEET NO: 4 OF 4
 ISSUE: 0

PROJECT: NEW DWELLING
 1 TABALUM ROAD
 BALGOWLAH HEIGHTS LOT 20,
 SECTION 58, DP 738894

DWS: SOIL AND LANDSCAPE AREAS

AMENDMENTS

