young house

no.20 Idaline street collaroy plateau nsw

architectural list:

cover page and site plan, page 01

floor plan, elevations and sections page 02

page 03 sections, pool details & excavation plan

1. FALLS, SLIPS, TRIPS a) WORKING AT HEIGHTS DURING CONSTRUCTION
Wherever possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than two metres is a possibility.

DURING OPERATION OR MAINTENANCE For houses or other low-rise buildings where scaffolding is appropriate: Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scrifolding, ladders or trestles should be used in accordance with relevant codes of practice, regulations or legislation.
For buildings where scaffold, ladders, trestles are not appropriate: Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, fall barriers or Personal Protective Equipment (PPE) should be used in accordance with

b) SLIPPERY OR UNEVEN SURFACES FLOOR FINISHES Specified

If finishes have been specified by designer, these have been selected to minimise the risk of floors and paved areas becoming slippery when well cor when walked on with wet shoes/feet. Any changes to the specified finish should be made in consultation with the designer or, if this is not practical, surfaces with an equivalent or better slip resistance should be chosen. better slip resistance should be chosen.

FLOOR FINISHES By Owner

If designer has not not been involved in the selection of surface
finishes, the owner is responsible for the selection of surface finishes, the owner is responsible for the selection of surface finishes
in the pedestrian trafficable areas of this building. Surfaces should
be selected in accordance with AS HB 197:1999 and AS/NZ

4586:20A 4586: 2004. STEPS, LOOSE OBJECTS AND UNEVEN SURFACES

Due to design restrictions for this building, steps and/or ramps are included in the building which may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warning during construction, maintenance, demolition and at all times when the building operates as a workplace. Building owners and occupiers should monitor the pedestrian Building owners and occupiers should monitor the peactrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard. Spills, loose material, story objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from cause a sip or trip nazara should be cleared or lettered in since access ways.

Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

2. FALLING OBJECTS LOOSE MATERIALS OR SMALL OBJECTS Construction, maintenance or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below. being carried out.

2. Provide toeboards to scaffolding or work platforms.

3. Provide protective structure below the work area.

4. Ensure that all persons below the work area have Personal Protective Equipment (PPE).

BUILDING COMPONENTS

During construction, renovation or demolition of this building, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and that access to areas below the

3. TRAFFIC MANAGEMENT For building on a major road, narrow road or steeply sloping road: Porking of vehicles or loading/unloading of vehicles on this roadway may cause a troffic hazard. During construction, maintenance or demolition of this building designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for the supervision of these areas. For building where on-site loading/unloading is restricted: Construction of this building will require loading and unloading of materials on the roadway. Deliveries should be well planned to avoid concession of loading areas and trained traffic management congestion of loading greas and trained traffic managemen personnel should be used to supervise rodaing/uniouality areas.

For all buildings:

Busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted for the work site.

4. SERVICES GENERAL Rupture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Where known, these are identified on the plans but the exact location and extent of services may vary from that indicated. Services should be located services may vary from trait indicated. Services snould be located using an appropriate service (such as Dial Before You Dig), appropriate excavation practice should be used and, where necessary, specialist contractors should be used. Locations with underground power:

Underground power lines MAY be located in or around this site. All underground power lines must be disconnected or carefully

located and adequate worning signs used prior to any construction, maintenance or demolition commencing. Locations with overhead power lines: Overhead power lines MAY be near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical, disconnected or relocated. Where this is not practical adequate warning in the form of bright coloured tape or signage should be used or a protective barrier provided. 5. MANUAL TASKS

Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass.

All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which maintains beneding hefore lifting. Advice should be provided on minimises bending before lifting. Advice should be provided on safe lifting methods in all arreas where lifting may occur construction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in exercises with manufactures. fully maintained in accordance with manufacturer?s specifications and not used where faulty or (in the case of

6. HAZARDOUS SUBSTANCES ASBESTOS
For alterations to a building constructed prior to 1990:
If this existing building was constructed prior to:
1990 — it therefore may contain asbestos
1986 — it therefore is likely to contain asbestos
either in cladding material or in fire retardant insulation material. In
either case, the builder should check and, if necessary, take
appropriate action before demolishing, cutting, sanding, drilling or
otherwise disturbing the existing structure. POWDERED MATERIALS Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective

powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material. TREATED TIMBER TREATED TIMBER

The design of this building may include provision for the inclusion of treated timber within the structure. Dust or furnes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sandling, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber. VOLATILE ORGANIC COMPOUNDS

Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times. SYNTHETIC MINERAL FIBRE

STRIPE ITO MINERAL FIBRE. Fibreglass, rockwool, ceramic and other material used for thermal or sound insulation may contain synthetic mineral fibre which may be harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts or the body. Personal Protective Equipment including protection against inhalation of harmful material should be used when installing, removing or working near bulk insulation material. TIMBER FLOORS

This building may contain timber floors which have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective Equipment may also be required. The manufacturer?s 7. CONFINED SPACES

EXCAVATION EXCAVATION

Construction of this building and some maintenance on the building will require excavation and installation of items within excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not reached according to the excavation of the excava excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warnin signs and barriers to prevent accidental or unauthorised access to all excavations should be provided.

ENCLOSED SPACES
For buildings with enclosed spaces where maintenance or other
access may be required:
Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment should be provided.

SMALL SPACES For buildings with small spaces where maintenance or other access ror bullarings with small spaces where maintenance or other access may be required:

Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces. 8. PUBLIC ACCESS

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully

9. OPERATIONAL USE OF BUILDING

RESIDENTIAL BUILDINGS This building has been designed as a residential building. If it, at a later date, it is used or intended to be used as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent NON-RESIDENTIAL BUILDINGS For non-residential buildings where the end-use has not been identified:

This building has been designed to requirements of the classification identified on the drawings. The specific use of the building is not known at the time of the design and a further assessment of the workplace health and safety issues should be undertaken at the

time of fit-out for the end-user For non-residential buildings where the end-use is known: This building has been designed for the specific use as identified on the drawings. Where a change of use occurs at a later date a further assessment of the workplace health and safety issues

10.0THER HIGH RISK ACTIVITY All electrical work should be carried out in accordance with Code of Practice: Managing Electrical Risks at the Workplace, AS/NZ 3012and all licensing requirements.

All work using Plant should be carried out in accordance with Code of Practice: Managing Risks of Plant at the Workplace.

All work should be carried out in accordance with Code of Practice: Managing Noise and Preventing Hearing Loss at Work. Due to the history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies.

1000 side setback to waterline of proposed pool proposed plunge pool maximum 27 KL's rear setback 11575. verify on-site the swimming pool, water reticulation, 3000 part 3.9.3 & 3.9.4 the swimming pool amendment act 2012, nsw swimming poo regulation 2008 AS 1926.1-2012, AS 1926.2 Lot 41 DP33000 side setback 2580. 422.9m² 🏺 Property details verify on-site existing side setback of 1300. verify on-site |tanks side setback 1520. proposedlupper verify on-site storey extension storey extension , proposed ewollarip régau extension. FFL 101.47 create new landscap beds to side and front of home FFL 100.29 proposed upper existina/side setback storev extension cantilevering over of 1300 verify on-site ground floor sewer*l*inspection lid front setback to may need relocation garage 6000. verify on-site waste management during construction only proposed driveway with pervious paving system proposed 1500h front fence, see detail stormwater lines to run into existing create new layback benchmark or datum & repair existing layback point location

IDALINE STREET

site /site analysis plan (scale 1:200)

powdercoated slats to fencing panels 350x350x1500 brick piers with a stone clad

front fence .(scale 1:100)

notes:

north:

development application

windows All windows must be verified on-site prior to manufacture. They must comply with basix

construction

all dimensions and details to be used as guide only The proposal must be site measured throughout the project

certificate

back

cts and any discrepancies must be related to the owner before commencement of works					
	scale: 1:100, 1:200	copyright date: july 2019			
	page no:	drawing no:			
	1 of 3	1687			
		1			



landscaped area (>2metres) 158m2 or 37%

1076 litres on site

no heating required

3A toilets flushing system.

3A taps in the kitchen.

(or R1.70 incld construction)

basix detail

 27 Kilolitres pool pump timer

Fixtures & • 3A shower heads.

construction • Insulation requirements

systems

configured from 100m2 of roof

• tap located within 10 metres of pool edge

40% of new or altered light fixtures are fitted with flouros.

requirements walls, and ceilings/roofs) in accordance with the specifications listed in

• external wall: framed weatherboard, fibro, metal clad . R1.30

skylights • \$1-3 0.66m2 external adjustable awning or blind. U value 4.3 SHGC 0.5

certificate no: A348541-02 date:14th June 2019

sediment fence. nts

(applies to all pages)

Do not scale off drawings, use figured dimensions

Framing Code

on hydraulic engineers plans.

general notes and specifications

all boundaries, dimensions & building details prior to construction to

satisfy him/ the work can be carried out as required. Any discre-

pancies must be related back to the designer before commence

All stormwater drains to be discharged into street gutter or registered

All work to be in accordance with BCA & local council by - laws.

All wall frames and roof trusses to be in accordance with AS1684

All downpipes to be located by roof plumber or otherwise a noted

This drawing must be read inconjunction with all other approved

Licence for the use of the documentation for statutory approvals

or any form of construction remains the sole property of Distinct

Innovations Pty Ltd. All designs and plans are the subject of Co-

pyright Laws and remain the sole property of Distinct Innovations

for the purposes of this project only. You cannot use or make co-

pies of such documents unless approval is granted by us in wri-

ting. In the event that you breach any obligation to make a payment to us, a notice of termination of agreement will be issued no

ting that approval to use all designs, plans and documentation has been revoked. If such is to occur, all documents, plans and designs

and all copies thereof must be returned to us writing in 14 days of

We take no responsibility for the details or specifications in the

plans/documentation of consultants that have been engaged in respect of this project. It is the responsibility of the superintendent's

to check and verify all details prior to construction to satisfy him or

herself that work can be carried out as required. Any discrepancies

must be immediately relayed back to us prior to the commencement of works or directly to thr consultant who prepared the details. ■ Distinct Innovations Pty Ltd at no time purports to be quantity surveyors for the purposes of estimating construction costs and mee-

ting budgets. Although we can provide you with a ballpark guide to

costs, we cannot formally advise you of actual costs of construction.

This must only be done by a suitably qualified quantity surveyor or

builder. Any opinion is expressed or otherwise given infomally and

■ Distinct Innovations Pty Ltd expressly takes no responsibility for the

Prior to proceeding with Distinct Innovations Pty Ltd, it is your ex-

estimates, quotes or workmanship provided to you by any consul-

tants, building/construction companies or any other firm or person.

to the site for the sole purpose of this developments. Contact your

relevant government bodies in relation to all services and utilities to

Before building works commence it is the superintendent's responsibi-

lity to ensure final architectural plans are read in conjunction with all

associated plans and documents provided by other consultants and

covenants related to this project. Distinct Innovations Pty Ltd takes no

All work safety procedures must be conducted in the proper manner

the swimming pool, water reticulation, filtration system must comply

with BCA vol 2. part 3.9.3 & 3.9.4 the swimming pool amendment

422.9m2

116.00m2

139.20m2

38.76m2

23.41m2

201.37m2

(< 2metres) 204m2 or 48%

117.00m2

21.67squares

act 2012, nsw swimming pool regulation 2008 AS 1926.1-2012,

ensure that this development can be fulfilled in every aspect. Distinct

Innovations Pty Ltd will take no responsibility for inaccessible services

pressed responsibility to satisfy yourself that all services are available

is not to be taken as a construction cost or quotation.

responsibility for errors or omissions in this regard.

Prior to excavation you must call Dial before you Dig.

area calculations

as per the new legislation WHS act 2011.

AS 1926.2 2007, AS 1926.3 2010

existing dwelling

garage

balcony

total area

proposed extension

private open space

Pty Ltd. You will have non exclusive right to use the designs/plans

plans / documents by other consultants related to this specific object.

acknowledges that we cannot guarantee approval as circumstances

drainage easement. Refer to hydraulic engineers details.

All timber beams to be as per engineers details and/or AS1684 framing code.

Termite protection AS3660.1 Kordon specs or similiar

Whilst every effort is made to obtain approval, the client

may arise which are beyond our control.

the date of issue of the notice of termination.

All RC floor slab and structural beams to engineers details.

It is the responsibility of the builder/owner to check & verify all

floor above existing dwelling or building. nil

(medium solar absorptance 0.475 - 0.70

medium (solar absorptance 0.475-0.70) commitments • refer to certificate for all window and glazed door specifications

Please refer to basix certificate for all details.

The applicant must construct the new or altered construction (floor(s),

the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

• raked ceiling, pitched roof: framed: R1.74 (up), roof: foil/backed blanket (55mm)

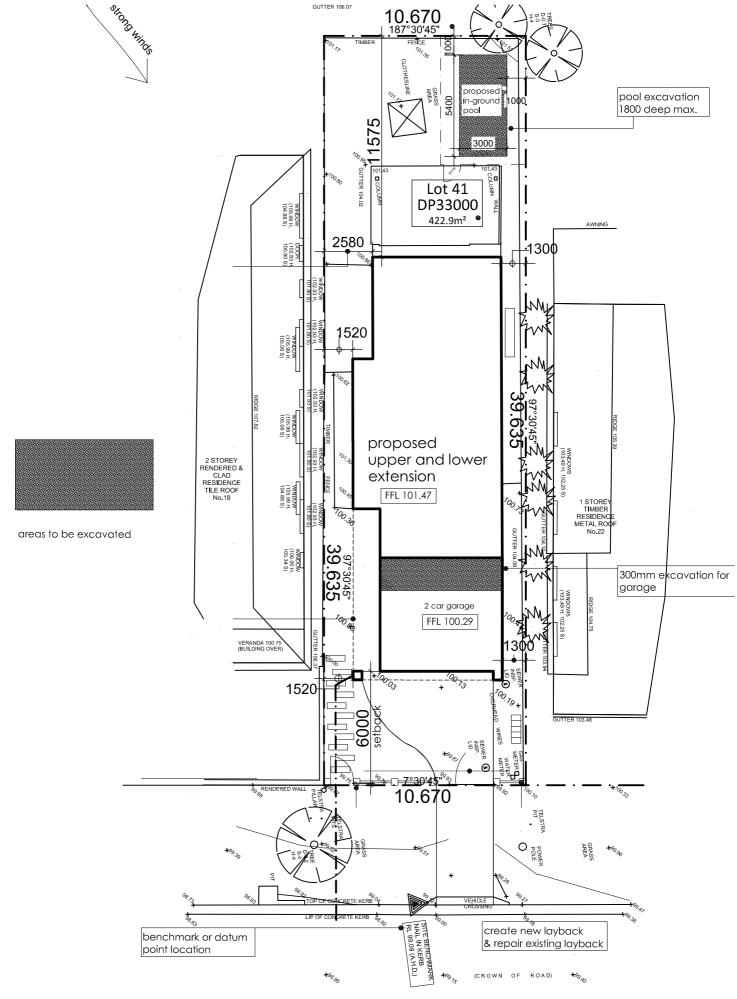
• flat ceiling, flat roof framed : ceilingR1.58(up) roof: foil backed blanket (55mm)

THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT. THIS INCLUDES (but is not excluded to): OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS, OPERATORS, MAINTENORS AND DEMOLISHERS

safety notes

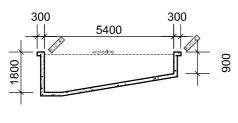


p: 02 8850 6156	amendments	date	amendments	date	client / project:
					proposed extension & alteration
vy distinction avations com au					
w: distinctinnovations.com.au					l young
e: email@distinctinnovations.com.au					no.20 Idaline st. collaroy plateau nsw
o. omano distinto in the varietis.com.ac					, 1

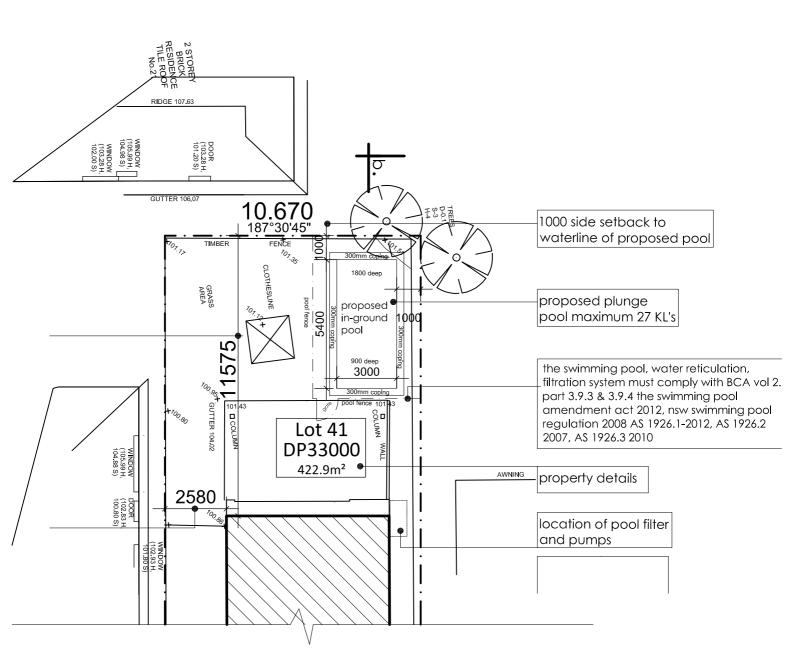


IDALINE STREET

excavation plan.



section b-b.



part site plan.



Distinct Innovations Pty Ltd

Environment • Lifestyle • Architecture

5 July 2019

To: Northern beaches council

Attention: The Duty Planner

Re: No.20 Idaline Street Collaroy Plateau NSW

Outlined below is a schedule of external finishes for the above proposed new dwelling:

1.	Roof	colorbond roof in a windspray grey finish
2.	Fascia	BHP Colorbond in a windspray finish
3.	Gutter	BHP Colorbond in a windspray grey finish
4.	Downpipes	BHP Colorbond in a windspray grey finish
5.	Windows	Aluminium frames in an surfmist finish
6.	Garage Doors	Powdercoated door in Merbau appearance
7.	Columns	sandstone cladding by Eco Outdoor
8.	External Walls	Rendered finish to match existing Cookie Jar
9.	External cladding	Dulux Pipe Clay

Colour swatches on next page

Yours faithfully DISTINCT INNOVATIONS

Luke Van Jour

Please note: These are only indicative colour selection and precise colours will be determine during construction.

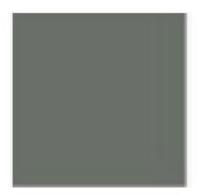


Pipe Clay - Inspirations Paint





Taubmans colour ...



COLORSTEEL® Windspray |...

