

young house  
no.20 Idaline street collaroy plateau nsw  
architectural list:

- page 01
- cover page and site plan,
- page 02
- floor plan, elevations and sections
- page 03
- sections, pool details & excavation plan

1. FALLS, SLIPS, TRIPS  
a) WORKING AT HEIGHTS

**DURING CONSTRUCTION**  
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6. HAZARDOUS SUBSTANCES  
ASBESTOS

For alterations to a building constructed prior to 1990:  
If this existing building was constructed prior to 1990 – it therefore may contain asbestos  
1986 – it therefore is likely to contain asbestos  
either in cladding material or in fire retardant insulation material. In either case, the builder should check out, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure.

**POWDERED MATERIALS**  
Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

**TREATED TIMBER**  
The design of this building may include provision for the inclusion of treated timber within the structure. Treated timber is a material that may be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

**VOLATILE ORGANIC COMPOUNDS**  
Many types of glues, solvents, spray paints, primers, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

**FLAMMABLE LIQUIDS**  
Flammable, rockwood, ceramic and other material used for thermal or sound insulation may contain synthetic mineral fibre which may be harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts of the body. Personal Protective Equipment including protection against inhalation of harmful material should be used when installing, removing or working near bulk insulation material.

**TIMBER FLOORS**  
This building may contain timber floors which have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

**ENCLOSED SPACES**  
For buildings with enclosed spaces where maintenance or other access may be required:  
Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, or for testing equipment and Personal Protective Equipment should be provided.

**SMALL SPACES**  
For buildings with small spaces where maintenance or other access may be required:  
Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

**8. PUBLIC ACCESS**  
Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.

**9. OPERATIONAL USE OF BUILDING**  
RESIDENTIAL BUILDINGS  
This building has been designed as a residential building. If, at a later date, it is altered or intended to be used for a purpose other than residential, the provisions of the Work Health and Safety Act 2011 or subsequent regulations should be applied to the new use.

**NON-RESIDENTIAL BUILDINGS**  
For non-residential buildings where the end-use has not been identified:  
This building has been designed to requirements of the classification identified on the drawings. The specific use of the building is not known at the time of the design and a further assessment of the workplace health and safety issues should be undertaken at the time of fit-out for the end-user.

**10. OTHER HIGH RISK ACTIVITY**  
All electrical work should be carried out in accordance with Code of Practice: Managing Electrical Risks at the Workplace, AS/NZS 3012 and 3013 and 3014.  
All work using Plant should be carried out in accordance with Code of Practice: Managing Risks of Plant at the Workplace.  
All work should be carried out in accordance with Code of Practice: Managing Noise and Preventing Hearing Loss at Work.  
Due to the history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement, all the above apply.

**11. MANUAL TASKS**  
Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to lift the component mass.  
All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Aids should be provided on safe lifting methods in all areas where lifting may occur.

**12. CONSTRUCTION, MAINTENANCE AND DEMOLITION**  
Construction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance with manufacturer's specifications and not used where faulty or (in the case of electrical equipment) not carrying a current electrical safety tag. All safety guards or devices should be regularly checked and Personal Protective Equipment should be used in accordance with manufacturer's specification.

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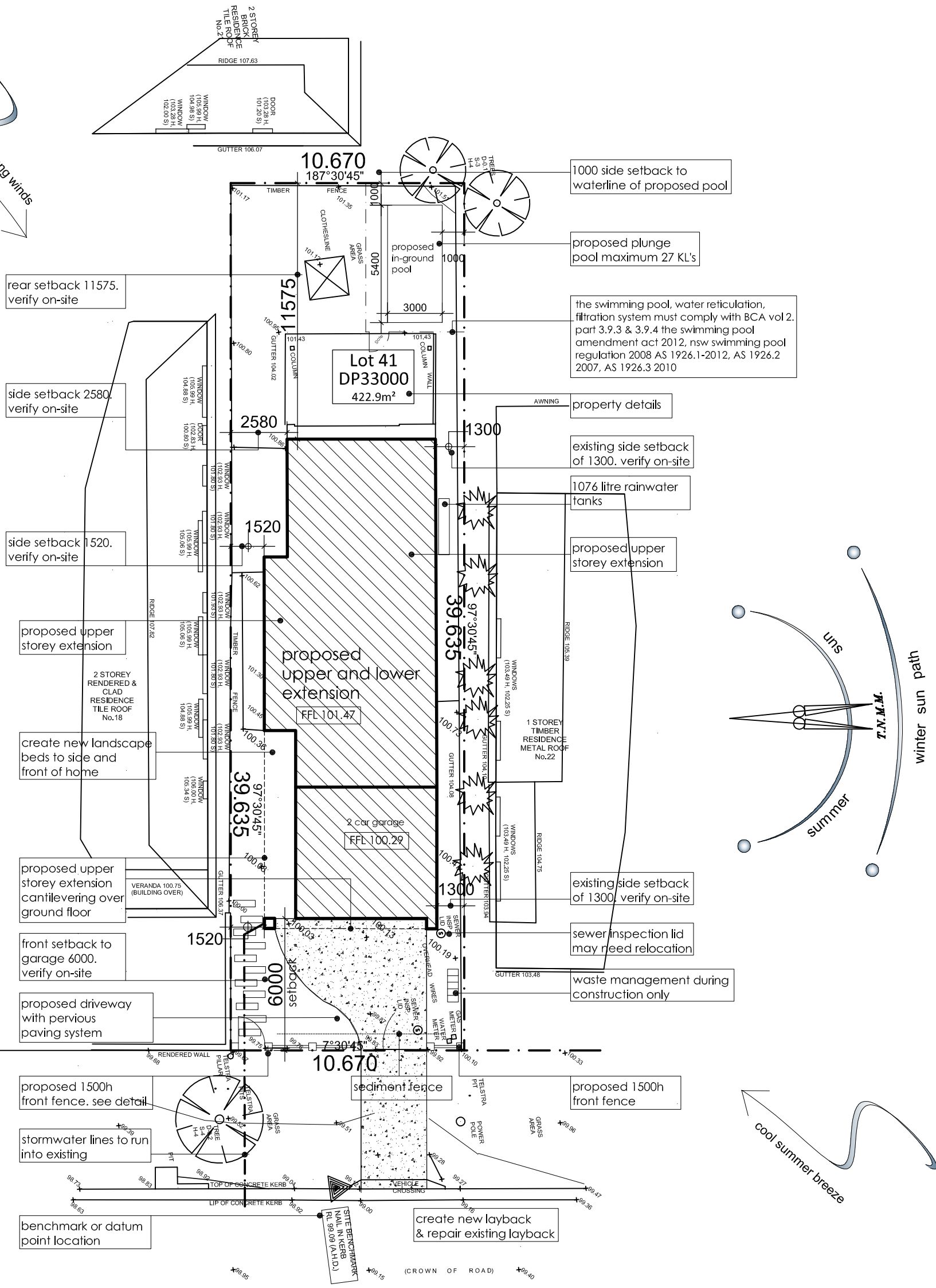
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THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT.  
THIS INCLUDES (but is not excluded to): OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS, OPERATORS, MAINTENORS AND DEMOLISHERS

safety notes



site /site analysis plan .(scale 1:200)

- rainwater tank

  - 1076 litres on site
  - configured from 100m2 of roof
  - tap located within 10 metres of pool edge
- swimming pool

  - 27 Kilolitres
  - pool pump timer
  - no heating required
- Fixtures & systems

  - 3A shower heads.
  - 3A toilets flushing system.
  - 3A taps in the kitchen
  - 40% of new or altered light fixtures are fitted with fluores.
  - or LEDs
- construction requirements

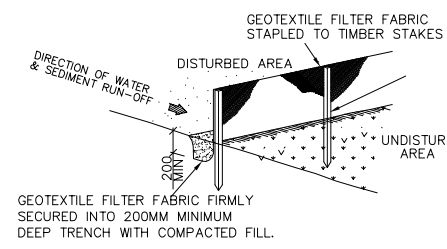
  - Insulation requirements  
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.
  - floor above existing dwelling or building, nil
  - external wall: framed weatherboard, fibro, metal clad . R1.30
  - (or R1.70 incl construction)
  - raked ceiling, pitched roof: framed: R1.74 (up), roof: foil/backed blanket (55mm) (medium solar absorbance 0.475 - 0.70)
  - flat ceiling, flat roof framed : ceiling:R1.58 (up) roof: foil backed blanket ( 55mm) (medium (solar absorbance 0.475-0.70)
- Glazing commitments

  - refer to certificate for all window and glazed door specifications
- skylights

  - S1-3 0.66m2 external adjustable awning or blind. U value 4.3 SHGC 0.5

basix detail

certificate no: A348541-02 date:14th June 2019  
Please refer to basix certificate for all details.



sediment fence.nts  
general notes and specifications  
(applies to all pages )

- It is the responsibility of the builder/owner to check & verify all all boundaries, dimensions & building details prior to construction to satisfy him/ the work can be carried out as required. Any discrepancies must be related back to the designer before commencement of works.
- All work to be in accordance with BCA & local council by - laws.
- Do not scale off drawings, use figured dimensions
- All stormwater drains to be discharged into street gutter or registered drainage easement. Refer to hydraulic engineers details.
- All wall frames and roof trusses to be in accordance with AS1684 Framing Code .
- Timber frames to be as per engineers detail and/or AS1684 framing code.
- All RC floor slabs and structural beams to engineers details.
- All downpipes to be located by roof plumber or otherwise a noted on hydraulic engineers plans.
- Termite protection AS3680.1 Kordon specs or similar
- This drawing must be read in conjunction with all other approved plans / documents by other consultants related to this specific object.
- Whilst every effort is made to obtain approval, the client acknowledges that we cannot guarantee approval as circumstances may arise which are beyond our control.
- Licence for the use of the documentation for statutory approvals or any form of construction remains the sole property of Distinct Innovations Pty Ltd. All designs and plans are the subject of Copyright Laws and remain the sole property of Distinct Innovations Pty Ltd. You will have non exclusive right to use the designs/plans for the purposes of this project only. You cannot use or make copies of such documents unless approval is granted by us in writing. In the event that you breach any obligation to make a payment to us, a notice of termination of agreement will be issued noting that approval to use all designs, plans and documentation has been revoked. If such is to occur, all documents, plans and designs and all copies thereof must be returned to us within 14 days of the date of issue of the notice of termination.

- We take no responsibility for the details or specifications in the plans/documentation of consultants that have been engaged in respect of this project. It is the responsibility of the superintendent's to check and verify all details prior to construction to satisfy him or herself that work can be carried out as required. Any discrepancies must be immediately relayed back to us prior to the commencement of works or directly to the consultant who prepared the details.
- Distinct Innovations Pty Ltd at no time purports to be quantity surveyors for the purposes of estimating construction costs and meeting budgets. Although we can provide you with a ballpark guide to costs, we cannot formally advise you of actual costs of construction. This must only be done by a suitably qualified quantity surveyor or any other person.
- Prior to proceeding with Distinct Innovations Pty Ltd, it is your expressed responsibility to satisfy yourself that all services are available to the site for the sole purpose of this developments. Contact your relevant government bodies in relation to all services and utilities to ensure that this development can be fulfilled in every aspect. Distinct Innovations Pty Ltd will take no responsibility for inaccessible services to the development site.
- Before building works commence it is the superintendent's responsibility to ensure final architectural plans are read in conjunction with all associated plans and documents provided by other consultants and covenants related to this project. Distinct Innovations Pty Ltd takes no responsibility for errors or omissions in this regard.
- Prior to excavation you must call Dist before you Dig.
- All work safety procedures must be conducted in the proper manner as per the new legislation WHS act 2011.
- The swimming pool, water reticulation, filtration system must comply with BCA vol 4 part 3.9.3 & 3.9.4 the swimming pool and filtration system must comply with AS 1926.2 2007, AS 1926.3 2010

front fence .(scale 1:100)

notes:

- windows

All windows must be verified on-site prior to manufacture. They must comply with basix certificate
- construction

all dimensions and details to be used as guide only. The proposal must be site measured throughout the projects and any discrepancies must be related back to the owner before commencement of works

area calculations

site area	422.9m2
existing dwelling	116.00m2
proposed extension	
living	139.20m2
garage	38.76m2
balcony	23.41m2
total area	201.37m2 21.67squares
landscaped area	( < 2metres) 204m2 or 48% ( > 2metres) 158m2 or 37%
private open space	117.00m2



strong winds

GUTTER 106.07

10.670  
187°30'45"

pool excavation  
1800 deep max.

Lot 41  
DP33000  
422.9m<sup>2</sup>

AWNING

2 STOREY  
RENDERED &  
CLAD  
RESIDENCE  
TILE ROOF  
No.18

proposed  
upper and lower  
extension

FFL 101.47

1 STOREY  
TIMBER  
RESIDENCE  
METAL ROOF  
No.22

300mm excavation for  
garage

2 car garage  
FFL 100.29

VERANDA 100.75  
(BUILDING OVER)

1520

6000  
setback

10.670  
7°30'45"

benchmark or datum  
point location

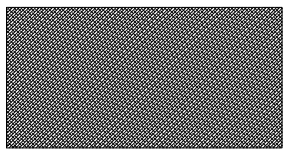
create new layback  
& repair existing layback

SITE BENCHMARK  
NAIL IN KERB  
RL 99.09 (A.M.D.)

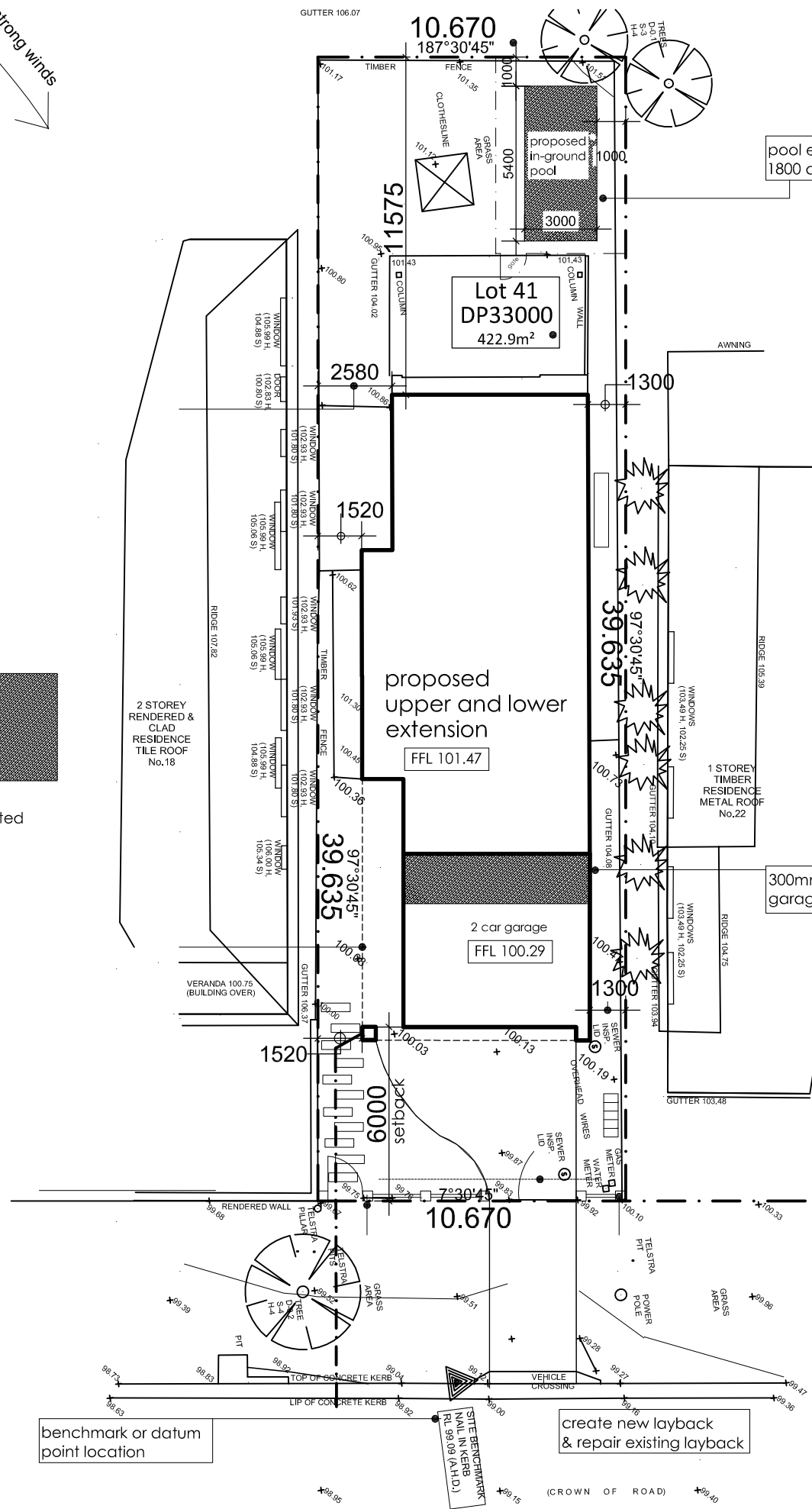
(CROWN OF ROAD)

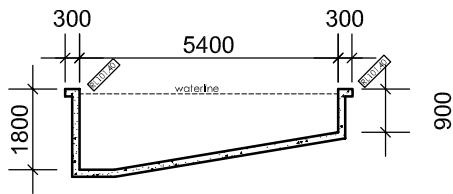
IDALINE STREET

excavation plan.

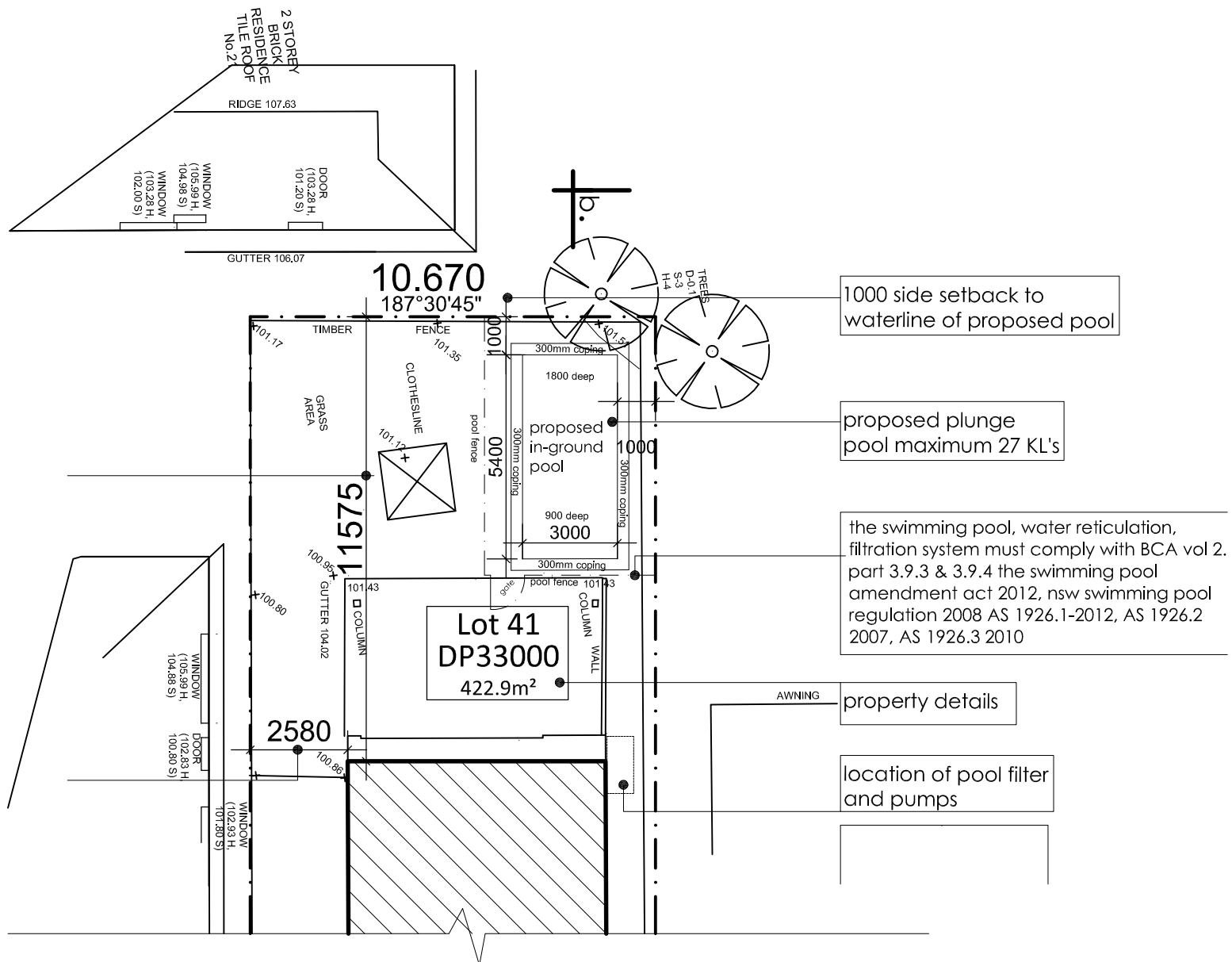


areas to be excavated





section b-b.



part site plan.



# Distinct Innovations Pty Ltd

Environment • Lifestyle • Architecture

5 July 2019

To: Northern beaches council

Attention: The Duty Planner

**Re: No.20 Idaline Street Collaroy Plateau NSW**

Outlined below is a schedule of external finishes for the above proposed new dwelling:

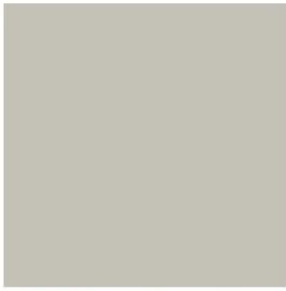
1. Roof	colorbond roof in a windspray grey finish
2. Fascia	BHP Colorbond in a windspray finish
3. Gutter	BHP Colorbond in a windspray grey finish
4. Downpipes	BHP Colorbond in a windspray grey finish
5. Windows	Aluminium frames in an surfmist finish
6. Garage Doors	Powdercoated door in Merbau appearance
7. Columns	sandstone cladding by Eco Outdoor
8. External Walls	Rendered finish to match existing Cookie Jar
9. External cladding	Dulux Pipe Clay

Colour swatches on next page

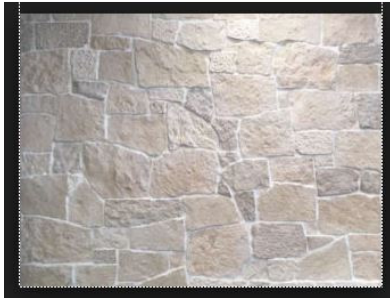
Yours faithfully  
DISTINCT INNOVATIONS

Luke Van Jour

Please note: These are only indicative colour selection and precise colours will be determine during construction.



Pipe Clay - Inspirations Paint



Taubmans colour ...



COLORSTEEL® Windspray |...

