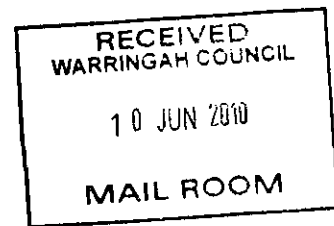
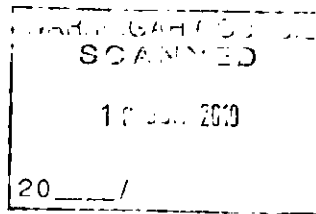


The General Manager
Warringah Council
Civic Centre,
725 Pittwater Rd.,
DEE WHY 2099



ATTENTION: Planning and Development Services

Re: Development Application no DA 2010/0697

22-26 Albert St, FRESHWATER/5-21 Lawrence St, FRESHWATER/18-22 Marmora St, FRESHWATER

Dear Sir/Madam,

I am submitting the following objections to the application listed above.

1. I object strongly to the DENSITY of the development – it exceeds the LEP restrictions
2. I object strongly to the HEIGHT of the development - it exceeds the LEP restrictions
3. I object strongly to the lack of LANDSCAPED OPEN SPACE – it does not comply with the LEP
4. I question the number of COMMERCIAL CAR PARKING spaces – it does not comply with LEP
5. I question the FRONT BUILDING SETBACK – Building A does not comply with the LEP
6. One MUST question the LAND USE in regard to H1 and H2 - surely these are not consistent with the LEP restrictions

This is an appalling development that is not in keeping with the casual beach nature of our suburb.

In addition the potential loss of the Growers business will be a great shame. The quality of fruit and vegetables and the variety of the deli section attracted me from many suburbs away before I moved to the area.

Yours sincerely,

A handwritten signature in black ink, appearing to read "Sonya".

Sonya Watson

5/16 Soldiers Ave

Freshwater