

BASIX COMMITMENTS

- READ DRAWINGS IN CONJUNCTION WITH THE ATTACHED BASIX CERTIFICATE #A329994 SUBMITTED WITH THE DEVELOPMENT APPLICATION:
- THE OUTDOOR SWIMMING POOL MUST NOT HAVE A CAPACITY GREATER THAN 36 KILOLITRES. INSTALL A POOL PUMP & HEATING SYSTEM FOR THE SWIMMING POOL TO BE SOLAR ONLY.
 - THE APPLICANT MUST INSTALL A RAINWATER TANK OF AT LEAST 1575 LITRES ON THE SITE. THE RAINWATER TANK TO COLLECT RAINWATER RUNOFF FROM AT LEAST 90 SQUARE METRES OF ROOF AREA. CONNECT THE RAINWATER TANK TO A TAP LOCATED WITHIN 10 METRES OF THE EDGE OF THE POOL.
 - PROVIDE A HEATING/COOLING SYSTEM TO ACHIEVE THE REQUIRED STAR ENERGY RATING.
 - A NEW 'GAS INSTANTANEOUS' HOT WATER SYSTEM TO BE INSTALLED [POSITION T.B.C]
 - A MINIMUM OF 40% OF NEW OR ALTERED LIGHT FIXTURES ARE TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS.
 - ALL NEW or ALTERED SHOWERHEAD, TOILET & TAP FIXTURES TO ACHIEVE THE REQUIRED STAR WATER RATING.
 - ADDITIONAL NEW FLOOR, WALL & ROOF CEILING INSULATION TO HAVE THE MINIMUM R-VALUES AS SPECIFIED IN THE CERTIFICATE
 - ALL NEW WINDOWS & SKYLIGHTS TO HAVE U-VALUE AND A SOLAR HEAT GAIN COEFFICIENT NO GREATER THAN THAT LISTED IN THE BASIX TABLE REQUIREMENTS.
 - THE NEW ROOF COLOUR TO BE OF MEDIUM SOLAR ABSORPTANCE.

LEGEND

- EXISTING HOUSE WALLS:**
HOUSE WALLS AS IS AND PER SURVEY
- PROPOSED NEW BLD WALLS**
EXTERNAL WALLS BRICK AND/OR WEATHERBOARD WALLS
INTERNAL FRAMED LIGHT WEIGHT PLASTERBOARD WALLS
- PROPOSED ADDITION:**
HOUSE EXTENSION EXTRA GFA
- DEMOLITION,**
EXISTING SEMI WALLS & FIXTURES TO BE DEMOLISHED
- ADJOINING NEIGHBOURING PROPERTIES**
AS PER SITE SURVEY PLAN
- CONCRETE**
REINFORCED CONCRETE TO ENGINEER DETAILS
- TIMBER FLOOR:**
SELECTED HARDWOOD FLOOR
- WET AREA TILING**
SELECTED FLOOR TILES TO FALLS & SET-OUT TO DETAIL
- ROOFING**
COLOURBOND METAL ROOFING TO FALLS

SYMBOLS

- WINDOW LABEL**
PLAN/ SECTION REFERENCE
- EXISTING WINDOW**
PLAN/ ELEVATION REFERENCE
- DOOR LABEL**
RL (LEVELS)
- DC/PLEP WALL HEIGHT LINE**
FLOOR LEVELS

DRAWING LIST

ARCHITECTURAL DRAWING SET - DA

DRAWING NO.	ISSUE NO.	ISSUE	DRAWING NAME	SCALE (PAGE SIZE)	DATE ISSUED
DA.01	DA	C	Cover Sheet + Site Plan	1/200	05/11/2018
DA.02	DA	C	Roof Plan	1/100	05/11/2018
DA.03	DA	C	Existing Lower Ground Floor Plan	1/100	05/11/2018
DA.04	DA	C	Existing Ground Floor Plan	1/100	05/11/2018
DA.05	DA	C	Demolition Lower Ground Floor Plan	1/100	05/11/2018
DA.06	DA	C	Demolition Ground Floor Plan	1/100	05/11/2018
DA.07	DA	C	Lower Ground Floor Plan	1/100	05/11/2018
DA.08	DA	C	Ground Floor Plan	1/100	05/11/2018
DA.09	DA	C	First Floor Plan	1/100	05/11/2018
DA.10	DA	C	Elevations North/South	1/100	05/11/2018
DA.11	DA	C	Elevations East/West	1/100	05/11/2018
DA.12	DA	C	Sections	1/100	05/11/2018
DA.13	DA	C	Perspectives	-	05/11/2018
DA.14	DA	C	Glazing Schedule	-	05/11/2018

PROJECT TEAM

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- COUNCIL**
NORTHERN BEACHES COUNCIL
MANLY CIVIC CENTRE
1 BELGRAVE STREET
MANLY NSW 2095

GENERAL

- + DA NOTICE OF DETERMINATION & DEVELOPMENT CONSENT:
THE DEVELOPMENT TO BE SUBSTANTIALLY IN ACCORDANCE WITH THE APPROVED CONSENT PLANS AND SUPPORTING INFORMATION SUBMITTED WITH THE DA or CDC.
THIS SET OF DRAWINGS HAVE TO BE READ IN CONJUNCTION WITH THE ISSUED CONSENT AND 'STAMPED APPROVED' PLANS. PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION WORK ON SITE THE NECESSARY CDC or CC APPROVALS & NOTICE OF COMMENCEMENT PAPERS MUST BE SUBMITTED/OBTAINED FROM THE CERTIFYING AUTHORITY IN ACCORDANCE WITH THE ACT.
- + DRAWING INFORMATION:
THE BUILDING IS PRINCIPALLY THAT WHICH IS DEPICTED IN THE ARCHITECTURAL PLANS, DETAILS & SPECIFICATIONS PREPARED BY DU PLESSIS + DU PLESSIS ARCHITECTS TOGETHER WITH SUPPORTING CONSULTANT DOCUMENTATION.
- + SITE SURVEY INFORMATION:
THE SITE INFORMATION HEREIN HAS BEEN TRANSPOSED FROM THE TRUE NORTH SURVEY PLAN #8732DU. REFER TO THIS SURVEY DRAWING TO CONFIRM BOUNDARIES, EXISTING FEATURES, LEVELS & DATUM.
ALL LEVELS AND BOUNDARY SETBACKS TO BE CONFIRMED ON SITE. NOTE SEMI COMMON BDY WALL TO BE DETERMINED ACCURATELY.
- + COORDINATION:
REFER TO AND COORDINATE INFORMATION CONTAINED IN THE ARCHITECTURAL DRAWINGS AND THE DOCUMENTATION OF OTHER CONSULTANTS. REPORT DISCREPANCIES BETWEEN THE DOCUMENTS AND/OR WITH CONDITIONS ON SITE TO THE ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS
- + DETAIL DRAWINGS:
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- + EXECUTION OF THE WORKS:
EXECUTE THE WORKS IN COMPLIANCE WITH THE CURRENT EDITION OF THE NCC NATIONAL CONSTRUCTION CODE, CURRENT EDITIONS OF RELEVANT AUSTRALIAN AND OTHER PUBLISHED STANDARDS (AS AMENDED) AND THE REQUIREMENTS OF OTHER AUTHORITIES RELEVANT TO THE EXECUTION OF THE WORKS.

1 Site Plan
1 : 200

ABBREVIATIONS

- AC AIR CONDITIONED
AHD AUSTRALIAN HEIGHT DATUM
ADH ADHESIVE
AG AGGREGATE
AL ALUMINIUM
AW AWNING
B BALUSTRADE
BK BRICK WALL
BIT BITUMEN
BHD BULKHEAD
BOW BOTTOM OF WALL
BM BENCHMARK
BW BLOCKWORK WALL
C CONCRETE
CANT CANTILEVER
CJ CONSTRUCTION JOINT
CL CENTRE LINE
CW CONCRETE WALL
CLIN COLUMN
CPT CARPET
DIM DIMENSION
DP DOWNPIPE
DR DRAIN
EJ EXPANSION JOINT
ENG ENGINEER
EWS EXTERNAL WALL SYSTEM
EX EXISTING
EXH EXHAUST
F FALL TO SCREED
FG FIXED GLAZING
- FIG FIGURE
FFL FINISHED FLOOR LEVEL
FE FIRE EXTINGUISHER
FR FIRE RESISTANT
FW FLOOR WASTE
G GLASS
GALV GALVANIZED
GP GAS POINT
H HYDRANT
HWS HOT WATER SYSTEM
HYD HYDRAULIC
LS LANDSCAPING
LV LOUVRE
MECH MECHANICAL
MDF MEDIUM DENSITY FIBRO BOARD
MOD MODIFICATION
MR METAL ROOFING
MS MILD STEEL
MV MECHANICAL VENTILATION
NGL NATURAL GROUND LEVEL
NTS NOT TO SCALE
OFC OFF FORM CONCRETE
OC OBSCURE GLAZING
OH OVER HEAD
P SELECTED PAVING
PB PLASTERBOARD
PFC PARALLEL FLANGE CHANNEL
PL PLANTER
PS POWER POLE
PS PRIVACY SCREEN
- PW PLASTERBOARD WALL
QTY QUANTITY
REF REFERENCE
RW RENDERED & PAINTED WALL
RWH RAIN WATER HEAD
RWP RAIN WATER PIPE
RL REDUCED LEVEL
RC REINFORCED CONCRETE
SB MAIN ELECTRICAL SWITCH BOARD
SC STEEL COLUMN
SHR SHOWER
SLD SLIDING DOOR
SPEC SPECIFICATION
SS STAINLESS STEEL
SSL STRUCTURAL SLAB LEVEL
SW STONE WALL
STD STANDARD
SWP STORM WATER PIT
T TILE
TD TIMBER DECKING
TOW TOP OF WALL
TYP TYPICAL
UB UNIVERSAL BEAM
US UNDERSIDE
V VENTILATION
W WINDOW
WC WATER CLOSET
WM WATER MAIN
WT WASH TROUGH
WPM WATER PROOFING MEMBRANE

Residential Alterations & Additions CLASS 1a Building
7 CLIFFORD AVENUE, FAIRLIGHT
LOT B; SEC 1 - D.P. 315261
EXISTING SITE AREA 522.5m²

NOTES

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THE SITE INFORMATION HEREIN HAS BEEN TRANSPOSED FROM THE C.M.S. SURVEYORS PTY LTD SURVEY PLAN No.8732. REFER TO THIS DRAWING TO CONFIRM BOUNDARIES, EXISTING FEATURES, LEVELS & DATUM.
EXISTING HOUSE WALL MEASUREMENTS (INTERNAL) BY V. MARK SURVEYS AND ACCURACY T.B.C ON SITE.
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A	02/07/2018	Preliminary DA Issue for Review
B	19/10/2018	DA Issue for Review
C	05/11/2018	DEVELOPMENT APPLICATION

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0433408368
www.droom.com.au

NSW REGISTERED ARCHITECT #7435
NOMINATED ARCHITECT: EUGENE DU PLESSIS

PROJECT TITLE:
OPADCHY
House Alterations & Additions

CLIENT NAME:
GEORGE + TATIANA OPADCHY

ADDRESS:
7 Clifford Avenue
Fairlight NSW 2094

DRAWING TITLE:
Cover Sheet + Site Plan

DRAWN:
AH

CHECKED:
EDUP

SCALE:
1:200@A1

DRAWING NO:

DA.01

ISSUE:
C

DATE:
05/11/2018

DEVELOPMENT APPLICATION

BASIX COMMITMENTS

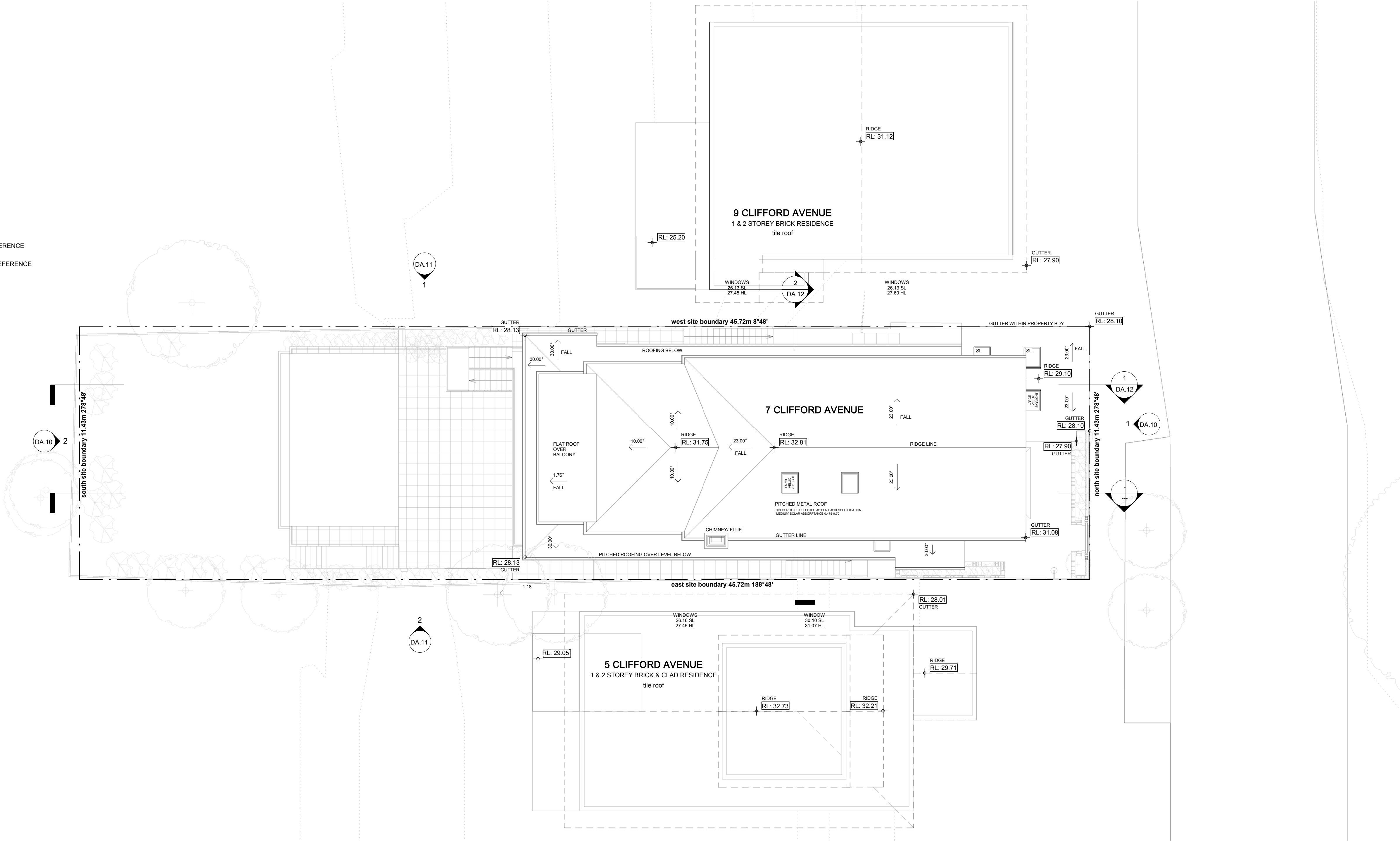
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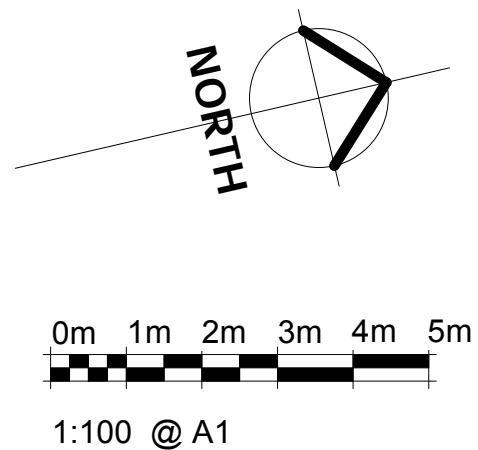
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SYMBOLS

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N° Type
- EXISTING WINDOW**
EX Type
- DOOR LABEL**
N° Type
- PLAN/ SECTION REFERENCE**
N° Sheet
- PLAN/ ELEVATION REFERENCE**
Sheet N°
- RL (LEVELS)**
+
- FLOOR LEVELS**
▽
- DC/PILE WALL HEIGHT LINE**



1 Roof Plan
1 : 100



NOTES

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Fairlight NSW 2094

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Roof Plan

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SCALE:
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DRAWING NO:







DA.02

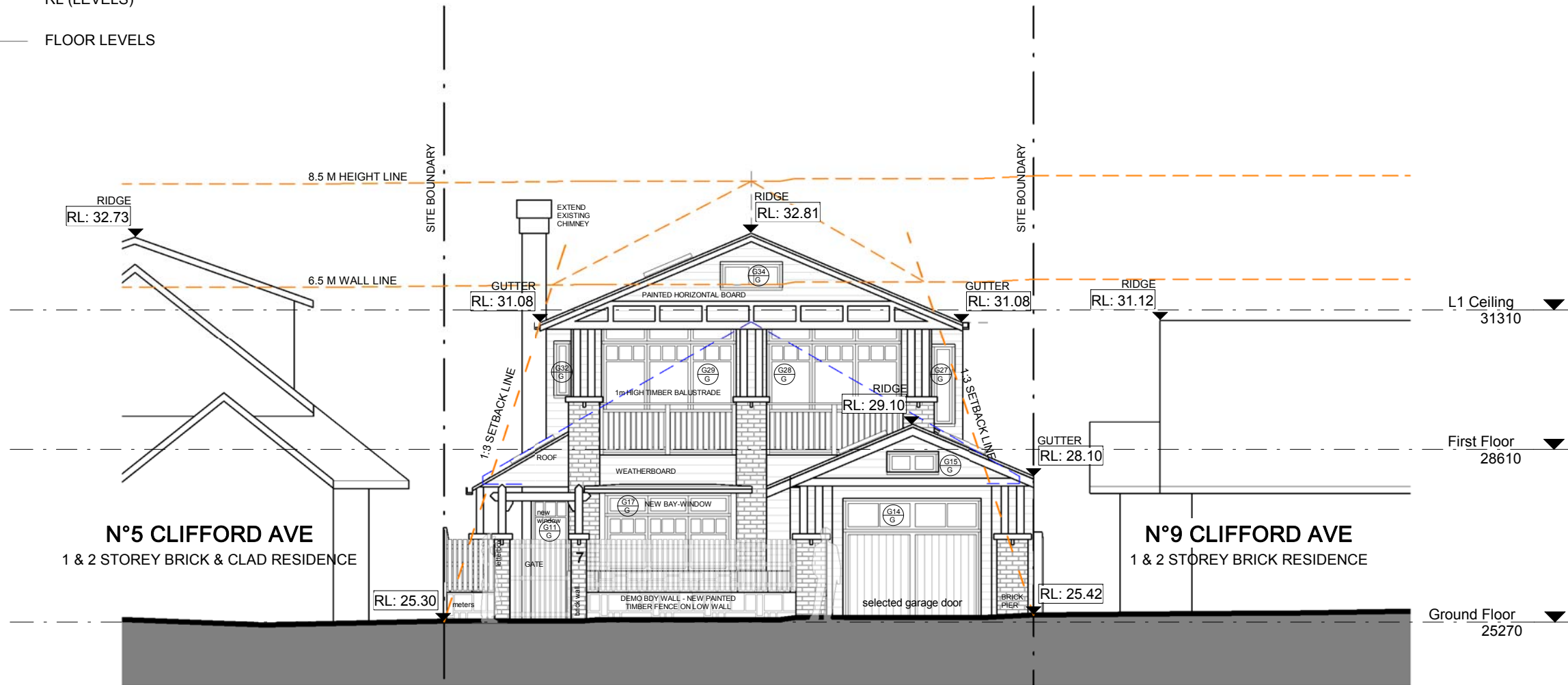
ISSUE:
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DATE:
05/11/2018

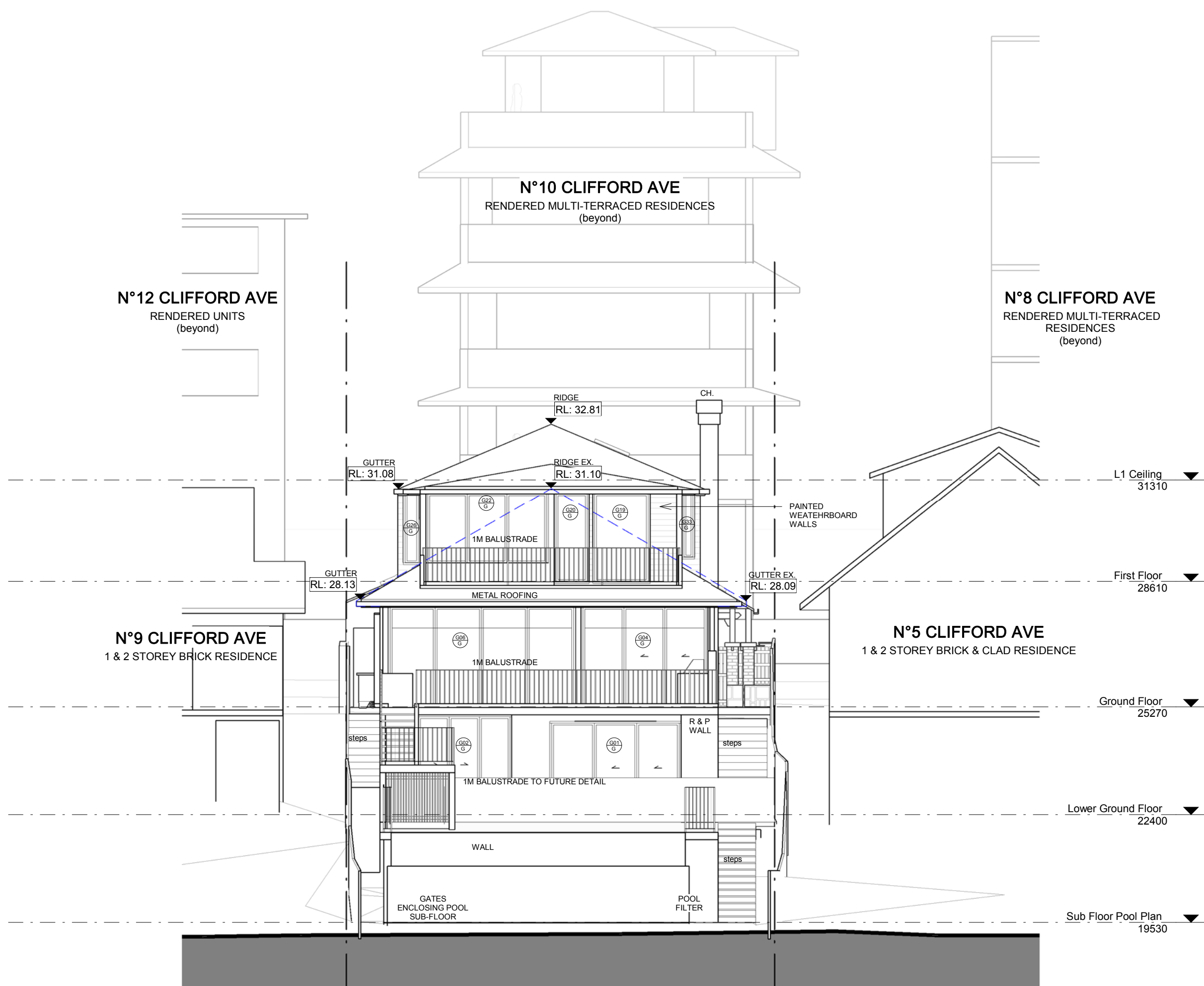
DEVELOPMENT APPLICATION

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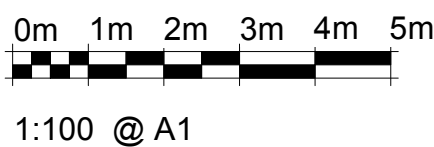
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|---|-----------------|---|---------------------------|
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2 South Elevation
1 : 100



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OPADCHY
House Alterations & Additions

CLIENT NAME:
GEORGE + TATIANA OPADCHY

ADDRESS:
7 Clifford Avenue
Fairlight NSW 2094

DRAWING TITLE:
Elevations North/South

DRAWN: AH	CHECKED: EDUP
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SCALE:
1:100@A1

DRAWING NO:

DA.10

ISSUE:	DATE:
C	05/11/2018

DEVELOPMENT APPLICATION

BASIX COMMITMENTS

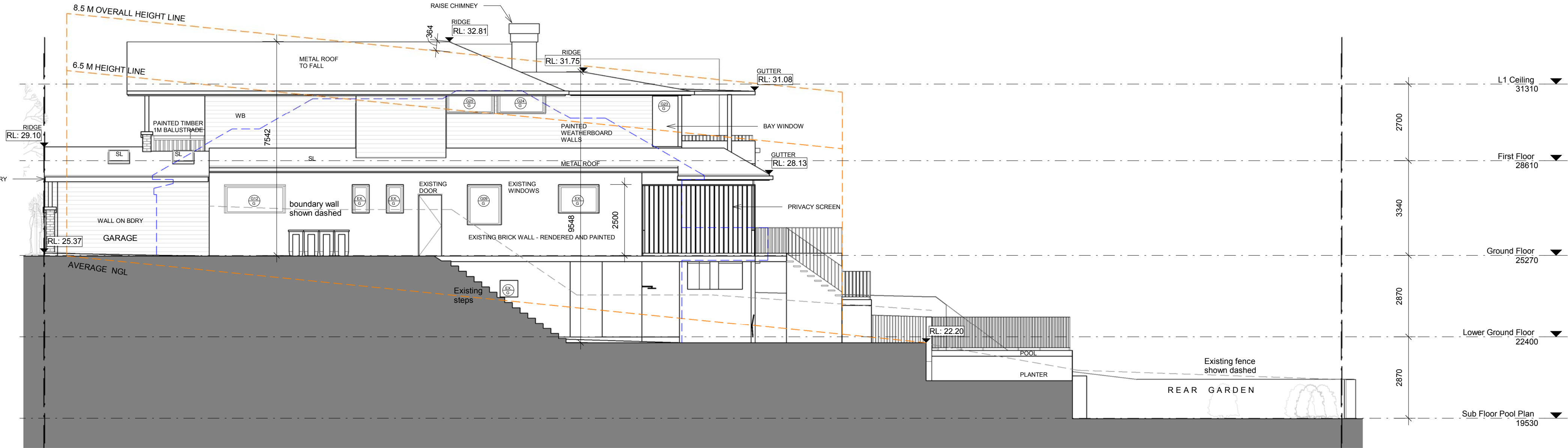
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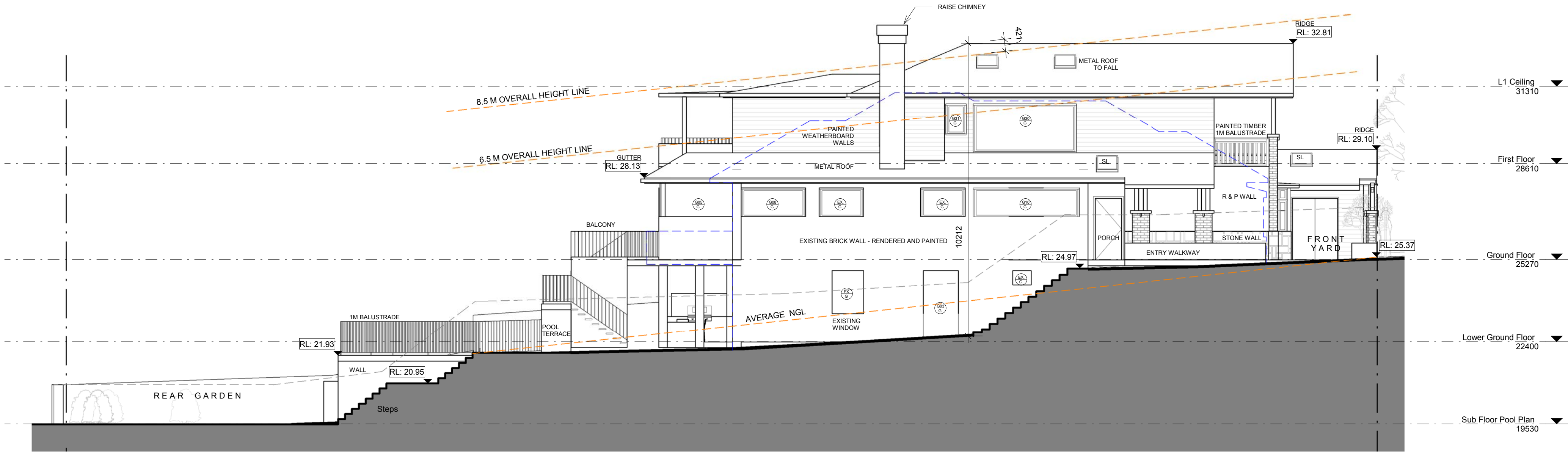
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SYMBOLS

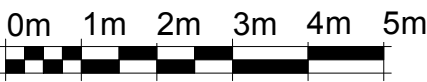
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1 West Elevation
1 : 100



2 East Elevation
1 : 100



1:100 @ A1

NOTES

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issue	date	description
A	02/07/2018	Preliminary DA Issue for Review
B	19/10/2018	DA Issue for Review
C	05/11/2018	DEVELOPMENT APPLICATION

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NSW REGISTERED ARCHITECT #7435
NOMINATED ARCHITECT: EUGENE DU PLESSIS

PROJECT TITLE:
OPADCHY
House Alterations & Additions

CLIENT NAME:
GEORGE + TATIANA OPADCHY

ADDRESS:
7 Clifford Avenue
Fairlight NSW 2094

DRAWING TITLE:
Elevations East/West

DRAWN:
AH

CHECKED:
EDUP

SCALE:
1:100@A1

DRAWING NO:

DA.11

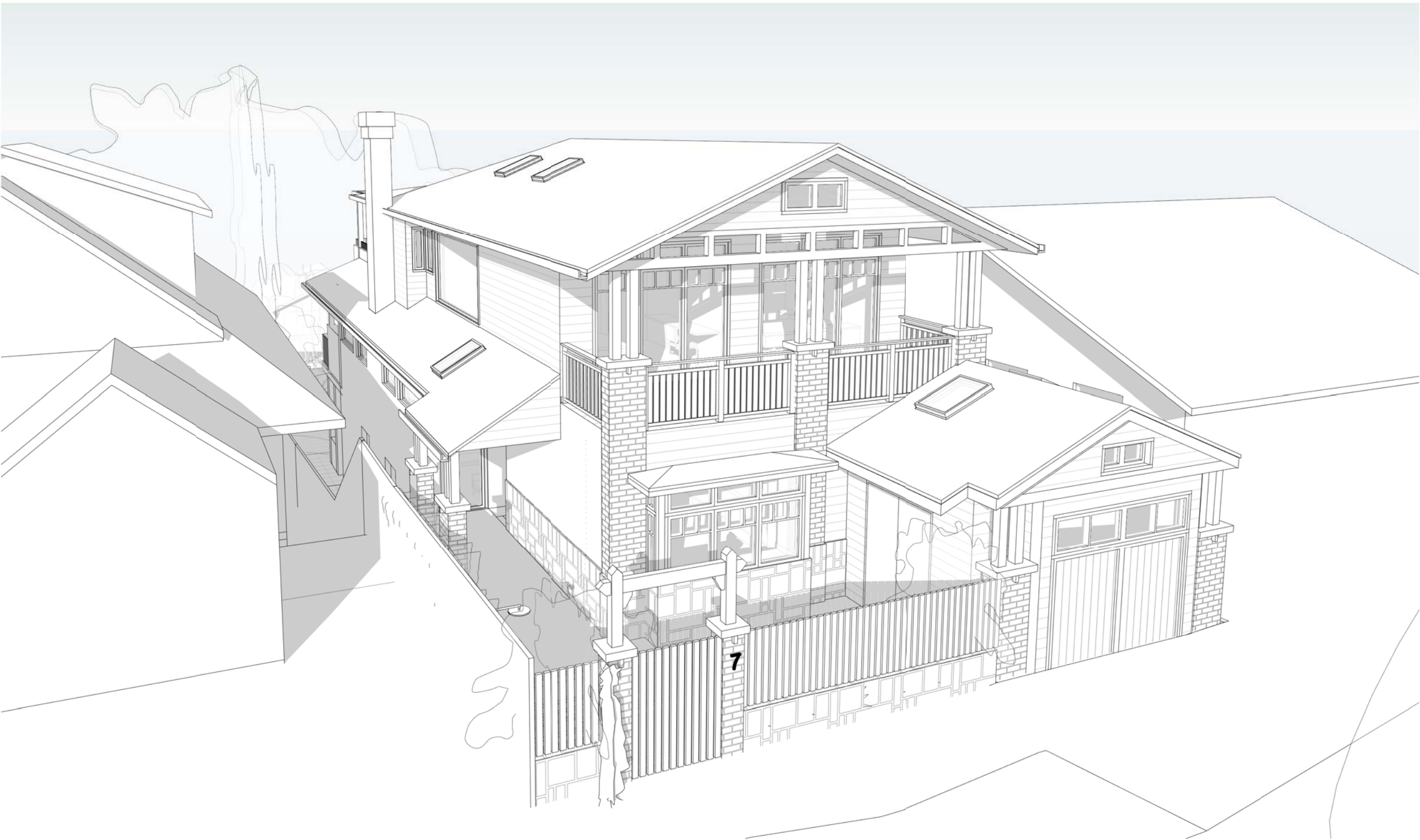
ISSUE:
C

DATE:
05/11/2018

DEVELOPMENT APPLICATION



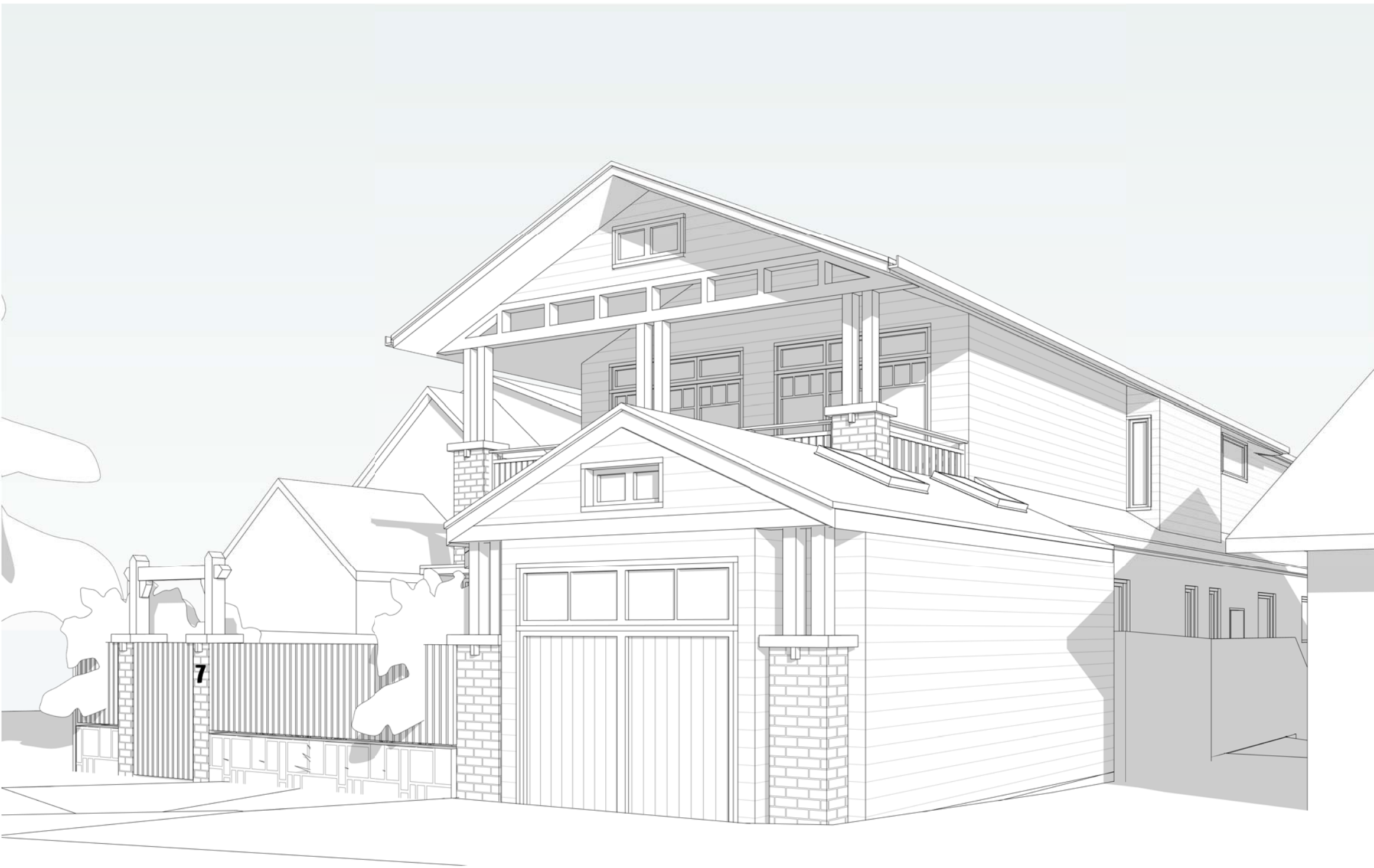
1 Perspective North



3 Perspective Northeast



2 Perspective - Southwest



4 Perspective Northwest

NOTES

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C	05/11/2018	DEVELOPMENT APPLICATION

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NSW REGISTERED ARCHITECT #7435
NOMINATED ARCHITECT: EUGENE DU PLESSIS

PROJECT TITLE:
**OPADCHY
House Alterations & Additions**

CLIENT NAME:
GEORGE + TATIANA OPADCHY

ADDRESS:
**7 Clifford Avenue
Fairlight NSW 2094**

DRAWING TITLE:
Perspectives

DRAWN: AH	CHECKED: EDUP
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SCALE:

DRAWING NO:

DA.13

ISSUE: C	DATE: 05/11/2018
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DEVELOPMENT APPLICATION

NOTES

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issue	date	description
A	02/07/2018	Preliminary DA Issue for Review
B	19/10/2018	DA Issue for Review
C	05/11/2018	DEVELOPMENT APPLICATION

Glazing Schedule												
GLAZING	WINDOW TYPE	FLOOR	AREA	LENGTH	HEIGHT	SILL HEIGHT	ORIENTATION	FUNCTION	QUANTITY	FRAME TYPE	SHADING	HARDWARE
G01		LG	9 m²	3486	2500	0		Exterior	1	TIMBER		
G02		LG	7 m²	2523	2670	0		Exterior	1	TIMBER		
G03		LG	3 m²	1220	2500	0		Exterior	1	TIMBER		
G04		GF	9 m²	3365	2700	0		Exterior	1	TIMBER		
G05		GF	6 m²	2401	2700	0		Exterior	1	TIMBER		
G06		GF	13 m²	4990	2700	0		Exterior	1	TIMBER		
G07		GF	9 m²	3775	2500	0		Exterior	1	TIMBER		
G08		GF	2 m²	2250	1000	1500		Exterior	1	TIMBER		
G09		GF	2 m²	1200	1400	1100		Exterior	1	TIMBER		
G10		GF	4 m²	3681	1000	1500		Exterior	1	TIMBER		
G11		GF	2 m²	797	2425	0		Exterior	1	TIMBER		
G12		GF	2 m²	2147	1000	1500		Exterior	1	TIMBER		
G13		GF	1 m²	700	2100	0		Exterior	1	TIMBER		
G14		GF	6 m²	2700	2400	0		Exterior	1	TIMBER		
G15		GF	0 m²	1000	400	2908		Exterior	1	TIMBER		
G16		GF	1 m²	350	1500	1000		Exterior	1	TIMBER		
G17		GF	4 m²	2635	1500	1000		Exterior	1	TIMBER		
G18		GF	1 m²	350	1500	1000		Exterior	1	TIMBER		
G19		FF	4 m²	1520	2400	0		Exterior	1	TIMBER		
G20		FF	2 m²	930	2400	0		Exterior	1	TIMBER		
G21		FF	2 m²	900	1800	500		Exterior	1	TIMBER		
G22		FF	6 m²	3250	1900	500		Exterior	1	TIMBER		
G23		FF	2 m²	900	1800	500		Exterior	1	TIMBER		
G24		FF	1 m²	1700	800	1700		Exterior	1	TIMBER		
G25		FF	1 m²	1700	800	1700		Exterior	1	TIMBER		
G26		FF	1 m²	450	2000	500		Exterior	1	TIMBER		
G27		FF	1 m²	450	1540	500		Exterior	1	TIMBER		
G28		FF	7 m²	2605	2500	0		Exterior	1	TIMBER		
G29		FF	7 m²	2605	2500	0		Exterior	1	TIMBER		
G30		FF	6 m²	3580	1670	430		Exterior	1	TIMBER		
G31		FF	1 m²	700	1050	1050		Exterior	1	TIMBER		
G32		FF	0 m²	330	1050	1050		Exterior	1	TIMBER		
G33		FF	1 m²	330	1895	650		Exterior	1	TIMBER		
G34		FF	1 m²	1200	500	3150		Exterior	1	TIMBER		

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NSW REGISTERED ARCHITECT #7435
NOMINATED ARCHITECT: EUGENE DU PLESSIS

PROJECT TITLE:
OPADCHY
House Alterations & Additions

CLIENT NAME:
GEORGE + TATIANA OPADCHY

ADDRESS:
7 Clifford Avenue
Fairlight NSW 2094

DRAWING TITLE:
Glazing Schedule

DRAWN: AH	CHECKED: EDUP
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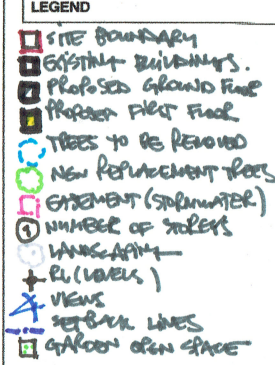
SCALE:

DRAWING NO:

DA.14

ISSUE: C	DATE: 05/11/2018
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DEVELOPMENT APPLICATION



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ISSUE	DATE	DESCRIPTION
B	20.10.2018	PRELIMINARY
C	05.11.2018	DEVELOPMENT APPLICATION

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NSW

PROJECT TITLE:
OPADCHY
House Alterations & Additions

7 Clifford Avenue
Fairlight NSW 2094

H DU PLESSIS	E DU PLESSIS
SCALE:	

SA.002

DRAWING STATUS:
DEVELOPMENT APPLICATION



SCHEDULE OF EXTERNAL COLOURS & FINISHES

Address: No. 7 Clifford Avenue, Fairlight NSW 2093

Project: Alterations to an existing residential dwelling

Applicants & Owners: George & Tatiana Opadchy

Prepared by: Du Plessis + DuPlessis Architects

Date: March 2019

Issue: NBC Council Development Application

WALLS

1. Existing house masonry walls

Make good and re-paint existing house lower level brick and/or rendered walls.

Refer Dulux paint colours below.

2. Proposed addition framed light-weight walls

Painted weatherboard cladding (typically Scyon Linea).

Refer Dulux paint colours below.

3. Garden & other feature walls

Selected sandstone wall cladding (typically Eco Outdoor).

ROOFS

4. All roofing

Pitched Colorbond metal roofs to falls [0.58 Solar Absorptance & BCA Class 'M']

Refer Colorbond roof colour below 'Windspray'

5. All roof gutters, downpipes, etc

Selected profiles (typically Stratco)

Refer Colorbond roof colour below 'Windspray'

FLOORING

6. House Terraces & Balconies

Selected large format slip free tiles to falls

Selected external grade travertine large format tiles

WINDOW & DOORS

7. All doors & Windows

White painted hardwood timber frame window & doors

Refer Dulux paint colours below.

OTHER

8. Gables, fascia, eaves, timber fretwork, privacy screens, balustrades, street picket fence, etc

White painted hardwood timber, board & other

Refer Dulux paint colours below.

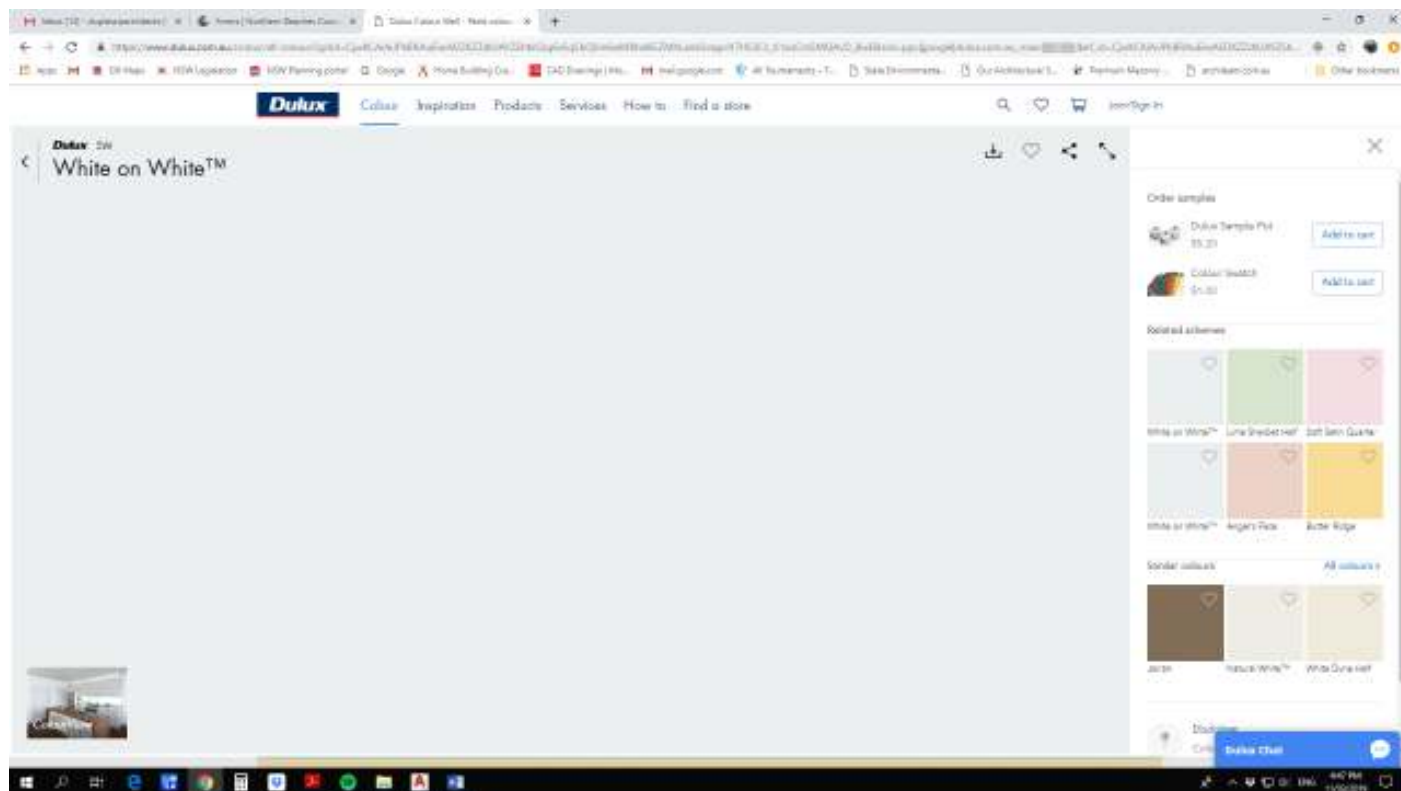
9. Pool safety fencing

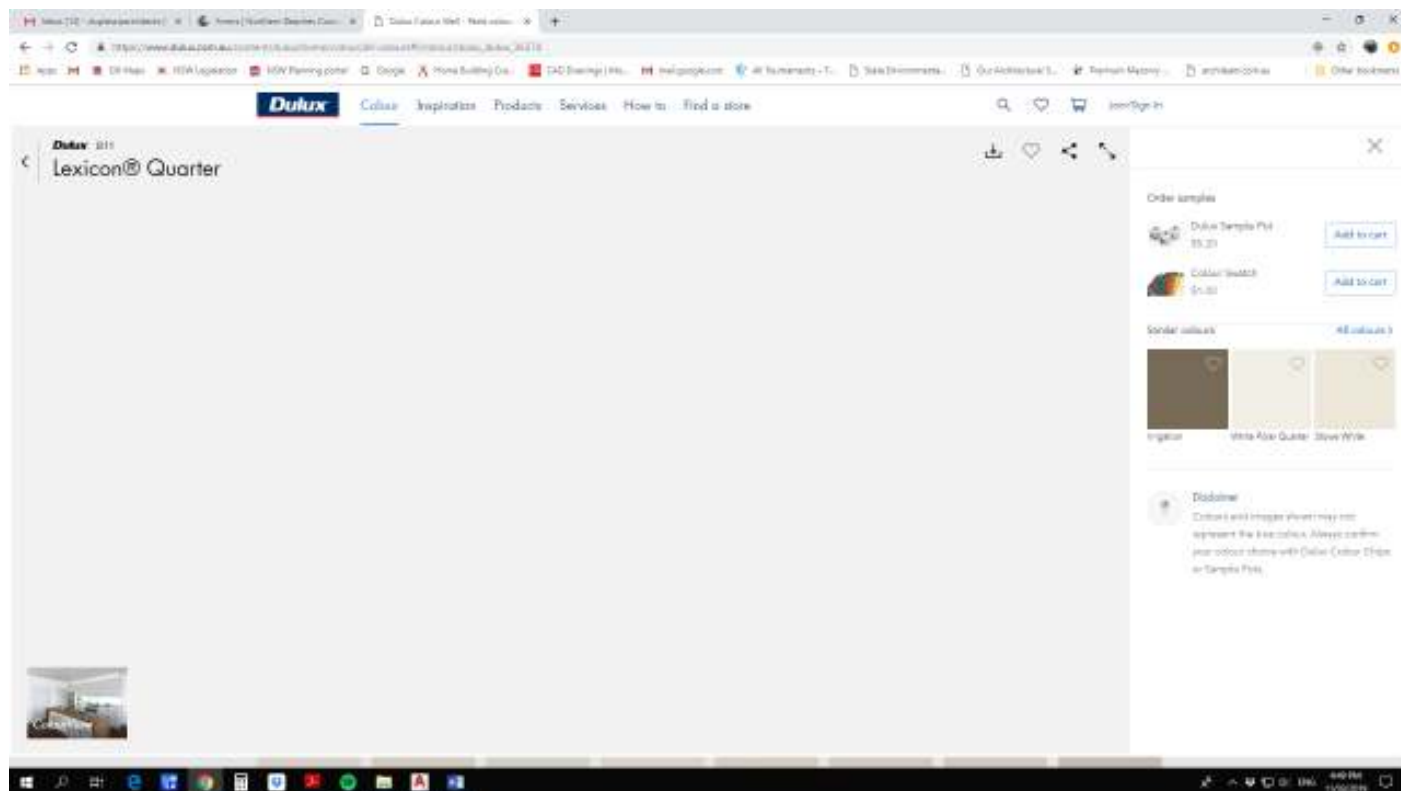
Frameless glass to detail [to comply with regulations]

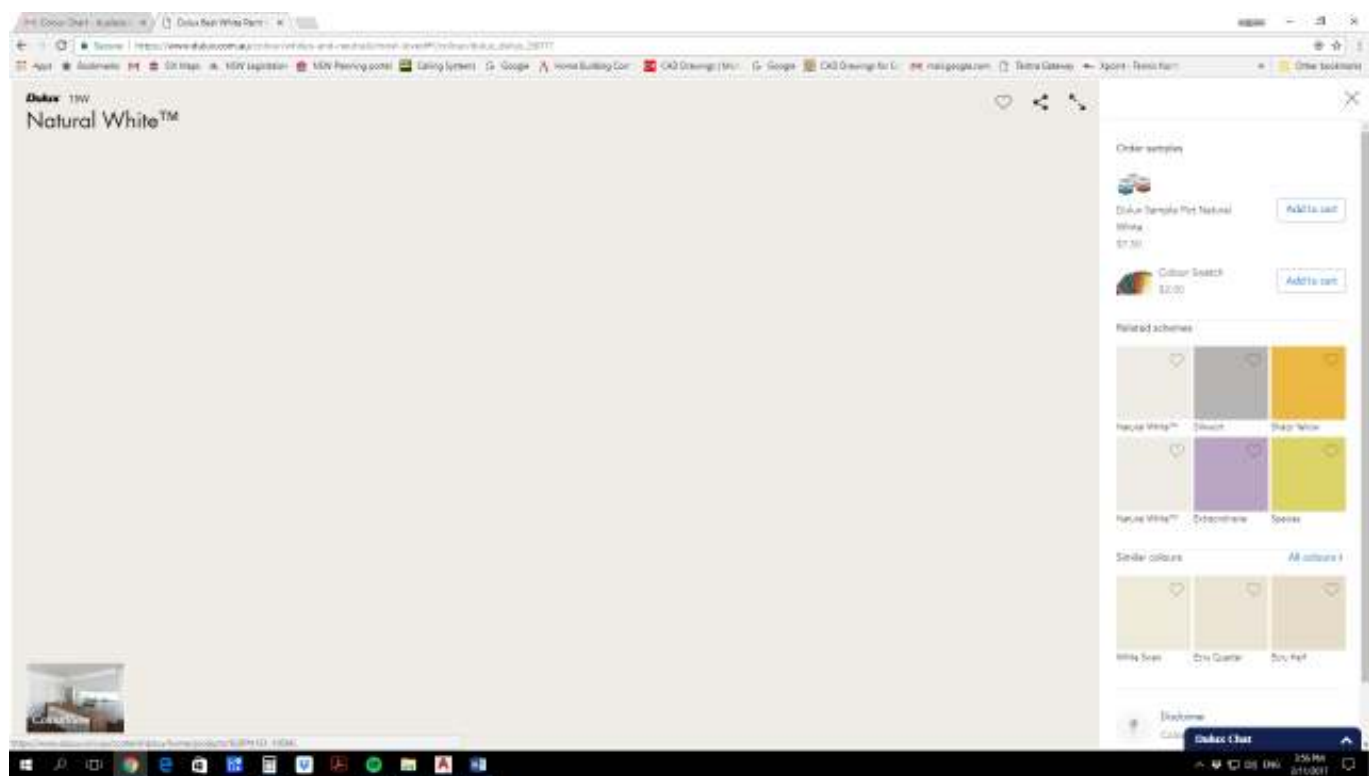
10. Skylights

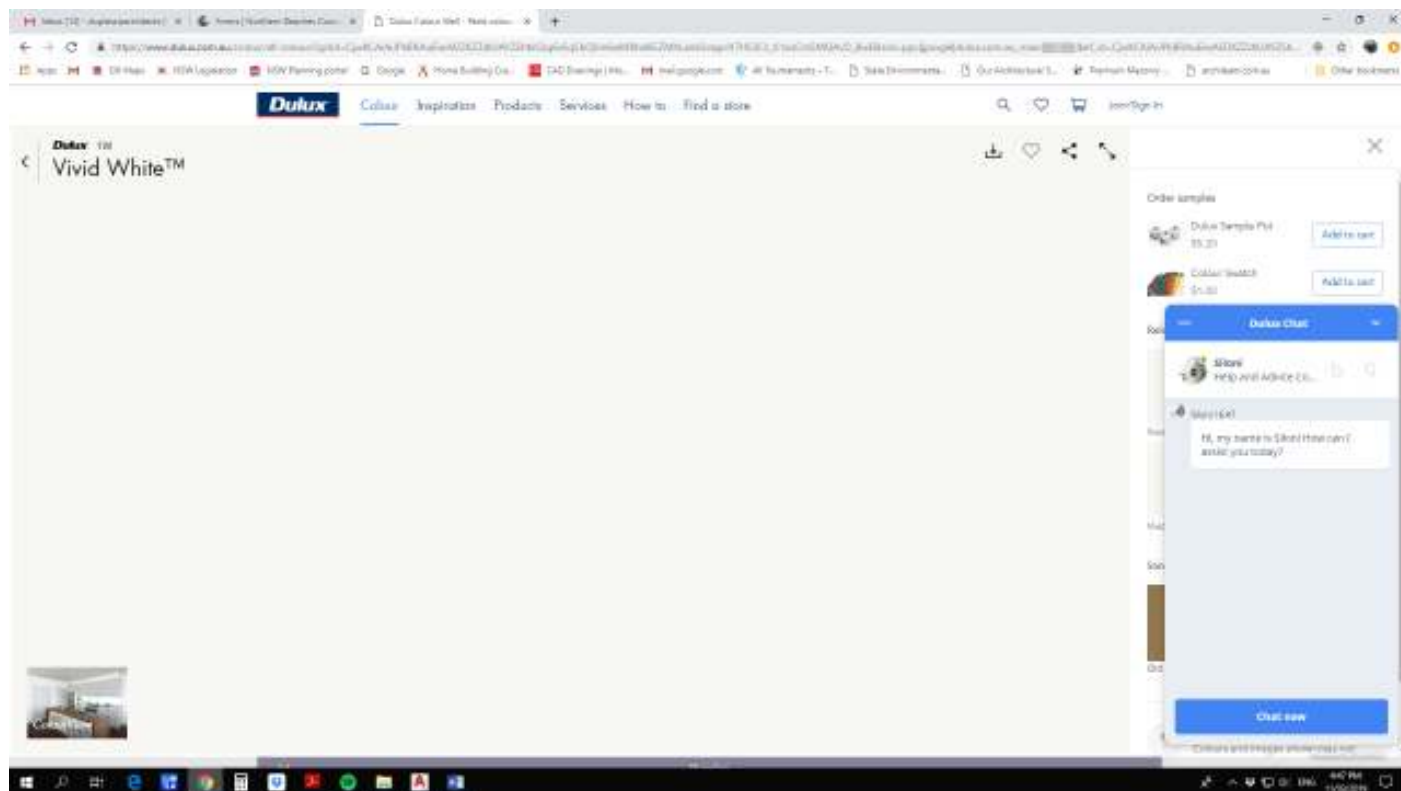
Proprietary as per manufacturer's details [Velux or similar glazing to comply with BASIX].

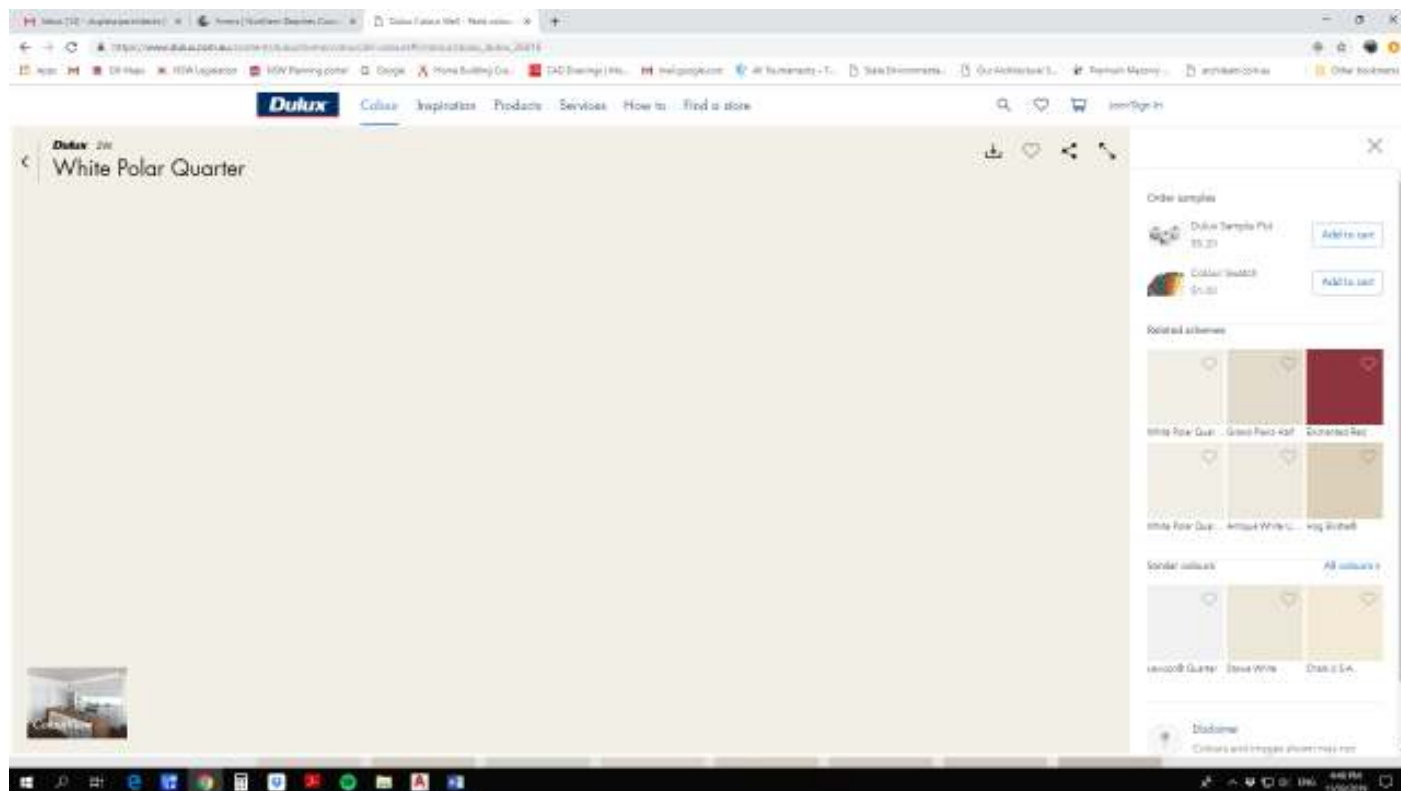
** Refer enclosed External & Internal Mood Boards*

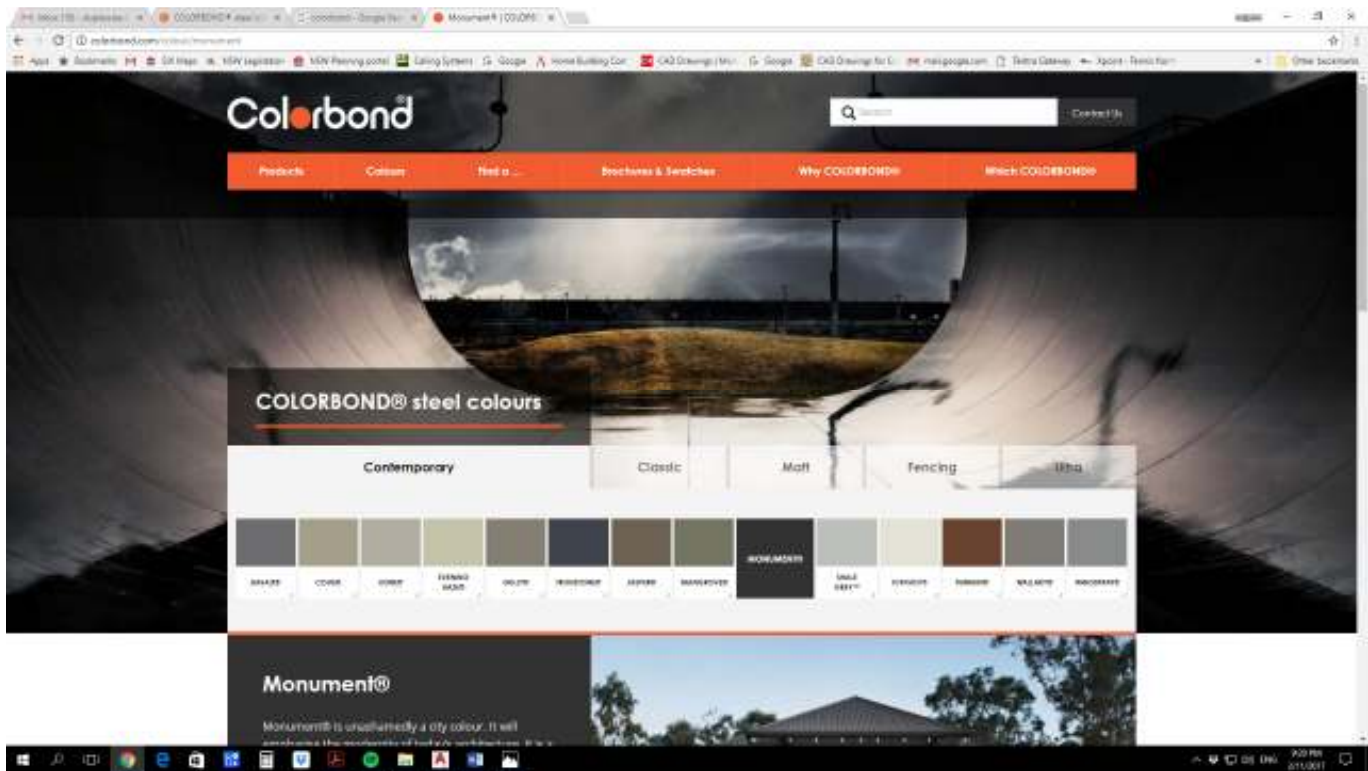






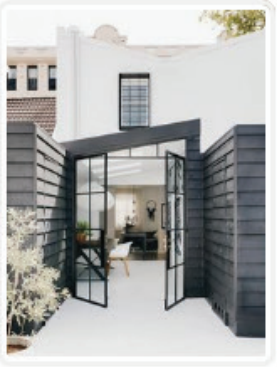
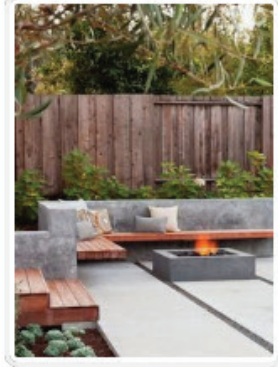
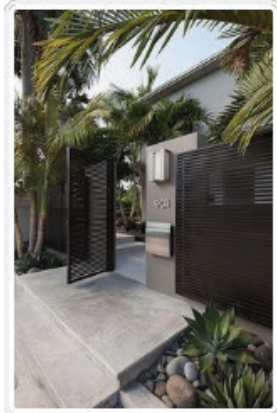
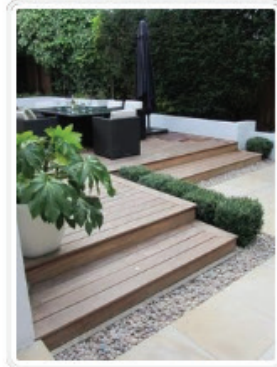
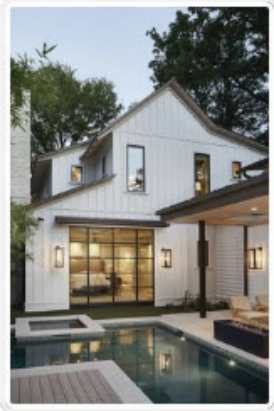
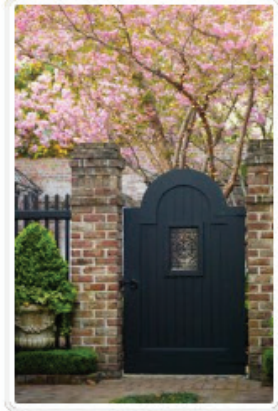
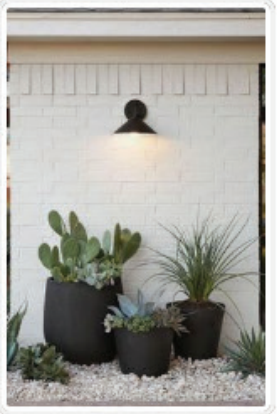
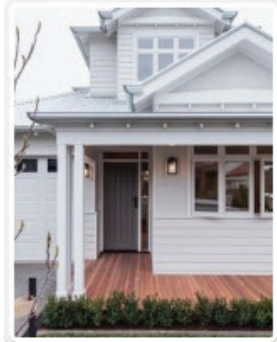






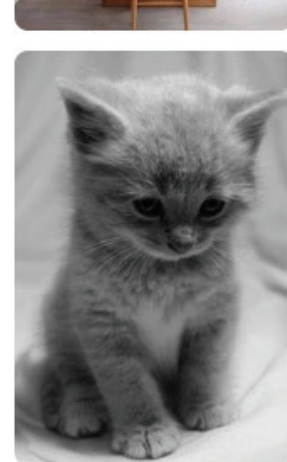
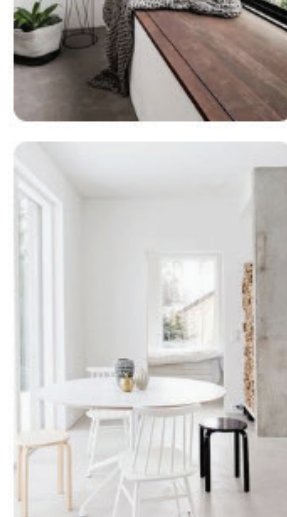
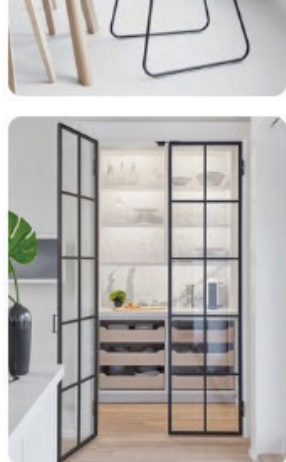
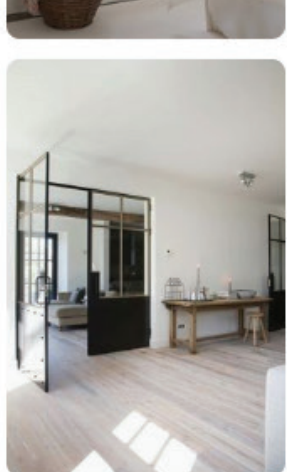
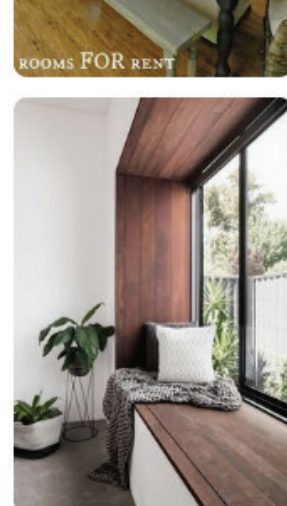
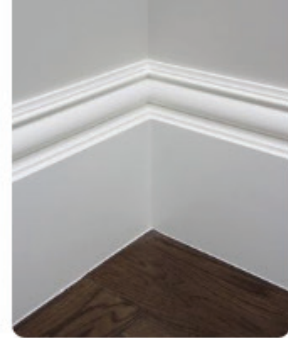
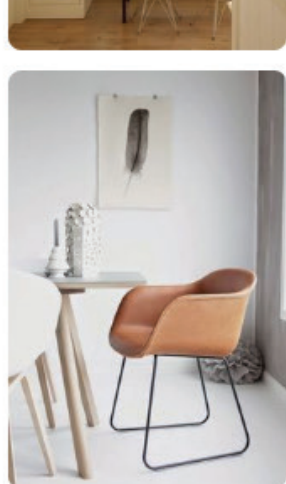
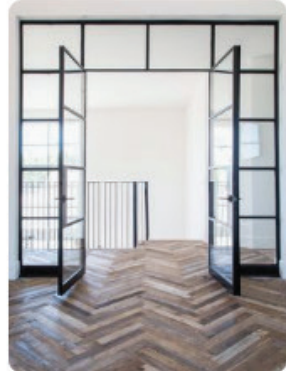
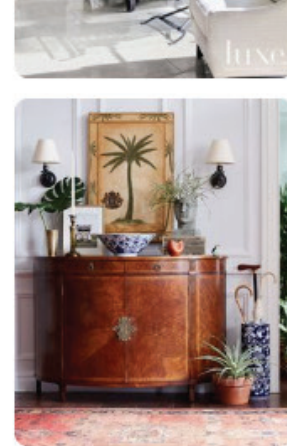
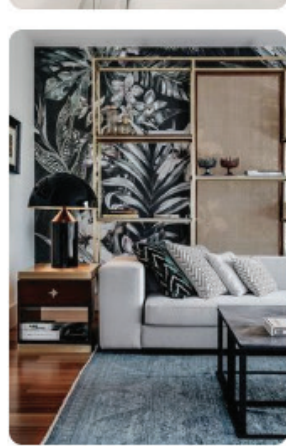
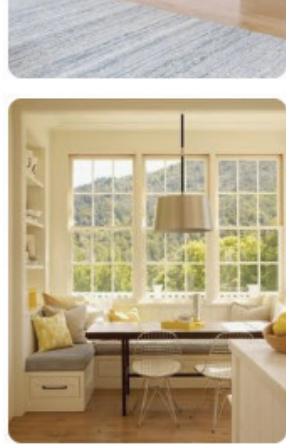
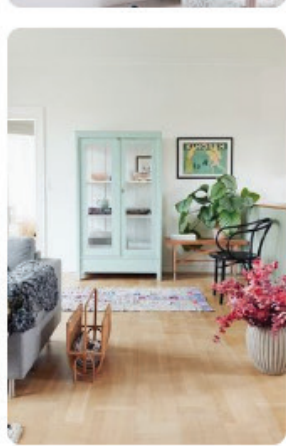
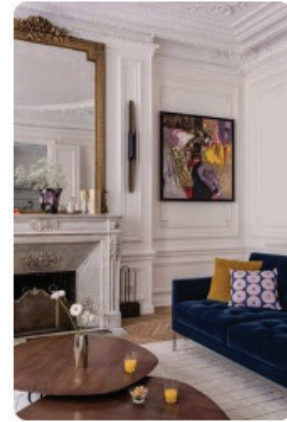
Exteriors

Colours, Gates, Flooring

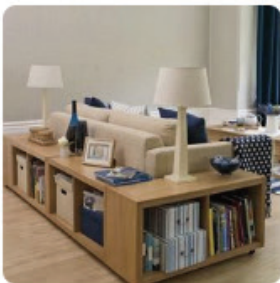
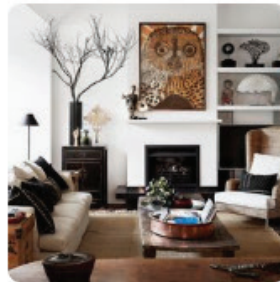
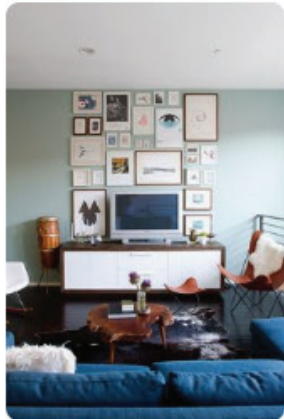
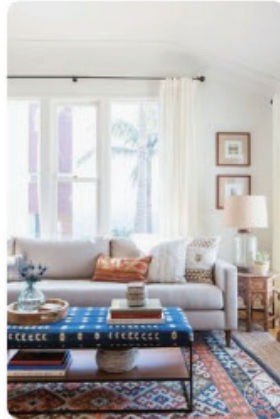


Interiors

Living and Dining Areas / 1

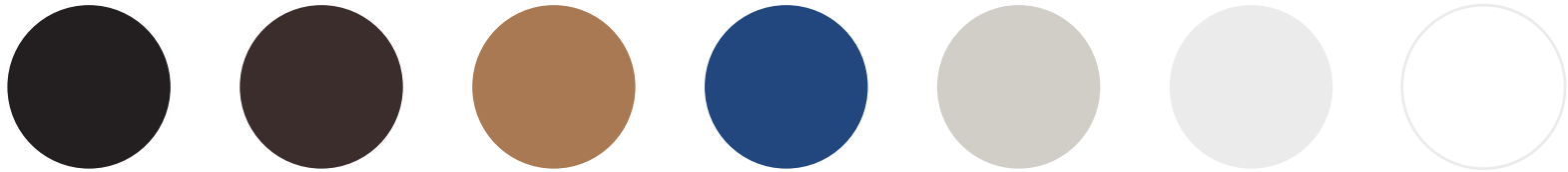


Interiors
Living and Dining Areas / 2



Colour Palette

Options



LANDSCAPE NOTES

1. SITE PREPARATION

ANY EXISTING TREES AND VEGETATION TO BE RETAINED SHALL BE PRESERVED AND PROTECTED FROM DAMAGE OF ANY SORT DURING THE EXECUTION OF LANDSCAPE WORK. IN PARTICULAR, ROOT SYSTEMS OF EXISTING PLANTS MUST NOT BE DISTURBED IF POSSIBLE.

ANY NEARBY SITE WORKS SHOULD BE CARRIED OUT CAREFULLY USING HAND TOOLS. TO ENSURE THE SURVIVAL AND GROWTH OF EXISTING TREES DURING LANDSCAPING WORKS, PROTECT BY FENCING OR ARMORING WHERE NECESSARY.

TREES SHALL NOT BE REMOVED OR LOPPED UNLESS SPECIFIC WRITTEN APPROVAL TO DO SO IS GIVEN OR IS INDICATED ON PLAN. STORAGE OF MATERIALS, MIXING OF MATERIALS, VEHICLE PARKING, DISPOSAL OF LIQUIDS, MACHINERY REPAIRS AND REFUELING, SITE OFFICE AND SHEDS, AND THE LIGHTING OF FIRES SHALL NOT OCCUR WITHIN THREE (3) METERS OF ANY EXISTING TREES.

DO NOT STOCKPILE SOIL, RUBBLE OR OTHER DEBRIS CLEARED FROM THE SITE, OR BUILDING MATERIALS, WITHIN THE DRIPLINE OF EXISTING TREES. VEHICULAR ACCESS SHALL NOT BE PERMITTED WITHIN THREE (3) METERS OF ANY TREE.

2. SOIL PREPARATION

ALL PROPOSED PLANTING AREAS TO BE DEEP RIPPED TO 300MM AND CLAY SOILS TO BE TREATED WITH CLAY BREAKER. HARVEST EXISTING TOP SOIL FROM SITE AND STORE ON SITE. MIX WITH 25% A.N.L. GREENLIFE COMPOST OR APPROVED EQUIVALENT.

APPLY AT LEAST 200MM SOIL DEPTH TO PLANTING AREAS. ADDITIONAL REQUIRED SOIL TO BE OF GOOD QUALITY PLANTING MIX TO BE IMPORTED AND COMBINED WITH 25% DEPTH A.N.L. GREENLIFE COMPOST OR APPROVED EQUIVALENT.

TO BE FULLY MIXED PRIOR TO INSTALLATION AND THEN WORKED IN WITH HOE. CARE TAKEN TO HAND CULTIVATE IN ANY AREA WHERE EXISTING TREE ROOTS EXIST TO PRESERVE HEALTH OF TREES.

3. NEW PLANTINGS

NEWLY PLANTED TREES AND LARGE SHRUBS SHOULD BE SECURED TO STAKES WITH HESSIAN TIES TO PREVENT ROCKING BY WIND.

PLANTING HOLES FOR PLANT MATERIAL SHOULD BE LARGE ENOUGH IN SIZE TO TAKE ROOT BALL WITH ADDITIONAL SPACE TO TAKE BACK FILLING OF GOOD QUALITY PLANTING MIX. (SEE DETAIL.) MATURE HEIGHTS OF PLANTING AS SHOWN ON PLANTING SCHEDULE SHOW THE GREATEST HEIGHT POSSIBLE IN IDEAL CONDITIONS.

THESE HEIGHTS ARE SUBJECT TO PARTICULAR SITE CONDITIONS, POSSIBLE CONTAINER ENVIRONMENTS AND INTENDED HEDGING OR PRUNING FOR FUNCTIONAL REQUIREMENTS SUCH AS AVAILABLE PLANTING WIDTH INTENDED ACCESS UNDER BRANCHES AND SOLAR ACCESS.

4. MULCHING

ALL PLANTING AREAS TO BE MULCHED WITH A MINIMUM 100MM THICK COVER OF FOREST PINES MULCH AND THEN ALL PLANT AREAS TO BE THOROUGHLY SOAKED WITH WATER.

5. FERTILIZER

ALL PLANTING AREAS TO BE FERTILIZED WITH 9 MONTH NPK SLOW RELEASE FERTILIZER

6. STAKING

TO THOSE PLANTS INDICATED ON THE PLANTING SCHEDULES PROVIDE HARDWOOD STAKES AS NOMINATED AND DRIVEN INTO GROUND TO A DEPTH ABLE TO ACHIEVE RIGID SUPPORT.

7. LAWN EDGING

ALL PLANTER BEDS ADJACENT TO LAWN AREAS TO HAVE FLUSH TIMBER EDGING TO FUTURE DETAIL.

8. IRRIGATION

AUTOMATIC WATERING SYSTEM TO BE SELECTED. TO EXTEND TO ALL LANDSCAPED AREAS INCLUDED IN WORKS. IN GROUND DRIP LINE IRRIGATION ONLY. EXCLUDING LAWN AREAS. THE LANDSCAPE CONTRACTOR IS TO LIAISE WITH COUNCIL AS NECESSARY TO ENSURE THAT THE IRRIGATION SYSTEM CONFORMS WITH ALL WATER BOARD, COUNCIL, AND AUSTRALIAN STANDARDS (AS) TO BE CONNECTED TO PREFABRICATED RAINWATER STORAGE TANKS LOCATED IN SUB-BASE AREA.

9. TURFING

TURF TO BE SOFT LEAF BUFFALO ON 150mm GOOD QUALITY TURF UNDERLAY OVER SOIL AREAS TO BE DEEP RIPPED TO 300MM DEPTH PRIOR TO INSTALLATION.

10. STRUCTURAL

ALL STRUCTURAL PLANTER RETAINING WALLS TO ENGINEER'S DETAILS

11. MAINTENANCE

THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE CONTRACT AREAS BY ACCEPTED HORTICULTURAL PRACTICES AS WELL AS RECTIFYING ANY DEFECTS THAT BECOME APPARENT IN THE WORKS UNDER NORMAL USE. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE WORKS AND MAKE GOOD ALL DEFECTS FOR A PERIOD OF THIRTEEN (13) WEEKS AFTER THE DATE OF PRACTICAL COMPLETION.

PRACTICAL COMPLETION OF THE LANDSCAPE WORKS SHALL INCLUDE BUT NOT BE LIMITED TO THE REPLACEMENT OF PLANTS WHICH HAVE FAILED OR BEEN DAMAGED OR STOLEN DURING WORK UNDER THE CONTRACT.

LANDSCAPE MAINTENANCE SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: WATERING, RUBBISH REMOVAL, SPRAYING AND WIPING LEAF SURFACES, REPLACING FAILED PLANTS, MAINTAINING MULCH, PRUNING, INSECT AND DISEASE CONTROL, CLEANING OF SURROUNDING AREAS.

POOL NOTES

1. POOL DESIGN

- POOL SIZE = 7.8m x 4.9m
- POOL VOLUME = MAXIMUM 36 KILOLITRES
- POOL COPING LEVEL = RL(+2.93)
- POOL FENCING = 1.2m FRAMELESS GLASS SAFETY FENCE & GATES TO COMPLY WITH STANDARDS
- POOL FILTER BOX = LOCATED IN BELOW ENCLOSED POOL VOID AREA (ACCESSED FROM LOWER GARDEN AREA)

NOTE: POOL SUBJECT TO DETAIL STRUCTURAL ENGINEERING DESIGN BY OTHERS.

2. POOL FENCING

POOL SAFETY FENCE MUST:

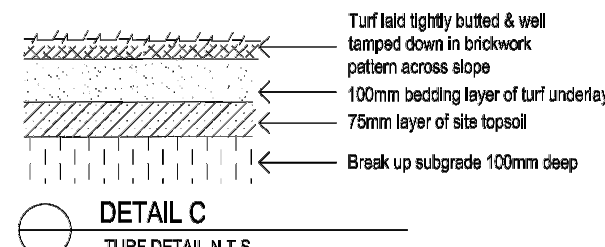
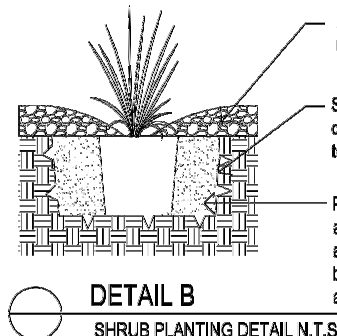
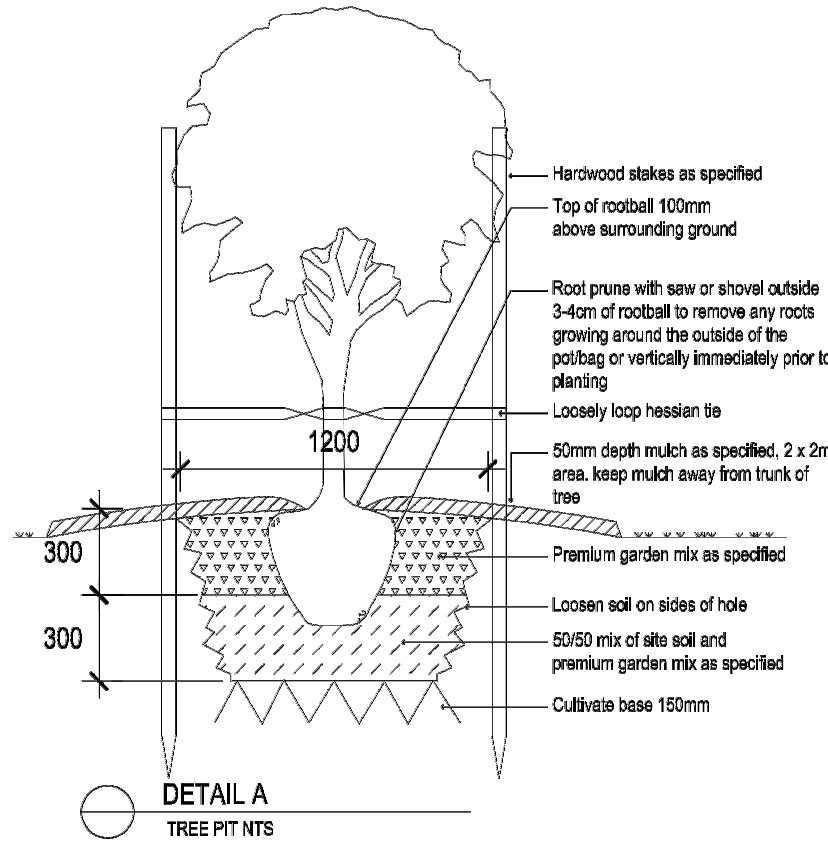
- BE AT LEAST 1.2M HIGH (AS MEASURED FROM THE FINISHED GROUND LEVEL)
- NOT LEAVE A GAP AT THE BOTTOM BIGGER THAN 100mm FROM THE FINISHED GROUND LEVEL
- IF A BOUNDARY FENCE IS PART OF THE POOL FENCE, THE BARRIER MUST BE 1.8m HIGH
- NOT HAVE GAPS OF MORE THAN 100mm BETWEEN ANY VERTICAL BARS IN THE FENCE

3. POOL REGISTRATION

OWNERS TO REGISTER THE POOL WITH COUNCIL, and/or FNSW

4. OTHER

POOL TILES, LIGHTS, ETC TO BE DECIDED.
POOL HEATING TO BE CONFIRMED.
POOL DRAINAGE TO STORMWATER ENGINEER DETAILS.



planting schedule

SYMBOL	BOTANICAL NAME	COMMON NAME	No.	MATURE HEIGHT
TREES				
PLU CB	PLUMERIA ACUTIFOLIA TRISTANOPSIS	FRANGIPANI NSW XMAS BUSH	2	2-3m 7m+
SHRUBS				
BMU MP SYR	BUXUS MICROPHYLLA 'JAPONICUM' MURRAYA SYZYGIUM RESILIENCE	JAPANESE BOX ORANGE JESSAMINE LILLY PILLY [HEDGED]	8 10 12	0.5m 1.5m 2-2.5m
ORNAMENTAL GRASSES				
LOT	LOMANDRA LONGIFOLIA	FINE LEAF DWARF LOMANDRA	6	0.5m
TURF				
SWB	SIR WALTER BUFFALO	BUFFALO LAWN	N/A	N/A



PHOTOGRAPH 1
EXISTING REAR YARD GARDEN

LEGEND

- TURF
LAWN AREAS
- PLANTING BEDS
GARDEN AREAS
- EXISTING SITE TREES
TO REMAIN
- NEW SITE TREES
PROPOSED ENDOMIC TREES
- TREES TO BE REMOVED
REFER ARBORIST REPORT

NOTES

• SITE SURVEY INFORMATION:

THE SITE INFORMATION HEREIN HAS BEEN TRANSPOSED FROM THE TRUE NORTH SURVEY'S SURVEY PLAN #873204. REFER TO THIS SURVEY DRAWING TO CONFIRM BOUNDARIES, EXISTING FEATURES, LEVELS & DATUM. HOUSE WALL MEASUREMENTS (INTERNAL) BY THE ARCHITECT AND ACCURACY T.B.C ON SITE.

• COORDINATION:

REFER TO AND COORDINATE INFORMATION CONTAINED IN THE ARCHITECTURAL DRAWINGS AND THE DOCUMENTATION OF OTHER CONSULTANTS WITH THE SPECIFICATION FOR BUILDING WORKS. REPORT DISCREPANCIES BETWEEN THE DOCUMENTS AND/OR WITH CONDITIONS ON SITE TO THE ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.

• DETAIL DRAWINGS:

UNLESS NOTED OTHERWISE REFER TO DETAIL DRAWINGS FOR SET-OUT INFORMATION. DETAIL DRAWINGS AT LARGER SCALES TAKE PRECEDENCE OVER GENERAL ARRANGEMENT DRAWINGS AT SMALLER SCALES. IF IN DOUBT NOTIFY ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.

• EXECUTION OF THE WORKS:

EXECUTE THE WORKS IN COMPLIANCE WITH THE CURRENT EDITION OF THE BUILDING CODE OF AUSTRALIA (AS AMENDED), CURRENT EDITIONS OF RELEVANT AUSTRALIAN AND OTHER PUBLISHED STANDARDS (AS AND BS) AND THE REQUIREMENTS OF OTHER AUTHORITIES RELEVANT TO THE EXECUTION OF THE WORKS.

ISSUE	DATE	DESCRIPTION
B C	20.10.2018 05.11.2018	PRELIMINARY DEVELOPMENT APPLICATION

CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK.

FOURTED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.

ALL DIMENSIONS ARE IN MILLIMETRES (MM).

PLEASE NOTIFY DU PLESSIS + DU PLESSIS ARCHITECTS IMMEDIATELY SHOULD ANY DISCREPANCIES BE FOUND.

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THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH CONSULTANT'S OTHER DETAIL DOCUMENTATION, SPECIFICATIONS, REPORTS & OTHER.

ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AS, BCA AND COUNCIL BUILDING REQUIREMENTS.

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CLIENT:
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DRAWING TITLE:
CONCEPT
LANDSCAPE PLAN

DRAWN:
H DU PLESSIS

CHECKED:
E DU PLESSIS

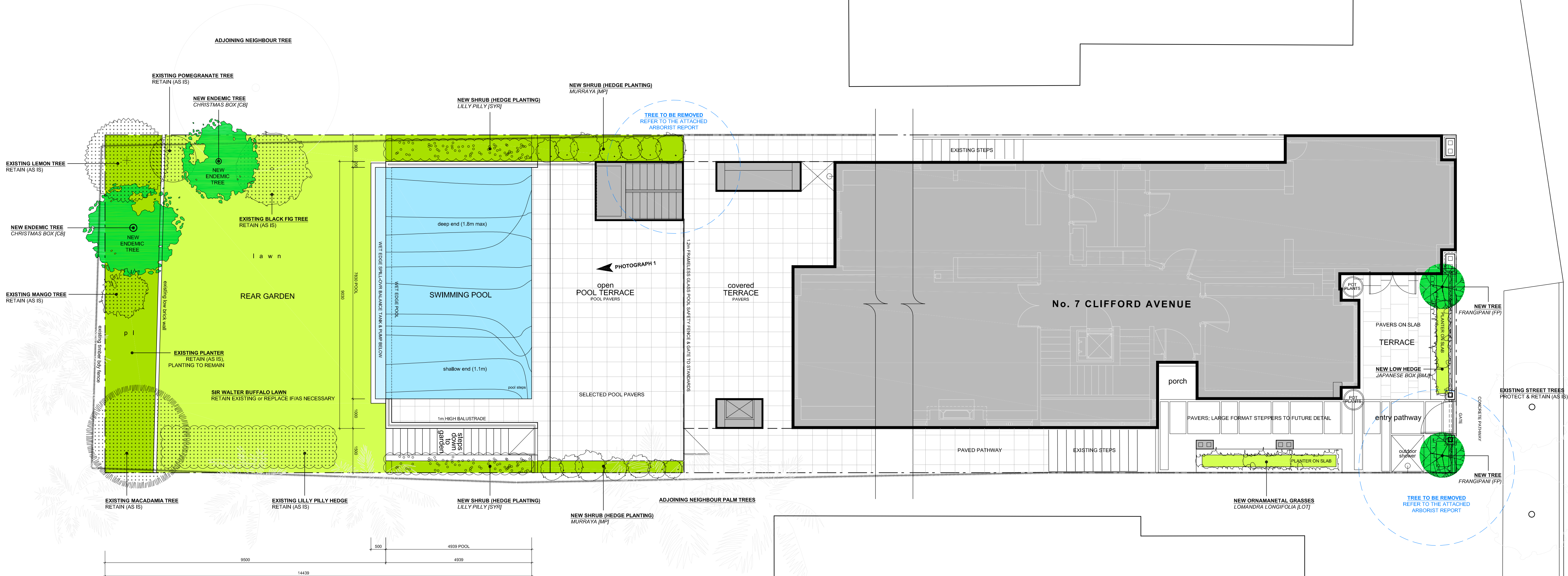
SCALE:
1:75 [A1]

DRAWING NO:
L.001

ISSUE:
C

DATE:
05.11.2019

DRAWING STATUS:
DEVELOPMENT APPLICATION



Landscape Plan
SCALE 1:75/A1