



TREVOR R HOWSE

DESIGN SPECIFICATION

ACCESSIBILITY



PREPARED FOR

Harbord Hotel Holdings

REGARDING

Harbord Beach Hotel

BUILDING REGULATIONS • FIRE SAFETY ENGINEERING • LEGAL SERVICES

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Report Register

The following report register documents the development and issue of this report and project as undertaken by this office, in accordance with the *Quality Assurance* policy of Trevor R Howse Pty Limited.

Our Ref.	Issue No.	Remarks	Issue Date
J20073	1	Accessibility Specification completed	21.6.2020
J20073	2	Accessibility Specification to reflect s4.55 design drawings	28.7.2020

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Summary & Recommendations

1.1 Summary

This Design Specification . Accessibility+ has been prepared at the request of Harbord Hotel Holdings.

It relates to the proposed **Works Package** associated with a s4.55 application for the undertaking of alterations and additions to the existing building known as the Harbord Beach Hotel, as is located at 29 Moore Road, Freshwater.

Figure 1.1.1 – existing aerial photo



The purpose of this Design Specification is to .

- Identify those *primary accessibility* related requirements of the following, as applicable to the proposed building work .
 - (a) National Construction Code 2019, Volume 1 (NCC 2019 Vol. 1); and
 - (b) The Disability (Access to premises . building) Standard 2010 (Premises Standard),

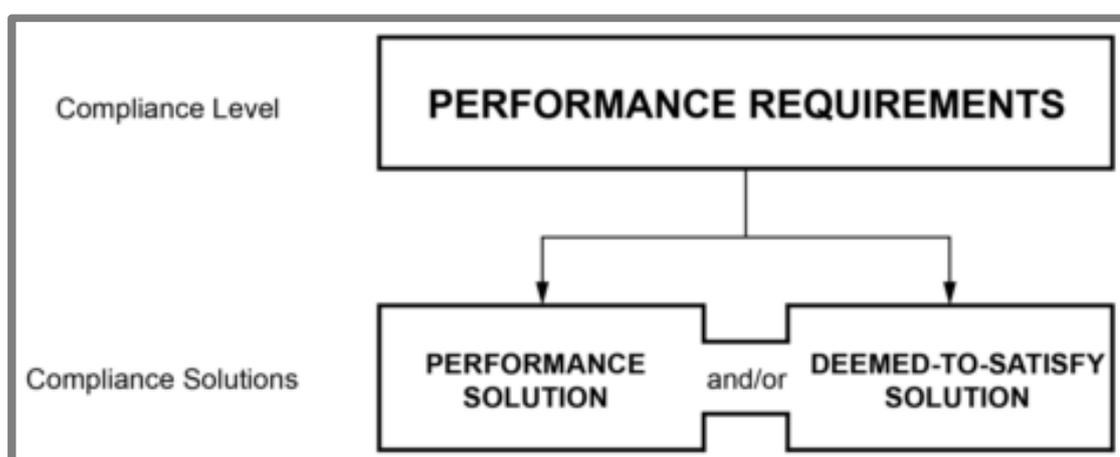
- Form part of the overall package of approved Building Permit documentation against which the works shall be undertaken, and inspected and certified at completion.

In reviewing the content of this report, it is highlighted that Compliance Structure of the NCC is as depicted in figure 1.1.2 below.

As this excerpt from the NCC 2019 Vol. 1 illustrates, a proposed design **must** comply with the applicable performance requirements.

It is a common misconception that a proposed design must comply with the deemed-to-satisfy provisions in the Code. The deemed-to-satisfy provisions are simply one method of complying with the applicable performance requirements.

Figure 1.1.2 – NCC Compliance Structure



1.2 Recommendations

The content of Section 4 of this report identifies the primary NCC 2019, Vol. 1 and Premises Standard requirements applicable to the proposed design. Each of these requirements need be implemented within the proposed works.

Particular attention is drawn to the following prescriptive provisions .

- Clause D3.2 . access to buildings
- Clause D3.3 . parts of buildings to be accessible

The commentary provided to each of these particular provisions in Section 4 of this report below identifies the nature of the design non-compliance, but also provides direction on how each item may be resolved.

Introduction

2.1 General

This Design Specification . Accessibility+ has been prepared at the request of Harbord Hotel Holdings.

It relates to the proposed **Works Package** associated with a s4.55 application for the undertaking of alterations and additions to the existing building known as the Harbord Beach Hotel, as is located at 29 Moore Road, Freshwater.

More specifically, the proposed works within the s4.55 application involve a new accessible entry from Charles Street to the beer garden; modification of the ground floor entry lobby design; a new accessible entry from Charles Street into the ground floor; new ground floor accessible and ambulant amenities; modification of the rear courtyard; and a new wall and doorway opening at the top of the internal stairway to the first floor.

Figure 2.1.1 – proposed s4.55 ground floor plan

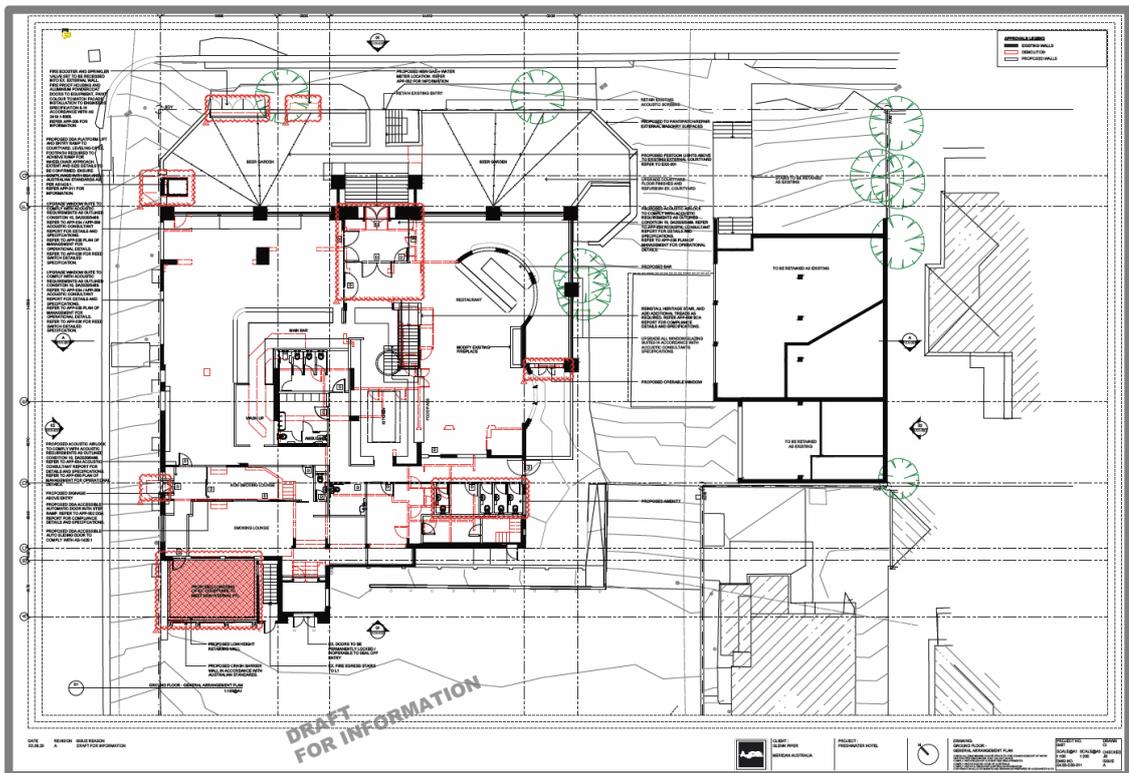
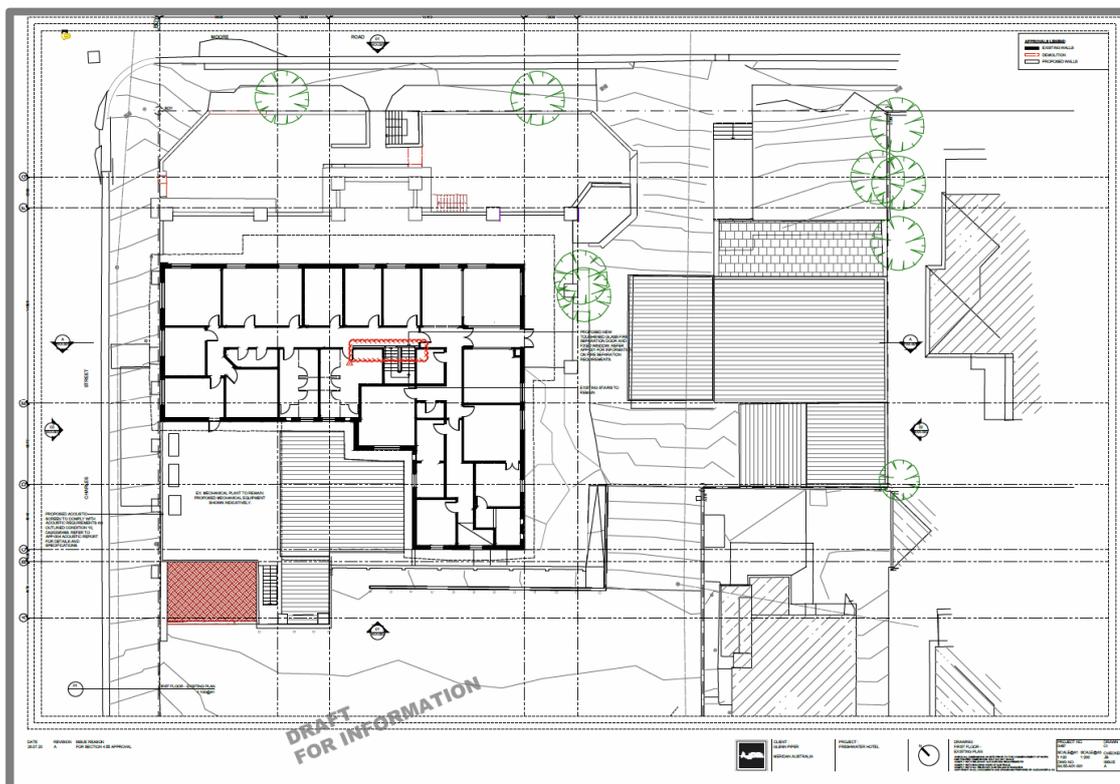


Figure 2.1.2 – proposed s4.55 first floor plan



2.2 Specification Purpose

The purpose of this Design Specification is to .

- Identify those *primary accessibility* related requirements of the following, as applicable to the proposed building work .
 - (a) NCC 2019 Vol. 1; and
 - (b) Premises Standard,
- Form part of the overall package of approved Building Permit documentation against which the works shall be undertaken, and inspected and certified at completion.

2.3 Specification Basis

The content of this Specification ONLY reflects and relies upon .

- The accessibility provisions of Parts D2, D3 and F2 of NCC 2019 Vol. 1;
- The Access Code provisions of the Premises Standard; and

- The design detail depicted in the following architectural plans prepared by Alexander & Co Architects .

A00-001	Ground floor . existing and demolition plan	28.7.2020
A01-001	First floor . existing plan	28.7.2020
D00-011	Ground floor . general arrangement plan	XX.06.20

2.4 Exclusions

This Specification should also not be construed to infer that an assessment for compliance with the following has been undertaken .

- Structural design documentation;
- Mechanical, Hydraulic and Electrical services design documentation;
- The operational capacity / compliance of building services;
- The requirements of service providers (i.e. Telstra, Sydney Water, AGL);
- The requirements of the Work Cover Authority;
- The non-accessibility provisions of NCC 2019 Vol. 1 (refer separate NCC 2019 Vol. 1 Specification).

2.5 Limitations

It is conveyed that this Specification does not relieve any other party, including but not limited to architect, structural engineer, services consultant, authorities, and builder, from their responsibility to ensure the design and construction of the proposed works complies with the relevant Codes and Standards.

Additionally, while this Specification has been prepared to identify the *primary* prescriptive provisions of the NCC 2019, Vol. 1 and The Access Code applicable to the proposed design, it has NOT been compiled to document every individual detail (requirement) of those prescriptive provisions.

For more detailed information in respect of the design requirements of any prescriptive provisions listed (or not listed) in this Specification, project stakeholders need consult with our office or the relevant reference in the NCC 2019, Vol. 1 and The Access Code.

Building Description

3.1 General

The overall site is located at 29 Moore Road, Freshwater, and is bounded by.

- Moore Road (to the north)
- Charles Street (to the west)
- Undercliff Road (to the south)
- Adjoining properties (to the east)

For the purposes of the NCC 2019 Vol. 1, the subject building is described within items 3.2 . 3.6 below.

3.2 Rise in Storeys

The existing building has a rise in storeys of three (3).

- Lower ground floor . cellar and storage
- Ground floor . bar, restaurant, gaming room
- Level 1 . residential

The proposed works do not change the rise in storeys.

3.3 Building Classification

The existing building contains multiple classifications, namely .

- Class 3 . residential
- Class 6 . retail
- Class 7b . storage

The proposed works do not change these classifications.

3.4 Effective Height

The existing building has an effective height of less than 25-metres.

The proposed works do not change the effective height.

Accessibility Specification

4.1 General

The following accessibility prescriptive provisions of the NCC 2019, Vol. 1 are applicable to the proposed building works depicted in the s4.55 architectural plans AND the areas of the existing building in which the works are proposed (*new part* and *affected part* as defined by the Premises Standard).

In each instance, the *primary* requirements of these prescriptive provisions are highlighted in the comments provided below.

As these comments are not necessarily exhaustive, for more detailed design information, the corresponding clause reference in NCC 2019, Vol. 1 and Premises Standard should be consulted by the project team / stakeholders.

4.2 Section / Part D – Access & Egress

- **Clause D1.6 – Dimensions of exits and paths of travel to exits**

The proposed works are to be designed and constructed in accordance with the following .

- (a) Doorway openings accessible to people with a disability must have an unobstructed width not less than 850-mm.

- **Clause D2.13 – Treads and risers**

The new stairways must have the following characteristics .

- (a) Nosings that have a 30% reflective difference (in colour) to the adjoining surfaces;
- (b) Not have open risers (as required by AS 1428.1-2009).

- **Clause D2.15 – thresholds**

Where exiting from an area of the building accessible to people with a disability, the threshold of a doorway opening to a road or open space shall not contain a step or change in level unless it is provided with an AS 1428.1-2009 compliant threshold ramp or step ramp.

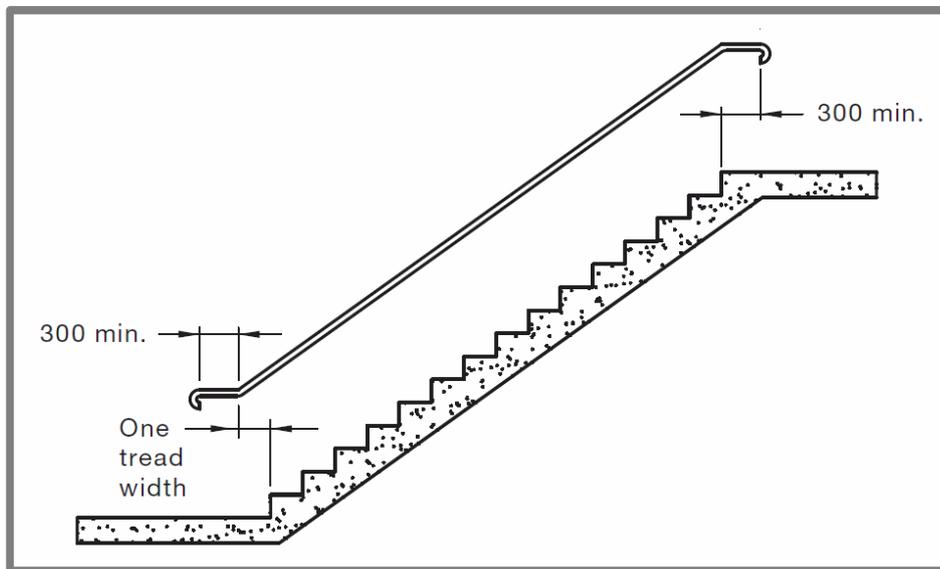
- **Clause D2.17 – Handrails**

Proposed stairway handrails must be designed and constructed in accordance with clause 12 of AS 1428.1-2009.

This includes the re-built stairway connecting the ground and first floors; the re-built stairway leading to the main entry into the ground floor from Moore Road; and the stairway descending to the Moore Road footpath.

It is noted though, that there will be difficulty providing the AS 1428.1-2009 handrail extensions to the latter two (2) stairways, as such will cause obstruction to the accessways associated thereto (refer AS 1428.1-2009 excerpt in figure D2.17.1 below).

Figure D2.17.1 – AS 1428.1-2009 handrail extensions to stairways



As such, for these two (2) particular stairways, it is instead proposed that a performance solution be employed whereby the handrails are terminated at the ends of the stairway (without extension) and AS 1428.2-1992 compliant dome buttons installed to the rails.

- **Clause D3.1 – general building access requirements**

Access for people with a disability must be provided to and within all areas used by the occupants, except access need be provided to .

- An area would be inappropriate because of the particular purpose for which the area is used;
- An area would pose a health or safety risk for people with a disability; and
- Any path of travel providing access to items (a) and (b) above.

- **Clause D3.2 – access to buildings**

The prescriptive provision requires (inter alia) that access be provided to and within the main entry to the building from the main points of pedestrian entry at the allotment boundary, and from any accessible car parking space.

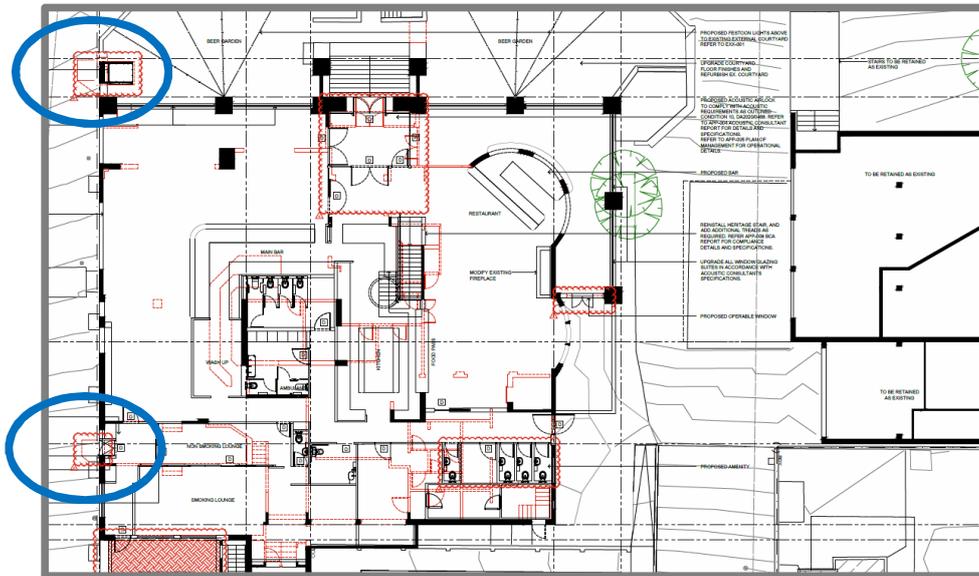
It is acknowledged though that the existing and heritage construction at the main entry to the site from Moore Road prevents the provision of access for mobility impaired persons at that location.

In this respect, it is instead proposed that a performance solution be pursued that contains the following features .

- (a) A new accessible entry point into the ground floor be provided along the Charles Street elevation of the building (see figure D3.2.1 below);
- (b) The new accessible entry mentioned in (a) above shall incorporate .
 1. A threshold ramp to connect the doorway opening and the footpath;
 2. A doorway opening not less than 850-mm;
 3. An automatic opening device to the door leaf, activated by a push button located externally and accessible to an approaching wheelchair user PRIOR to accessing the threshold ramp

(NB: the door leaf must automatically stay open for a sufficient period to allow a wheelchair user to enter);
 4. An external intercom connected to the bar area or Managers office, so that an attending mobility impaired person can contact staff and alert them if the automatic operation of the door leaf is broken or otherwise malfunctioning;
 5. External signage identifying that the subject opening IS an accessible entry into the building.
- (c) Signage shall be installed adjacent to the main entry to the site from Moore Road, in a clearly visible location from the footpath, identifying the availability of the aforementioned accessible entry into the building.
- (d) A new accessible entry point into the front Beer Garden along the Charles Street elevation (see figure D3.2.1 below);
- (e) The new accessible entry mentioned in (d) above shall incorporate .
 1. A platform lift that connects the Charles Street footpath with the level of the Beer Garden;
 2. Modification of the footpath and area just inside the allotment to create AS 1428.1 compliant transition between cross falls and levels;
 3. Internal and external signage to denote the access route provided by this entry point into the Beer Garden.

Figure D3.2.1 – new accessible entry into building



- **Clause D3.3 – parts of buildings to be accessible**
 - (a) The new and existing ramps must have a non-slip surface, and be designed as per clause 10 of AS 1428.1-2009

(NB: the requirements applicable to the ramp are dependent upon the vertical rise and gradient).
 - (b) All other floor surfaces (including changes in level), must be AS 1428.1-2009 compliant (i.e. non-slip).
 - (c) All new doorways must have an unobstructed opening not less than 850-mm.

(NB: Where double door leaves are provided to a doorway opening, the active leaf must have an unobstructed opening not less than 850-mm).
 - (d) All doorways must have a minimum luminance contrast of 30% provided between either the
 1. door leaf and door jamb;
 2. door leaf and adjacent wall;
 3. architrave and wall;
 4. door leaf and architrave; or
 5. door jamb and adjacent wall.

The minimum width of the area of luminance contrast must not be less than 50-mm.
 - (e) Doorway openings need be provided with circulation space in accordance with figures 31 and 32 of AS 1428.1-2009.

In this respect, particular attention is drawn to the following .

1. New DDA entry from Charles Street, on the footpath side of the doorway opening . refer Clause D3.2 above, as an automatic opening device to this door leaf is required;
2. Sliding door from the restaurant to the corridor / opposite the proposed lift . the wall nib on the latch side of the sliding door leaf need be not less than 530-mm to both sides of the opening (see also figure D3.2.1 above).
3. Sliding door from the hallway to the gaming machine lounge adjacent gaming machine 1 . unless the door leaf is automated, a minimum 530-mm circulation space is required to the latch side of the door leaf, on both sides of the opening (see also figure D3.2.1 above)
4. The swing door from the corridor adjacent to the ground floor smoking lounge to the external courtyard . a 530-mm circulation space is required to the latch side of this door leaf, on the corridor side of the doorway opening.

- **Clause D3.6 – Signage**

- (a) The door leaf to an accessible sanitary facility must be provided with BCA Specification D3.6 compliant tactile and Braille signage incorporating the International Symbol of Access (see below example).



- (b) The door leaf to the ambulant sanitary cubicles must be provided with AS 1428.1-2009 compliant tactile and Braille signage (see below example).



- (c) Exit doors provided with illuminated exit signs (refer Clause E4.5 below) must be provided with BCA Specification D3.6 compliant signage stating %EXIT+ and %LEVEL+ followed by the floor level number or floor level descriptor (see below example).



- **Clause D3.7 – Hearing augmentation**

Where an in-built amplification system is to be provided to any room, a hearing augmentation system must be provided having either .

- (a) an induction loop to not less than 80% of the floor area of the room or space served by the inbuilt amplification system; or
- (b) a system requiring the use of receivers or the like, to not less than 95% of the floor area of the room or space served by the inbuilt amplification system, with the number of receivers provided not less than 1 per 25 persons (with a minimum of 2)

- **Clause D3.8 – Tactile indicators**

AS 1428.4.1-2009 compliant tactile indicators must be provided to .

- (a) The top and bottom of all stairways, including the re-built stairway connecting the ground and first floors; and
- (b) The top and bottom of all new / modified ramps (refer Clauses D3.2 and D3.3 above).

NB: The proposed tactile indicators to the footpath at the new accessible entry into the ground floor from Charles Street requires Council approval, as such is Council land.

- **Clause D3.12 – Glazing on an accessway**

All frameless or fully glazed doors, sidelights and any glazing capable of being mistaken for a doorway or opening, must be clearly marked in accordance with AS 1428.1-2009.

Markings must be solid, non-transparent and contrasting, and must extend the full width of the glazing panel(s).

The contrasting line shall be not less than 75 mm wide and shall extend across the full width of the glazing panel.

The lower edge of the contrasting line shall be located between 900 mm and 1000 mm above the plane of the finished floor level.

- **Clause D4.2 – location of braille and tactile signs**

In respect of the signage described in BCA Clause D3.6 above, the symbols, numbering and lettering must be designed and installed as follows .

- (a) braille and tactile components of a sign must be located not less than 1 200 mm and not higher than 1600 mm above the floor or ground surface;
- (b) signs with single lines of characters must have the line of tactile characters not less than 1250 mm and not more than 1350 mm above the floor or ground surface;
- (c) signs identifying rooms containing features or facilities listed in clause D3.6 must be located:
 - 1. on the wall on the latch side of the door with the leading edge of the sign located between 50 mm and 300 mm from the architrave; and
 - 2. where 1 above is not possible, the sign may be placed on the door itself.

- **Clause D4.3 – braille and tactile sign specification**

- (a) Tactile characters must be raised or embossed to a height of not less than 1 mm and not more than 1.5 mm.
- (b) Sentence case (upper case for the first letter of each main word and lower case for all other letters) must be used for all tactile characters; and
 - 1. upper case tactile characters must have a height of not less than 15 mm and not more than 55 mm; and
 - 2. lower case tactile characters must have a height of 50% of the related upper case characters.
- (c) Tactile characters, symbols, and the like, must have rounded edges.
- (d) The entire sign, including any frame, must have all edges rounded.
- (e) The background, negative space or fill of signs must be of matt or low sheen finish.
- (f) The characters, symbols, logos and other features on signs must be matt or low sheen finish.
- (g) The minimum letter spacing of tactile characters on signs must be 2 mm.
- (h) The minimum word spacing of tactile characters on signs must be 10mm.
- (i) The thickness of letter strokes must be not less than 2 mm and not more than 7 mm.
- (j) Tactile text must be left justified, except that single words may be centre justified.
- (k) Tactile text must be Arial typeface.

- **Clause D4.4 – luminance contrast**

The following apply to luminance contrast:

- (a) the background, negative space, fill of a sign or border with a minimum width of 5 mm must have a luminance contrast with the surface on which it is mounted of not less than 30%;
- (b) tactile characters, icons and symbols must have a minimum luminance contrast of 30% to the surface on which the characters are mounted;
- (c) luminance contrasts must be met under the lighting conditions in which the sign is to be located.

- **Clause D4.5 – lighting**

Braille and tactile signs must be illuminated to ensure *luminance contrast* requirements are met at all times during which the sign is required to be read.

- **Clause D4.6 – braille**

The following applies to braille .

- (a) braille must be grade 1 braille (uncontracted) in accordance with the criteria set out by the Australian Braille Authority;
- (b) braille must be raised and domed;
- (c) braille must be located 8 mm below the bottom line of text (not including descenders);
- (d) braille must be left justified;
- (e) where an arrow is used in the tactile sign, a solid arrow must be provided for braille readers;
- (f) on signs with multiple lines of text and characters, a semicircular braille locator at the left margin must be horizontally aligned with the first line of braille text.

4.3 Section / Part E – Services & Equipment

- Clause E3.6 – Passenger lifts

The new platform lift connecting the Charles Street footpath with the Beer Gardem must contain the following design features .

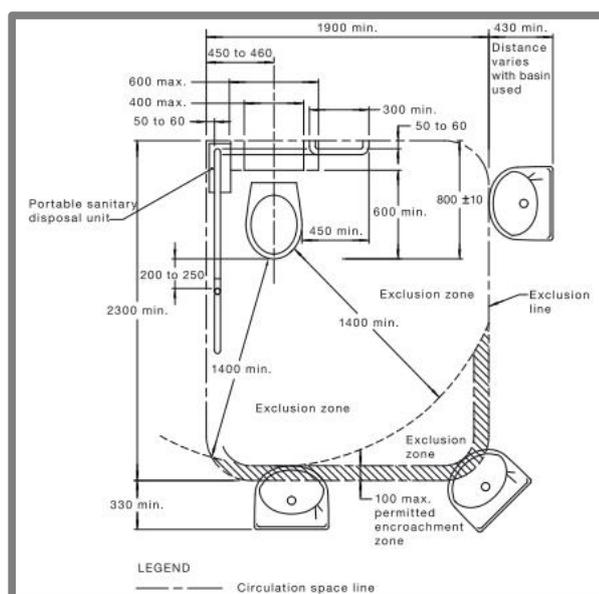
- AS 1735.12-1999 compliant handrails; and
- Internal lift floor dimension not less than 1100-mm wide x 1400-mm deep; and
- AS 1735.12-1999 compliant passenger protection system; and
- AS 1735.12-1999 compliant control buttons; and
- AS 1735.12-1999 compliant lighting; and
- Emergency hands-free communication.

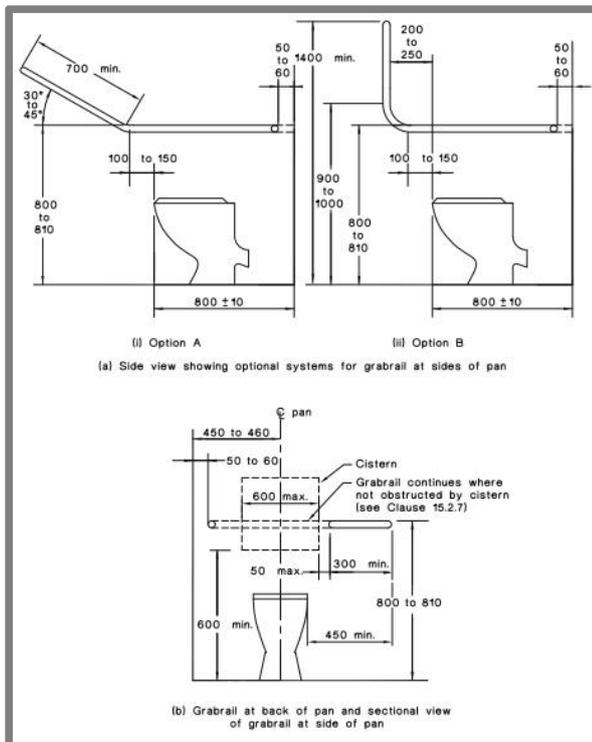
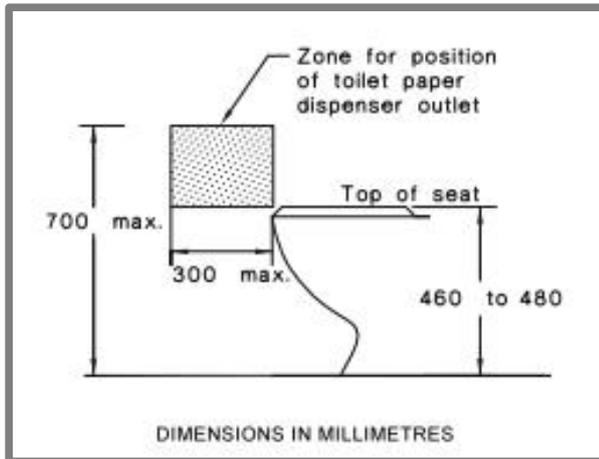
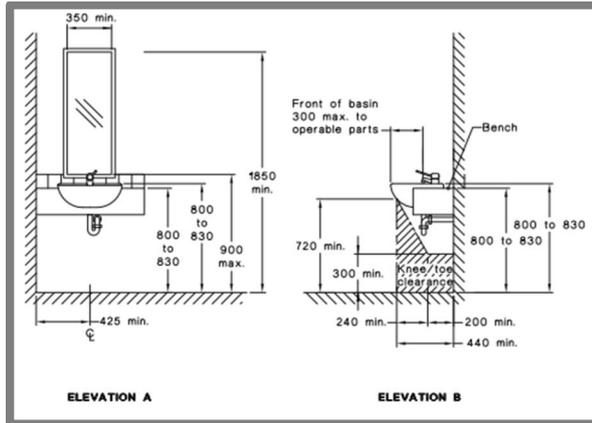
4.4 Section / Part F – Health & Amenity

- Clause F2.4 – Accessible sanitary facilities

- The proposed accessible sanitary facility must be designed and constructed in accordance with AS 1428.1-2009 (see sample diagram in figure F2.4.1 below).
- Male and female cubicles must include AS 1428.1-2009 compliant ambulant cubicles (see sample diagram in figure F2.4.2 below).

Figure F2.4.1 – Accessible sanitary facilities





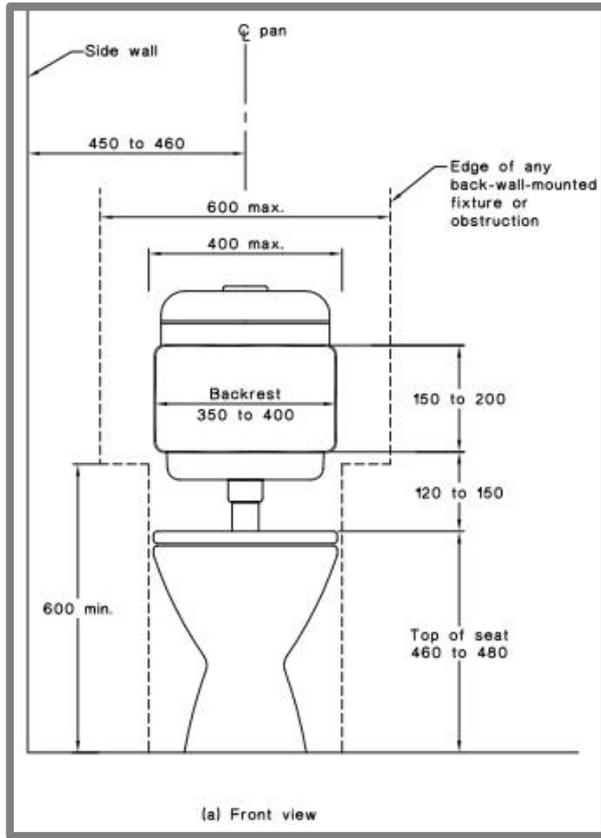


Figure F2.4.2 – Ambulant sanitary facilities

