

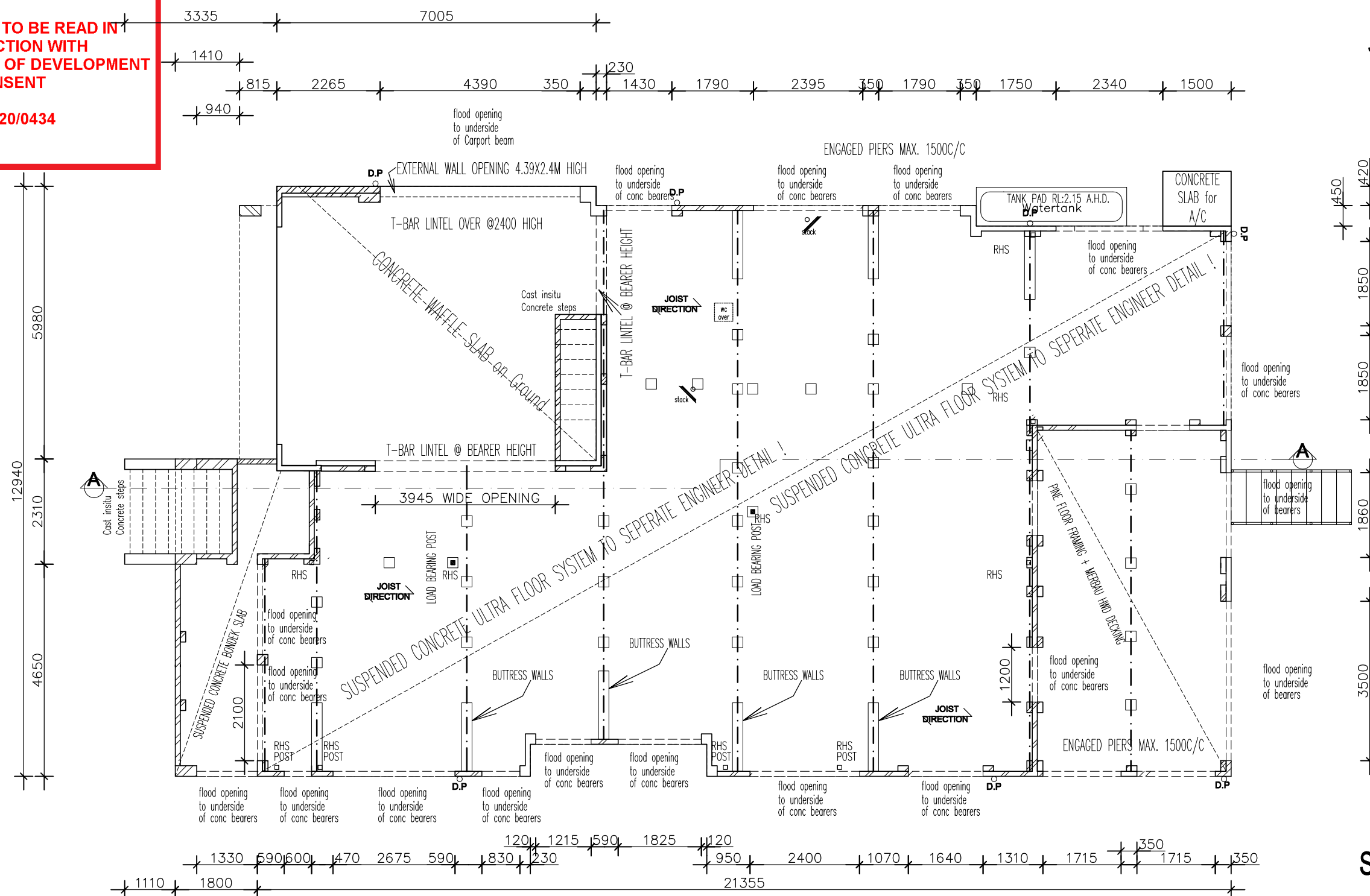
NOTE: THE OWNER HAS PROVIDED TULLIPAN HOMES WITH THE REQUIRED FINISHED FLOOR LEVELS AS SHOWN ON THE PLANS. ALL PROPOSED FLOOR LEVELS ARE SUBJECT TO COUNCIL APPROVAL.



Mariners Building  
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Tuggerah NSW 2259  
PO Box 5148  
CHITTAWAY BAY NSW 226

DA2020/0434

# CUSTOM



**SUB-FLOOR PLAN**  
**SCALE 1:100**

#### R4.0 BULK INSULATION TO UNDERSIDE OF SLAB



Certificate no.: 0004683950  
Assessor Name: Daniel Warda  
Accreditation no.: 101182  
Certificate date: 18 March 2020  
Dwelling Address:  
62 Mactier Street  
Narrabeen, NSW  
2101



[www.nathers.gov.au](http://www.nathers.gov.au)

DWG No.  
**7292-wd8**

**TULLIPAN HOMES PTY LTD**

Lic. No. 131446C

PH 02 4353 8644  
FAX 02 4353 8655

[www.tullipanhomes.com.au](http://www.tullipanhomes.com.au)  
[www.sdlifelevelhomes.com.au](http://www.sdlifelevelhomes.com.au)

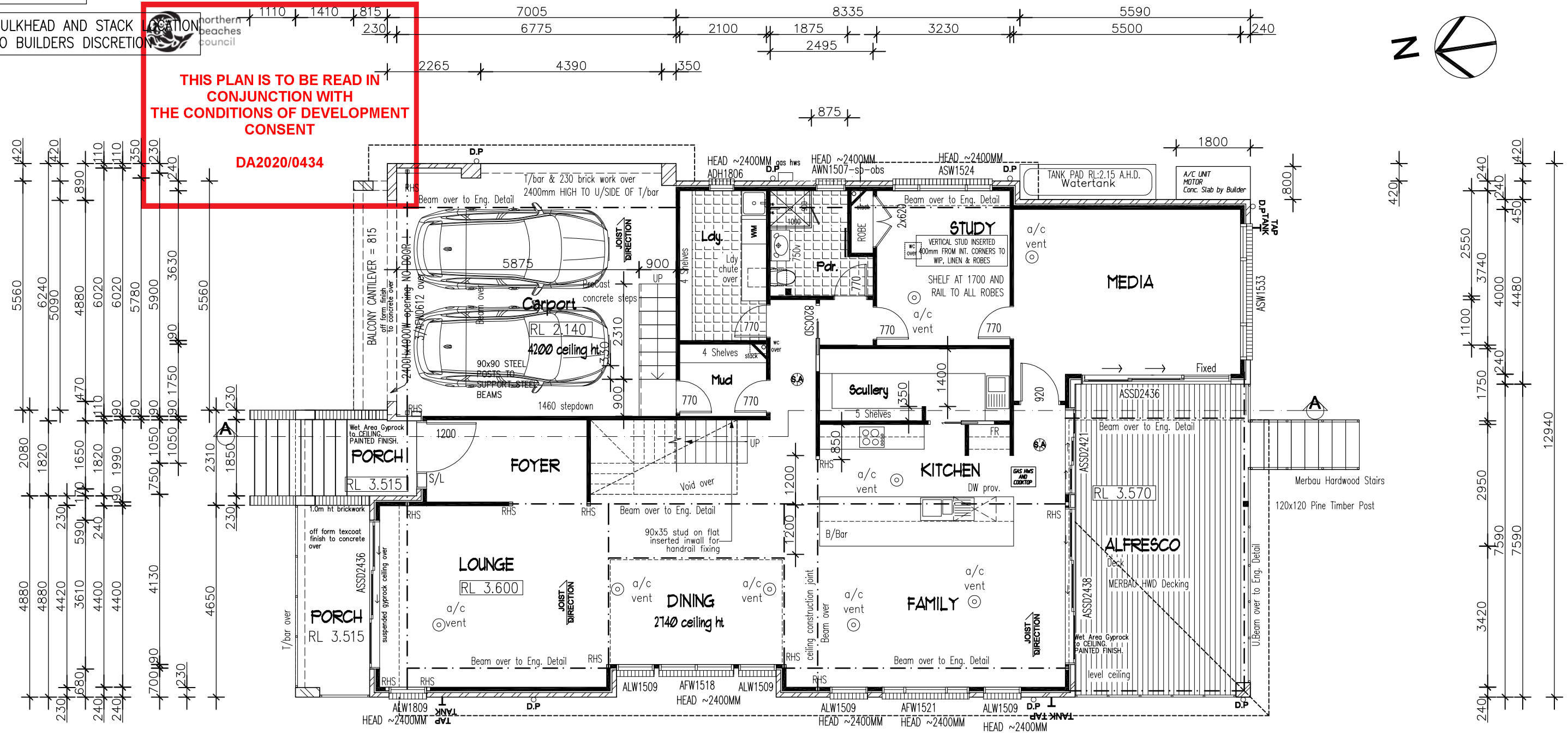
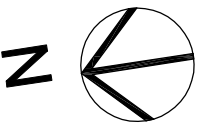
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Tuggerah NSW 2259

PO Box 5148  
CHITTAWAY BAY NSW 2261

**FIXING LEGEND**  
TOWEL RAIL —  
TOILET ROLL ■

BULKHEAD AND STACK LOCATION TO BUILDERS DISCRETION

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT  
DA2020/0434



R2.5 HIGH DENSITY INSULATION TO ALL EXTERNAL WALLS

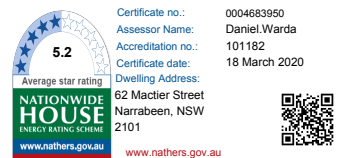
R4.0 BULK INSULATION TO ALL CEILINGS OVER LIVING AREAS (EXCL. CARPORT)

air conditioning locations, "locations are intended, however may vary if the home structure dictates otherwise", this applies to all air conditioning details signed off by clients.

AREAS:	
Porch:	12.1m <sup>2</sup>
Garage:	43.0m <sup>2</sup>
Ground Floor:	185.8m <sup>2</sup>
Alfresco:	32.3m <sup>2</sup>
First Floor:	197.7m <sup>2</sup>
Balcony:	24.1m <sup>2</sup>
TOTAL:	
495m <sup>2</sup>	
53.3 SQUARES	

CLIENT	<b>A &amp; M POPOVSKI</b>		
JOB	<b>PROPOSED RESIDENCE</b>		
LOCATION	<b>62 Mactier St Narrabeen</b>		
<div>- BUILDER TO CHECK ALL DETAILS AND DIMENSIONS PRIOR TO CONSTRUCTION.</div> <div>- FIGURED DIMENSIONS TAKE PREFERENCE OVER SCALE.</div>			
SHEET	DATE	DWG No.	
3 of 15	23/03/2020	<b>7292-wd8</b>	

plan prepared by  
**TULLIPAN HOMES**



GROUND FLOOR PLAN  
SCALE 1:100

00/00/00	#	REVISION

Lic. No. 131446C

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www.spitlevelhomes.com.au

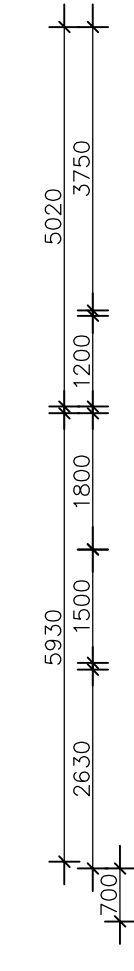
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PO Box 5148  
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FIXING LEGEND  
TOWEL RAIL —  
TOILET ROLL ■

BULKHEAD AND STACK LOCATION  
TO BUILDERS DISCRETION

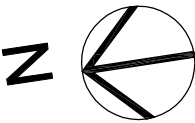
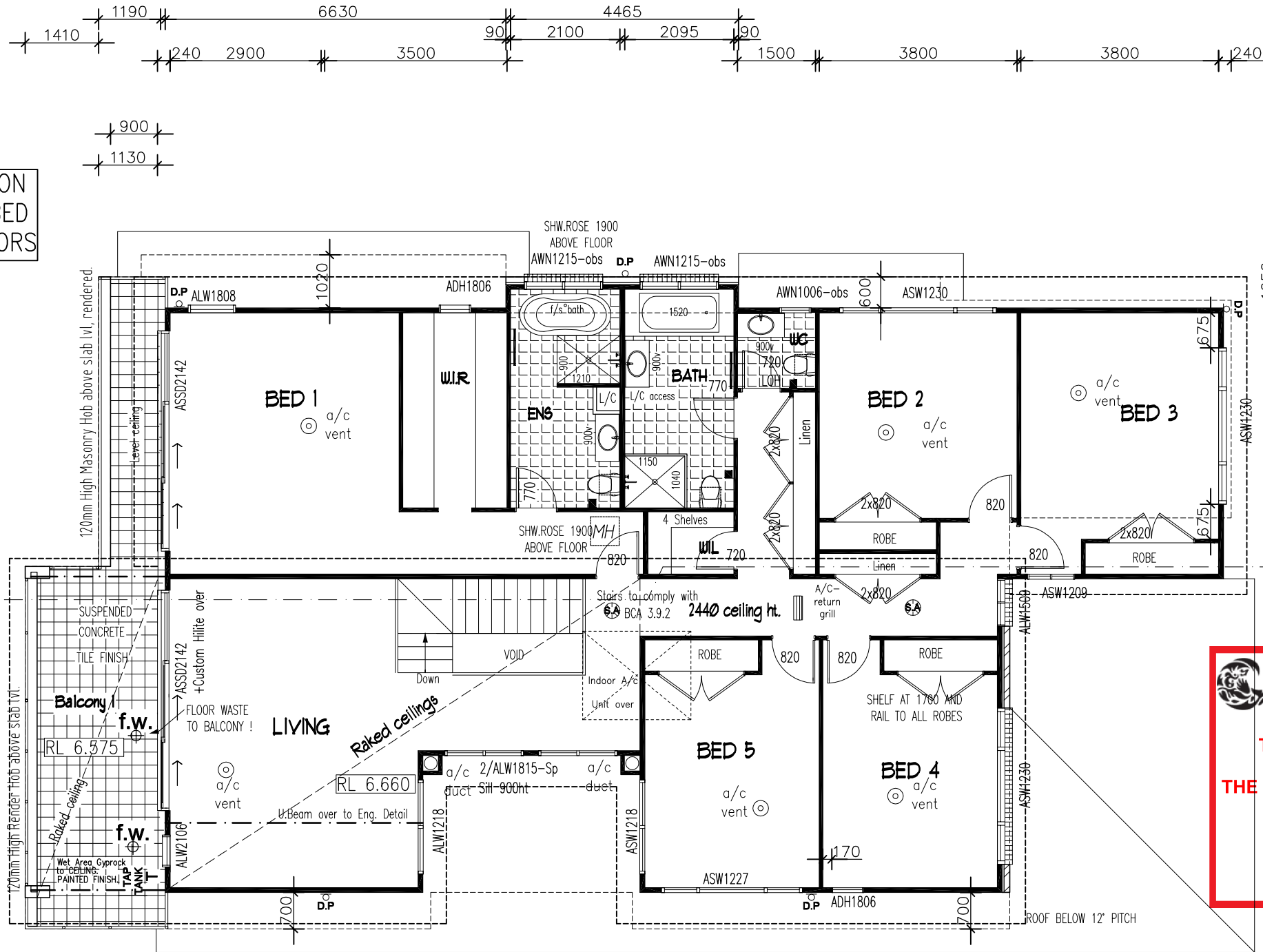
R4.0 BULK INSULATION  
TO BED 1, WIR & BED  
3 CANTILEVERED FLOORS



R2.5 HIGH DENSITY  
INSULATION TO ALL  
EXTERNAL WALLS

R4.0 BULK INSULATION TO  
ALL CEILINGS OVER LIVING  
AREAS (EXCL. CARPORT)

air conditioning locations, "locations are intended, however may vary if the home structure dictates otherwise", this applies to all air conditioning details signed off by clients.



**THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT**  
  
**DA2020/0434**

FIRST FLOOR PLAN  
SCALE 1:100

5.2  
NATIONWIDE  
HOUSE  
ENERGY RATING SCHEME  
www.nathers.gov.au

Certificate no.: 0004683950  
Assessor Name: Daniel Warda  
Accreditation no.: 101182  
Certificate date: 18 March 2020  
Dwelling Address: 62 Mactier Street  
Narrabeen, NSW 2101

CLIENT	A & M POPOVSKI		
JOB	PROPOSED RESIDENCE		
LOCATION	62 Mactier St Narrabeen		
- BUILDER TO CHECK ALL DETAILS AND DIMENSIONS PRIOR TO CONSTRUCTION. - FIGURED DIMENSIONS TAKE PREFERENCE OVER SCALE.			
SHEET	DATE	DWG No.	
4 of 15	23/03/2020	7292-wd8	

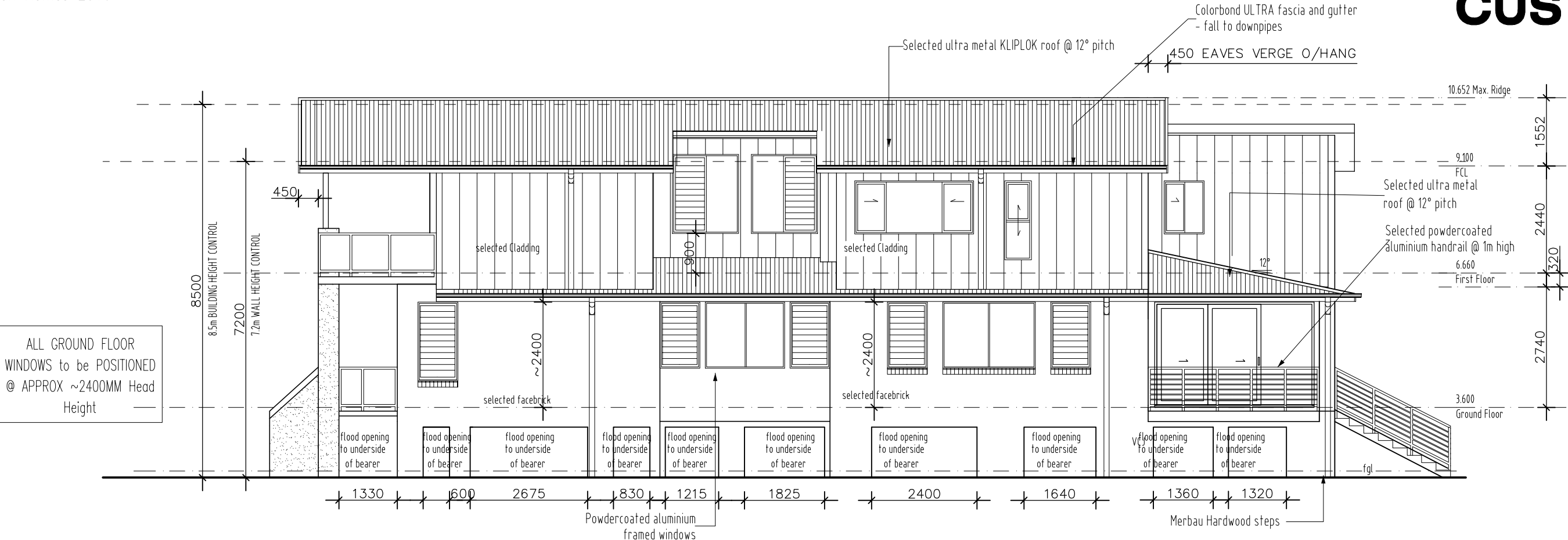
plan prepared by  
**TULLIPAN HOMES**

**TULLIPAN HOMES** PTY LTD  
Lic. No. 131446C

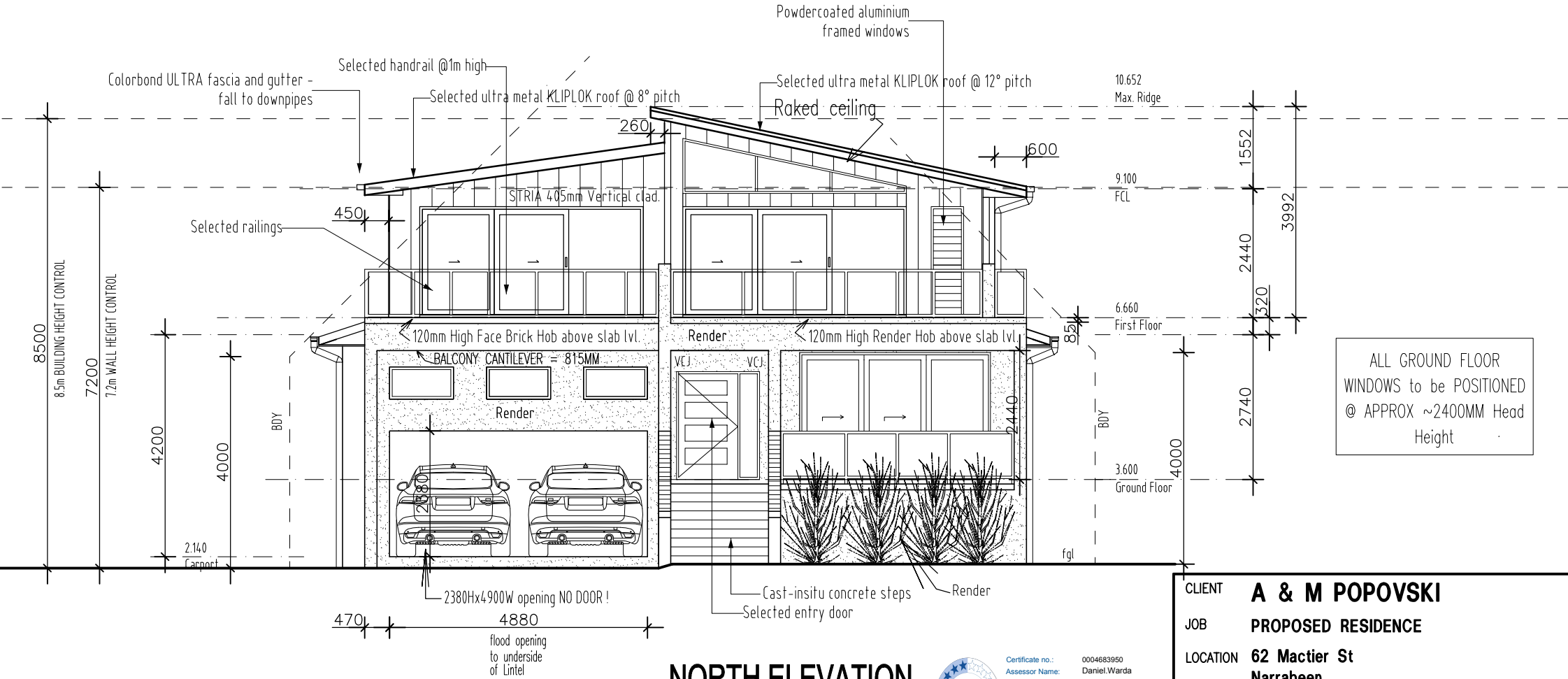
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FAX 02 4353 8655  
www.tullipanhomes.com.au  
www.splitlevelhomes.com.au

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PO Box 5148  
CHITTAWAY BAY NSW 2261

00/00/00	#	REVISION



WEST ELEVATION  
SCALE 1:100



NORTH ELEVATION  
SCALE 1:100

 northern beaches council

**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**

**DA2020/0434**

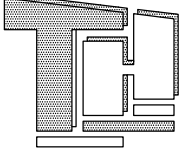
 **5.2**  
Average star rating  
NATIONWIDE HOUSE  
www.nathers.gov.au

Certificate no.: 0004683950  
Assessor Name: Daniel Warda  
Accreditation no.: 101182  
Certificate date: 18 March 2020  
Dwelling Address: 62 Mactier Street Narrabeen, NSW 2101  
www.nathers.gov.au



CLIENT	A & M POPOVSKI		
JOB	PROPOSED RESIDENCE		
LOCATION	62 Mactier St Narrabeen		
- BUILDER TO CHECK ALL DETAILS AND DIMENSIONS PRIOR TO CONSTRUCTION. - FIGURED DIMENSIONS TAKE PREFERENCE OVER SCALE.			
SHEET	DATE	DWG No.	
5 of 15	23/03/2020	7292-wd8	

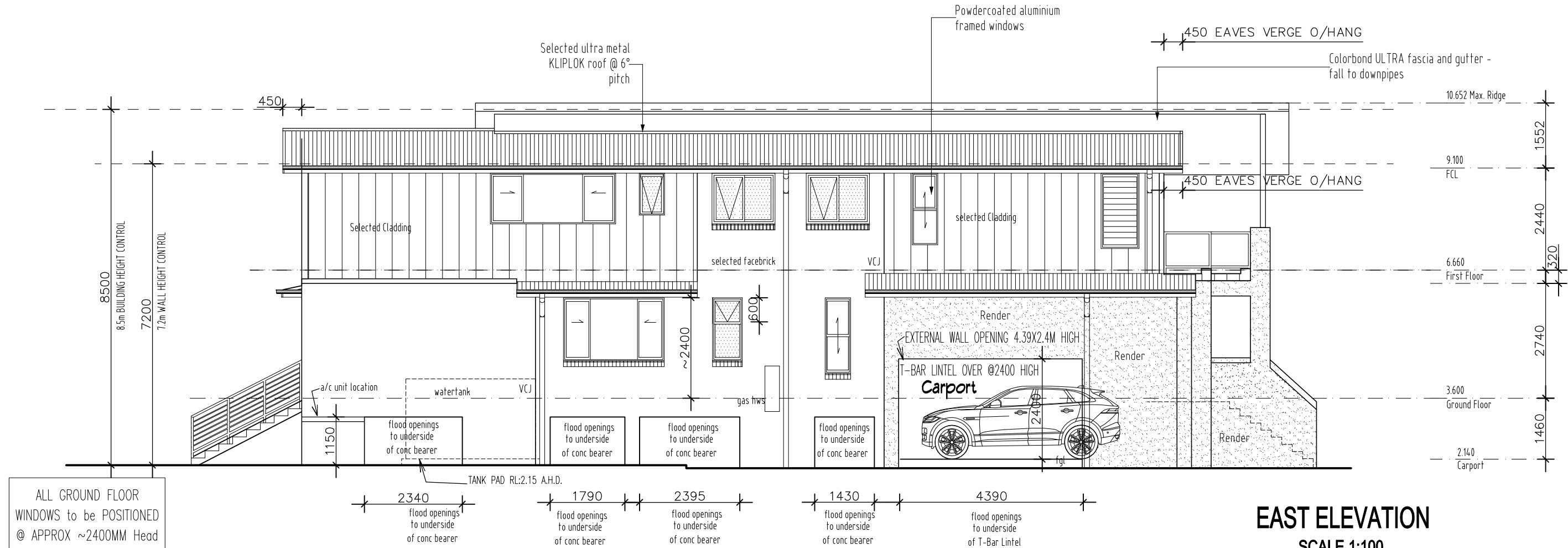
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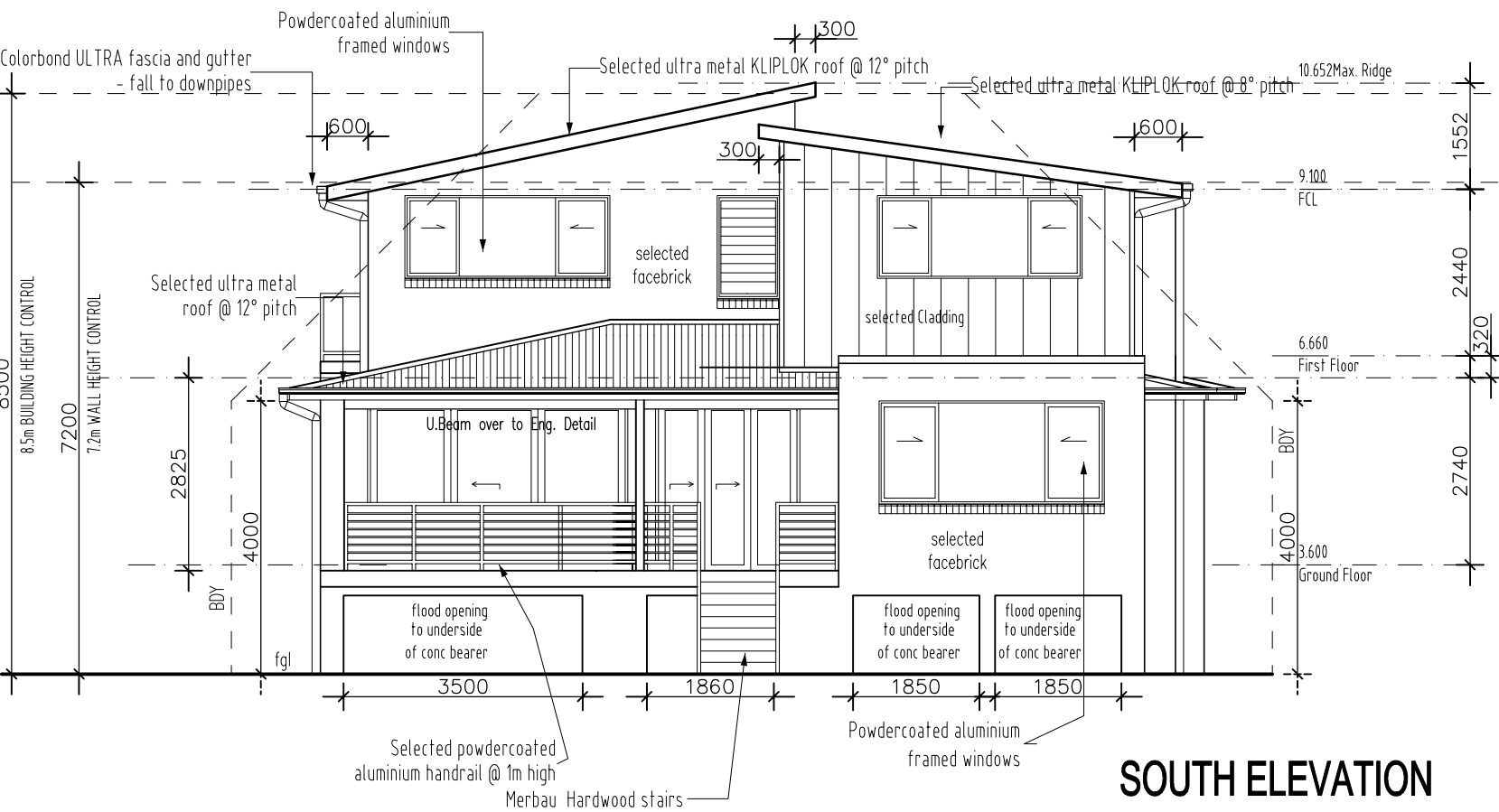
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PO Box 5148  
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00/00/00	#	REVISION



EAST ELEVATION  
SCALE 1:100



SOUTH ELEVATION  
SCALE 1:100

**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**

**DA2020/0434**

**5.2**  
Average star rating  
**NATIONWIDE HOUSE**  
ENERGY RATING SCHEME  
www.nathers.gov.au

Certificate no.: 0004683950  
Assessor Name: Daniel Warda  
Accreditation no.: 101182  
Certificate date: 18 March 2020  
Dwelling Address: 62 Mactier Street, Narrabeen, NSW 2101  
www.nathers.gov.au

CLIENT	A & M POPOVSKI		
JOB	PROPOSED RESIDENCE		
LOCATION	62 Mactier St Narrabeen		
<div>- BUILDER TO CHECK ALL DETAILS AND DIMENSIONS PRIOR TO CONSTRUCTION.</div> <div>- FIGURED DIMENSIONS TAKE PREFERENCE OVER SCALE.</div>			
SHEET	DATE	DWG No.	
6 of 15	23/03/2020	7292-wd8	

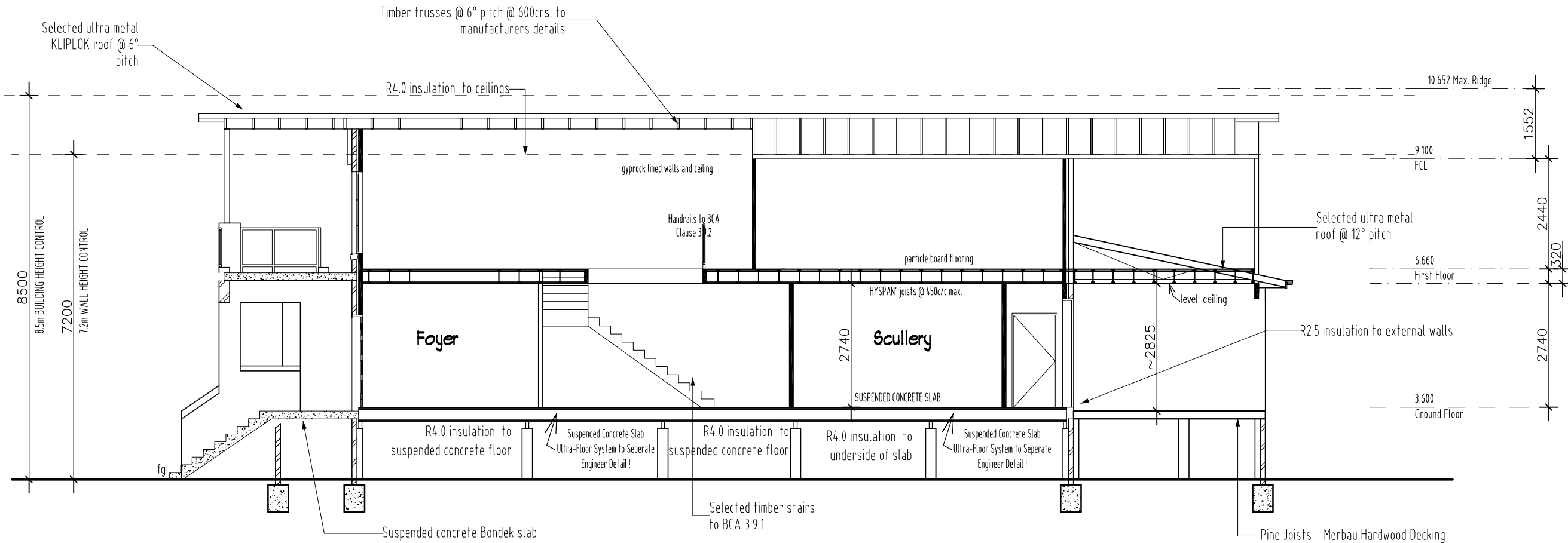
plan prepared by  
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SUSPENDED TIMBER FLOORS  
\* GALVANISED ANT  
CAPPING TO BRICK PIERS  
& FOUNDATION WALLS  
\* REINF.CONC. FOUNDATIONS  
TO ENGINEER'S DETAIL

BULKHEAD AND STACK  
LOCATION TO BUILDERS  
DISCRETION

BRACING, TIE DOWN AND  
GLAZING DETAILS TO  
ENGINEERS SPECIFICATIONS

STAINLESS STEEL COLLARS TO ALL  
SLAB PENETRATIONS PERMANENT  
EXPOSED SLAB EDGE TERMIMESH  
TREATMENT AS PER SPEC.

19mm COMPRESSED FC SHEETING  
PLUS WET AREA  
WATERPROOFING INSTALLATION  
AS PER AS 3740 TO WET ROOMS

HANDRAILS TO BCA 3.9.2

STAINLESS STEEL WALL TIES &  
GALVANIZING TO ANY EXPOSED  
BEAMS

NOTE:  
BLUE H2-F TIMBER FRAMING  
TO COMPLY WITH AS1684

NOTE:  
Wet area waterproofing  
installation as per AS3740

## SECTION A-A

SCALE 1:100

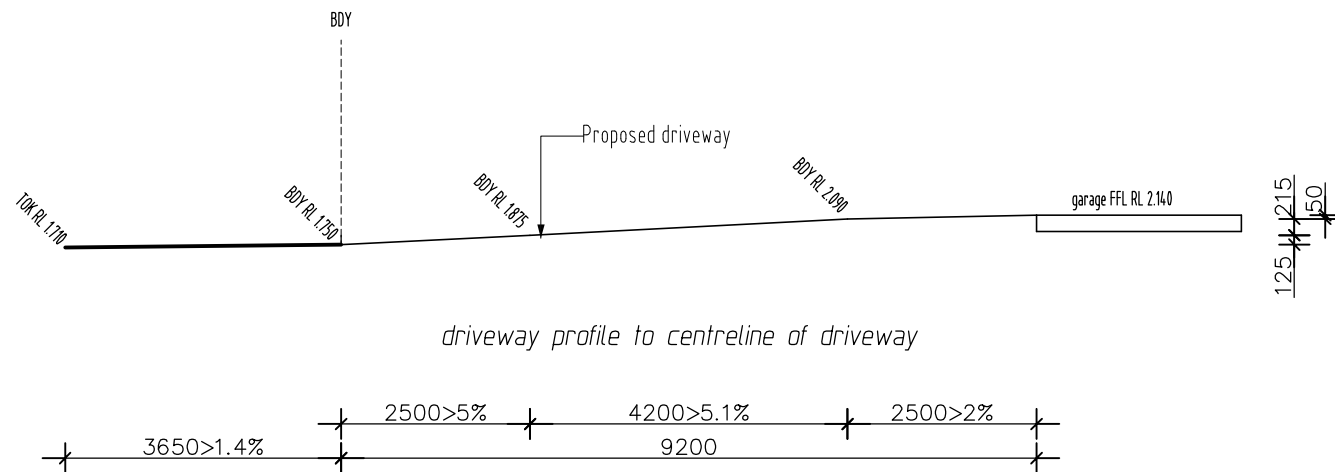
### BRICKLAYER

LOCATION OF VERTICAL CONTROL JOINTS SHOWN ON PLAN TO BE USED AS  
GUIDE ONLY. REFER TO BCA 3.3.1.8(b) BELOW FOR CONFIRMATION.  
BCA 3.3.1.8

- (b) Articulation joints must have a width not less than 10mm and be provided
- (i) in straight, continuous walls having no openings, at not more than 6m centres and not closer than the height of the wall away from corners; and
  - (ii) where the height of the wall changes by more than 20%, at the position of change in height; and
  - (iii) where openings more than 900x900mm occur, at not more than 5m centres, and positioned in line with one edge of the opening; and
  - (iv) where walls change in thickness; and
  - (v) at control or construction joints in footing slabs; and
  - (vi) at junctions of walls constructed of different masonry materials; and
  - (vii) at deep chases (rebates) for service pipes.

### ENGINEER

ALL STRUCTURAL REFERENCES MADE ON THIS PLAN ARE TO BE DESIGNED AND ALSO  
STATED ON AN ENGINEERS CERTIFICATE AS BEING WHOLLY APPROVED BEFORE  
COMMENCEMENT OF ANY WORKS. THESE DRAWINGS ARE TO BE THEN READ IN CONJUNCTION  
WITH ENGINEERS PLANS AND DOCUMENTS, WITH ENGINEERS REFERENCES TAKING  
PRECEDENCE.



## DRIVEWAY PROFILE

SCALE 1:100

**THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT**

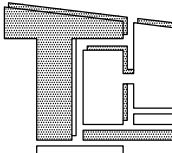
**DA2020/0434**

**5.2**  
Average star rating  
**NATIONWIDE  
HOUSE**  
NATURAL RATING SCHEME  
www.natethings.gov.au

Certificate no.: 0004683950  
Assessor Name: Daniel Warda  
Accreditation no.: 101182  
Certificate date: 18 March 2020  
Dwelling Address: 62 Mactier Street  
Narrabeen, NSW  
2101  
www.natethings.gov.au

CLIENT	A & M POPOVSKI		
JOB	PROPOSED RESIDENCE		
LOCATION	62 Mactier St Narrabeen		
<div>- BUILDER TO CHECK ALL DETAILS AND DIMENSIONS PRIOR TO CONSTRUCTION.</div> <div>- FIGURED DIMENSIONS TAKE PREFERENCE OVER SCALE.</div>			
SHEET	DATE	DWG No.	
7 of 15	23/03/2020	7292-wd8	

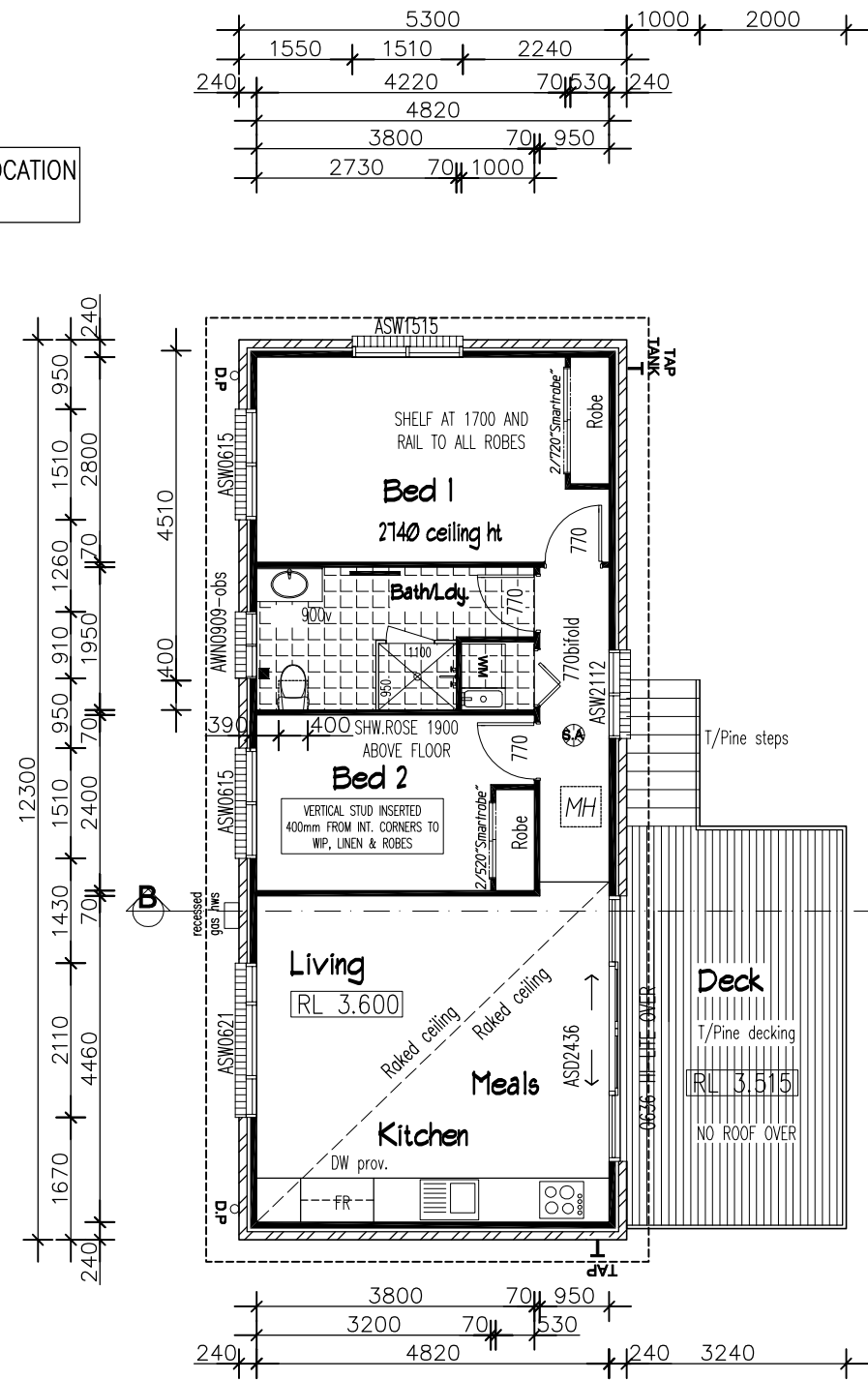
plan prepared by  
**TULLIPAN HOMES**

00/00/00	#	REVISION
 <b>TULLIPAN HOMES</b> PTY LTD		
Lic. No. 131446C		
PH 02 4353 8644 FAX 02 4353 8655 www.tullipanhomes.com.au www.splitlevelhomes.com.au		
Mariners Building Level 4, Suite 410 1 Bryant Drive Tuggerah NSW 2259 PO Box 5148 CHITTAWAY BAY NSW 2261		



FIXING LEGEND  
TOWEL RAIL —  
TOILET ROLL ■

BULKHEAD AND STACK LOCATION  
TO BUILDERS DISCRETION

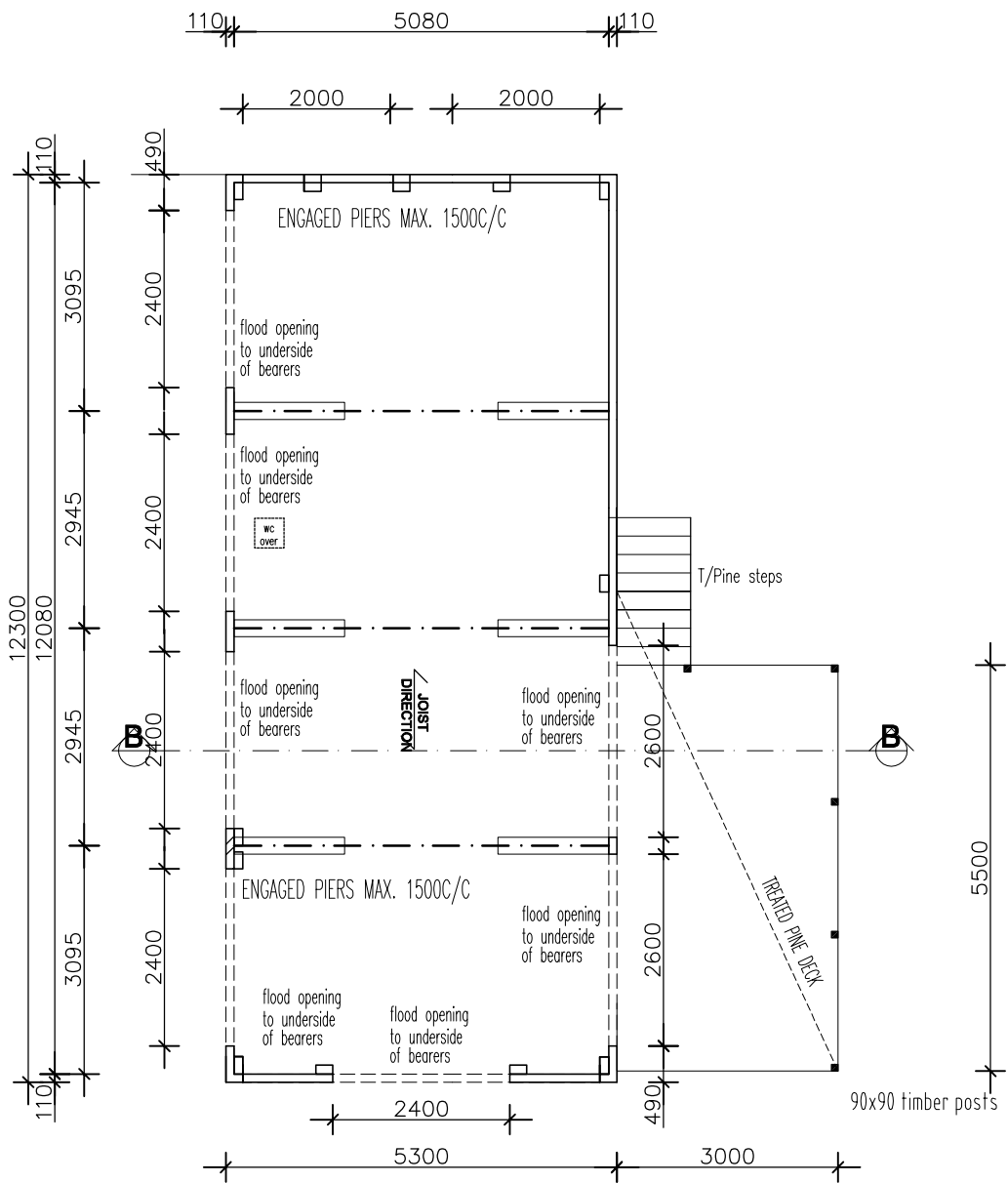


GROUND FLOOR PLAN (secondary dwelling)  
SCALE 1:100



THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT

DA2020/0434



SUB-FLOOR PLAN (secondary dwelling)  
SCALE 1:100

AREAS:	
Secondary Dwelling:	60.0m <sup>2</sup>
Deck:	17.5m <sup>2</sup>
TOTAL:	77.5m <sup>2</sup>



Certificate no.: 0004683950  
Assessor Name: Daniel Warda  
Accreditation no.: 101182  
Certificate date: 18 March 2020  
Dwelling Address: 62 Mactier Street  
Narrabeen, NSW 2101



CLIENT **A & M POPOVSKI**  
JOB **PROPOSED RESIDENCE**  
LOCATION **62 Mactier St  
Narrabeen**

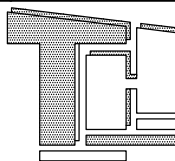
— BUILDER TO CHECK ALL DETAILS AND DIMENSIONS PRIOR TO CONSTRUCTION.  
— FIGURED DIMENSIONS TAKE PREFERENCE OVER SCALE.

SHEET  
9 of 15

DATE  
23/03/2020

DWG No.  
**7292-wd8**

plan prepared by  
**TULLIPAN HOMES**



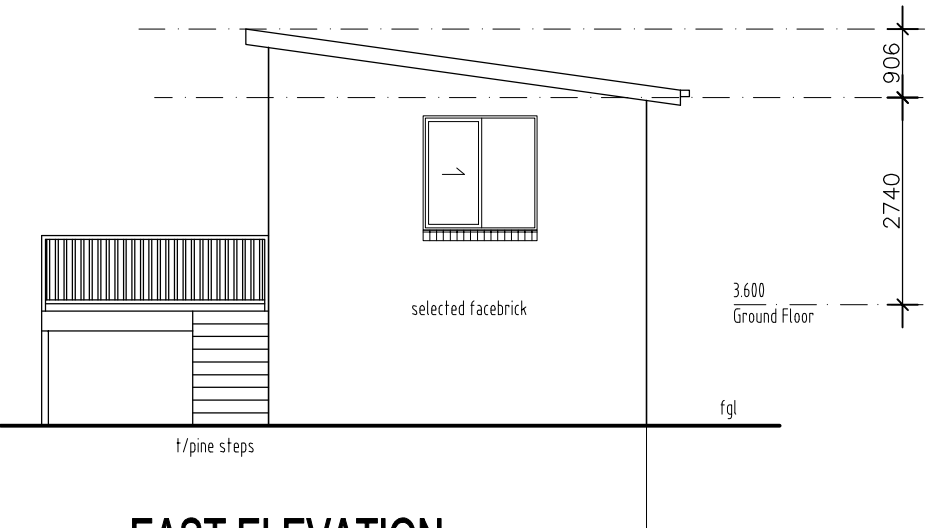
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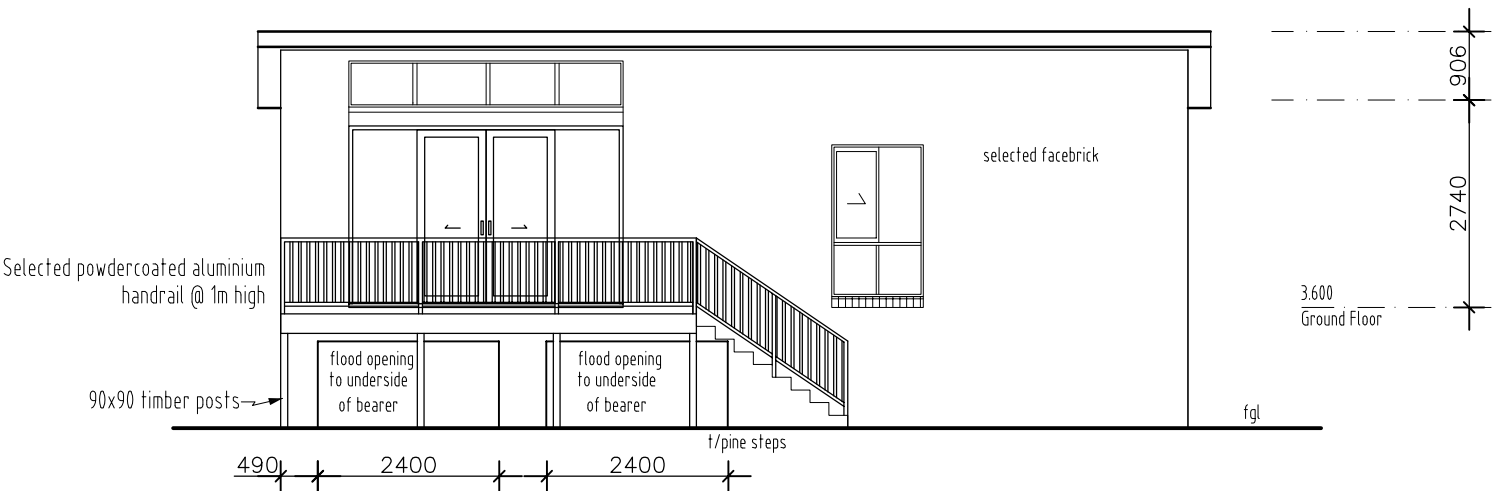
EAST ELEVATION  
SCALE 1:100



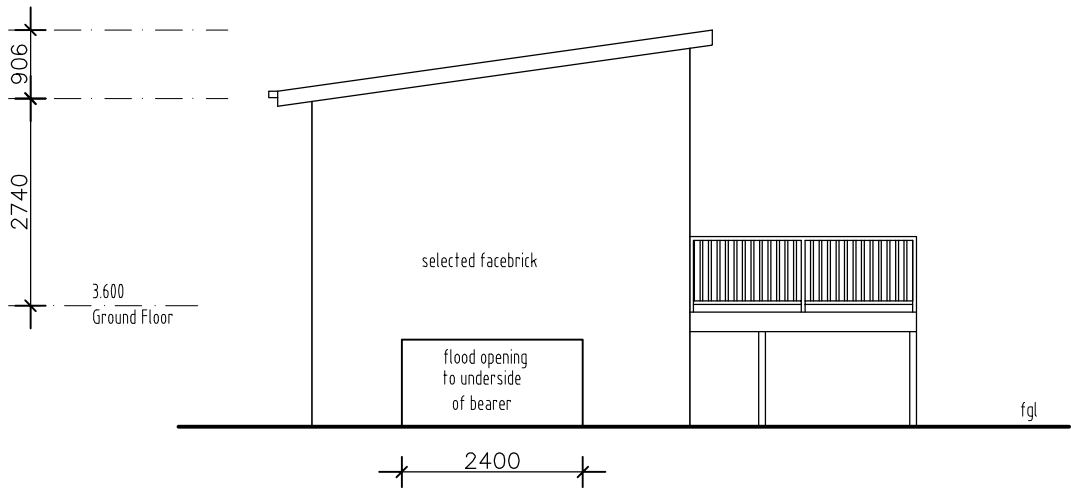
northern  
beaches  
council

THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT

DA2020/0434



SOUTH ELEVATION  
SCALE 1:100




WEST ELEVATION  
SCALE 1:100



5.2  
Average star rating

Certificate no.: 0004683950  
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Narrabeen, NSW 2101



CLIENT <b>A &amp; M POPOVSKI</b>		
JOB <b>PROPOSED RESIDENCE</b>		
LOCATION <b>62 Mactier St Narrabeen</b>		
- BUILDER TO CHECK ALL DETAILS AND DIMENSIONS PRIOR TO CONSTRUCTION. - FIGURED DIMENSIONS TAKE PREFERENCE OVER SCALE.		
SHEET 10 of 15	DATE 23/03/2020	DWG No. <b>7292-wd8</b>

plan prepared by  
**TULLIPAN HOMES**

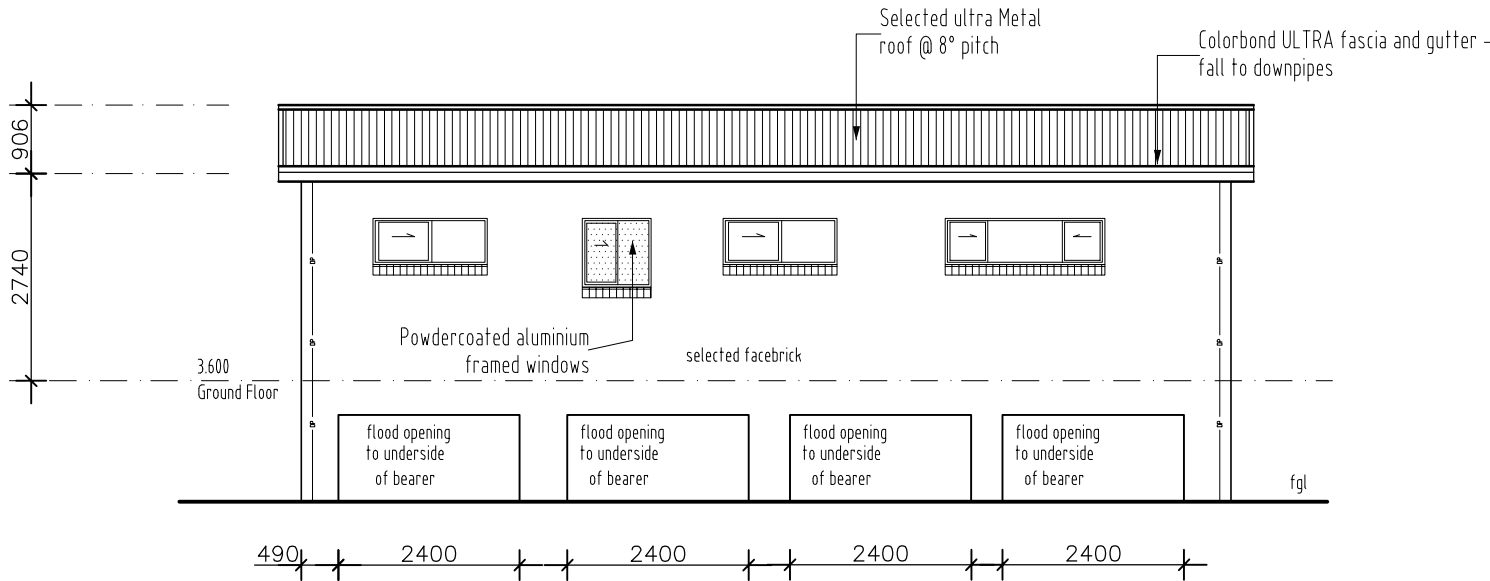


Lic. No. 131446C

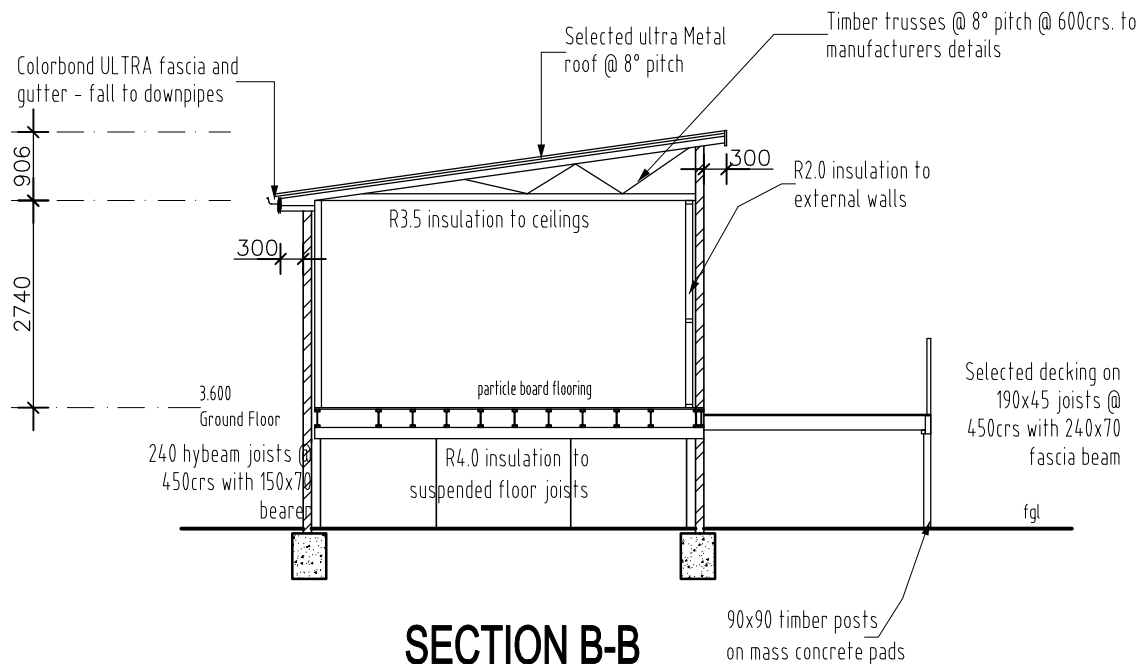
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NORTH ELEVATION  
SCALE 1:100



SECTION B-B  
SCALE 1:100

BRICKLAYER

LOCATION OF VERTICAL CONTROL JOINTS SHOWN ON PLAN TO BE USED AS GUIDE ONLY. REFER TO BCA 3.3.1.8(b) BELOW FOR CONFIRMATION. BCA 3.3.1.8

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ENGINEER

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- SUSPENDED TIMBER FLOORS
  - \* GALVANISED ANT CAPPING TO BRICK PIERS & FOUNDATION WALLS
  - \* REINF.CONC. FOUNDATIONS TO ENGINEER'S DETAIL
- BULKHEAD AND STACK LOCATION TO BUILDERS DISCRETION
- BRACING, TIE DOWN AND GLAZING DETAILS TO ENGINEERS SPECIFICATIONS
- STAINLESS STEEL COLLARS TO ALL SLAB PENETRATIONS PERMANENT EXPOSED SLAB EDGE TERMIMESH TREATMENT AS PER SPEC.
- 19mm COMPRESSED FC SHEETING PLUS WET AREA WATERPROOFING INSTALLATION AS PER AS 3740 TO WET ROOMS
- HANDRAILS TO BCA 3.9.2
- STAINLESS STEEL WALL TIES & GALVANIZING TO ANY EXPOSED BEAMS
- NOTE: BLUE H2-F TIMBER FRAMING TO COMPLY WITH AS1684
- NOTE: Wet area waterproofing installation as per AS3740

Stainless steel collars to all slab penetrations permanent exposed slab edge termimesh treatment as per spec.

Where applicable structural concrete piers through fill to engs. details



CLIENT	A & M POPOVSKI		
JOB	PROPOSED RESIDENCE		
LOCATION	62 Mactier St Narrabeen		
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SHEET	DATE	DWG No.	
11 of 15	23/03/2020	7292-wd8	

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