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* DO NOT SCALE - USE WRITTEN DIMENSIONS
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SCHEDULE OF DRAWINGS:

SHEET	DRAWING TITLE
01	COVER SHEET
02	SITE DEMOLITION PLAN
03	SITE PLAN
04	GROUND FLOOR PLAN
05	FIRST FLOOR PLAN
06	ELEVATIONS 1 & 2
07	ELEVATIONS 3 & 4
08	SECTION
09	WET AREA DETAILS
10	SLAB PLAN (NOT IN SET)
11	SEDIMENT & ANALYSIS PLAN
12	SHADOW DIAGRAM
KD	KITCHEN DETAILS

ISSUE:	AMENDMENT DESCRIPTION:	DRAWN:	DATE:
A	APPLICATION PLANS (VARI 1-30)(DOC1)	SCD	10.04.19
B	SUBMISSION PLANS (DOC 2 & 3)	PG	10.07.19
C	AMENDED SUBMISSION PLANS (DOC 4-6)	PG	12.08.19

AMENDED SUBMISSION PLANS - DA

SIGNATURE.....			
DRAWN BY: DTT	DATE DRAWN: 12.08.19	CHECKED BY: DTT	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: NORTHERN BEACHES		SCALE: NTS	
JOB No: A009118	DRWG No.: 01	ISSUE: C	



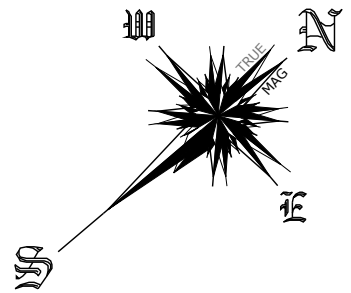
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BUILDER'S LICENCE No. 33493C

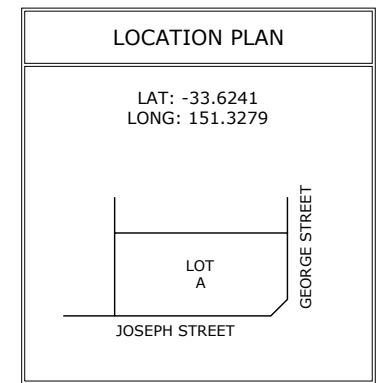
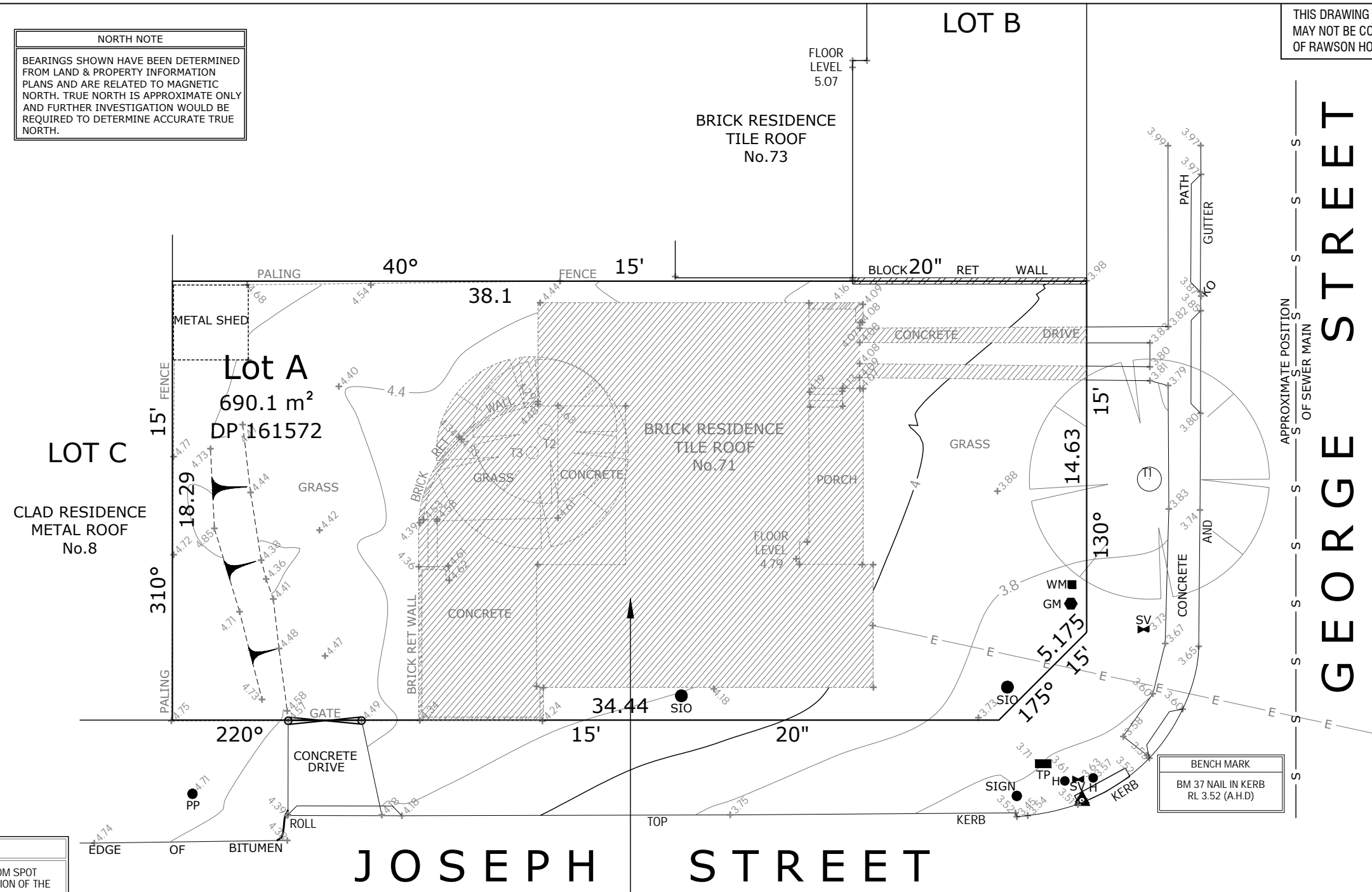
CLIENT:
MR M.J. EVANS & MRS J.R. EVANS
SITE ADDRESS:
LOT A, DP 161572
71 GEORGE STREET
AVALON BEACH NSW 2107

HOUSETYPE:
MODEL: CHIFLEY 32
FACADE: CLASSIC
TYPE: DOUBLE GARAGE
SPECIFICATION: LUX
DRAWING TITLE:
COVER SHEET

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PM 249 RL 3.225
 S.C.I.M.S

SCHEDULE OF TREES

	DIAMETER	HEIGHT	TYPE
T1	1.00	9m	-
T2	0.60	7m	-
T3	0.50	7m	-

LEGEND

	BENCH MARK
	PHOTO POINT
	GULLY PIT
	VEHICULAR CROSSING
	TOP OF BANK
	BOTTOM OF BANK

ABBREVIATIONS

- EB - ELECTRICAL BOX
- EM - ELECTRICAL METER
- GM - GAS METER
- H - HYDRANT
- R - HYDRANT RECYCLED
- KO - KERB OUTLET
- LP - LIGHT POLE
- LH - LAMP HOLE
- MH - MAN HOLE
- MS - MAINTENANCE SHAFT
- PP - POWER POLE
- SH - SHRUB
- SMH - SEWER MAN HOLE
- SIO - SEWER INSPECTION OPENING
- SV - STOP VALVE
- SR - STOP VALVE RECYCLED
- SVP - SEWER VENT PIPE
- SWP - STORM WATER PIT
- T - TREE
- TP - TELECOMMUNICATIONS PIT
- VER - VERANDAH
- WT - WATER TAG
- WM - WATER METER
- WMR - WATER METER RECYCLED
- WC, GC, EC, TC - SERVICE CONDUIT
- W/C - WATER CLOSET

NOTES:
 CONTOURS SHOWN HAVE BEEN INTERPOLATED FROM SPOT LEVELS TAKEN ON-SITE AND ARE A REPRESENTATION OF THE TOPOGRAPHY ONLY.
 DIMENSIONS SHOWN (BEARINGS & DISTANCES) HAVE BEEN DETERMINED BY LAND AND PROPERTY INFORMATION PLANS ONLY. BOUNDARIES HAVE NOT BEEN ACCURATELY DETERMINED.
 SERVICES SHOWN HAVE BEEN LOCATED WHERE POSSIBLE BY FIELD SURVEY. PRIOR TO ANY SITE WORKS, THE RELEVANT AUTHORITY SHOULD BE CONTACTED TO DETERMINE EXACT POSITION OF ANY UNDERGROUND PIPES, CABLES ETC.
 DIMENSIONS OF ANY TREES SHOWN ON THE PLAN ARE APPROX.

OWNER TO PROVIDE DEMOLITION & REMOVAL OF EXISTING DWELLING AND ANY OUTBUILDS INCLUDING DEMOLITION APPLICATION, ALL VISIBLE ASBESTOS SHEETING AND CLEARING TO SITE OF OLD FOOTINGS, SERVICE PIPES, TREES, SHRUBS, ALL RETAINING WALLS & ON-SITE DRIVEWAY

NOTE:
 NO ALLOWANCE HAS BEEN MADE FOR TREE REMOVAL OR AN ARBORISTS REPORT. THE OWNER IS TO PROVIDE ARBORISTS REPORT (IF REQUIRED) PRIOR TO LODGEMENT OF DEVELOPMENT APPLICATION

NOTE:
 OWNER TO PROVIDE CLEARANCE CERTIFICATE, TO ENSURE THAT THE SITE IS CLEAR OF ANY HAZARDOUS MATERIALS

NOTE:
 OWNER TO PROVIDE A SERVICES DISCONNECTION CERTIFICATE (GAS & ELECTRICITY)



NOTES:
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 BUILDER'S LICENCE No. 33493C

CLIENT:
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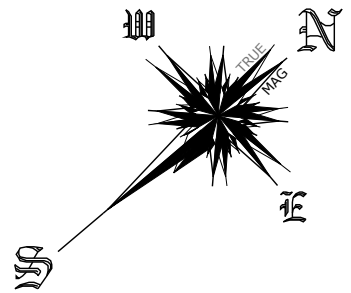
SITE ADDRESS:
 LOT A, DP 161572
 71 GEORGE STREET
 AVALON BEACH NSW 2107

HOUSETYPE:
 MODEL: CHIFLEY 32
 FACADE: CLASSIC
 TYPE: DOUBLE GARAGE
 SPECIFICATION: LUX

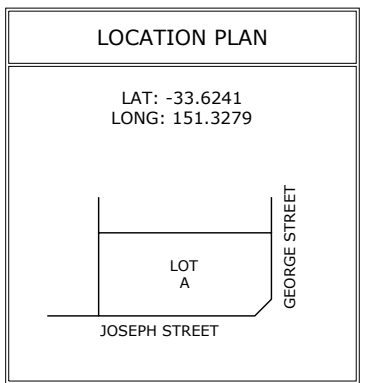
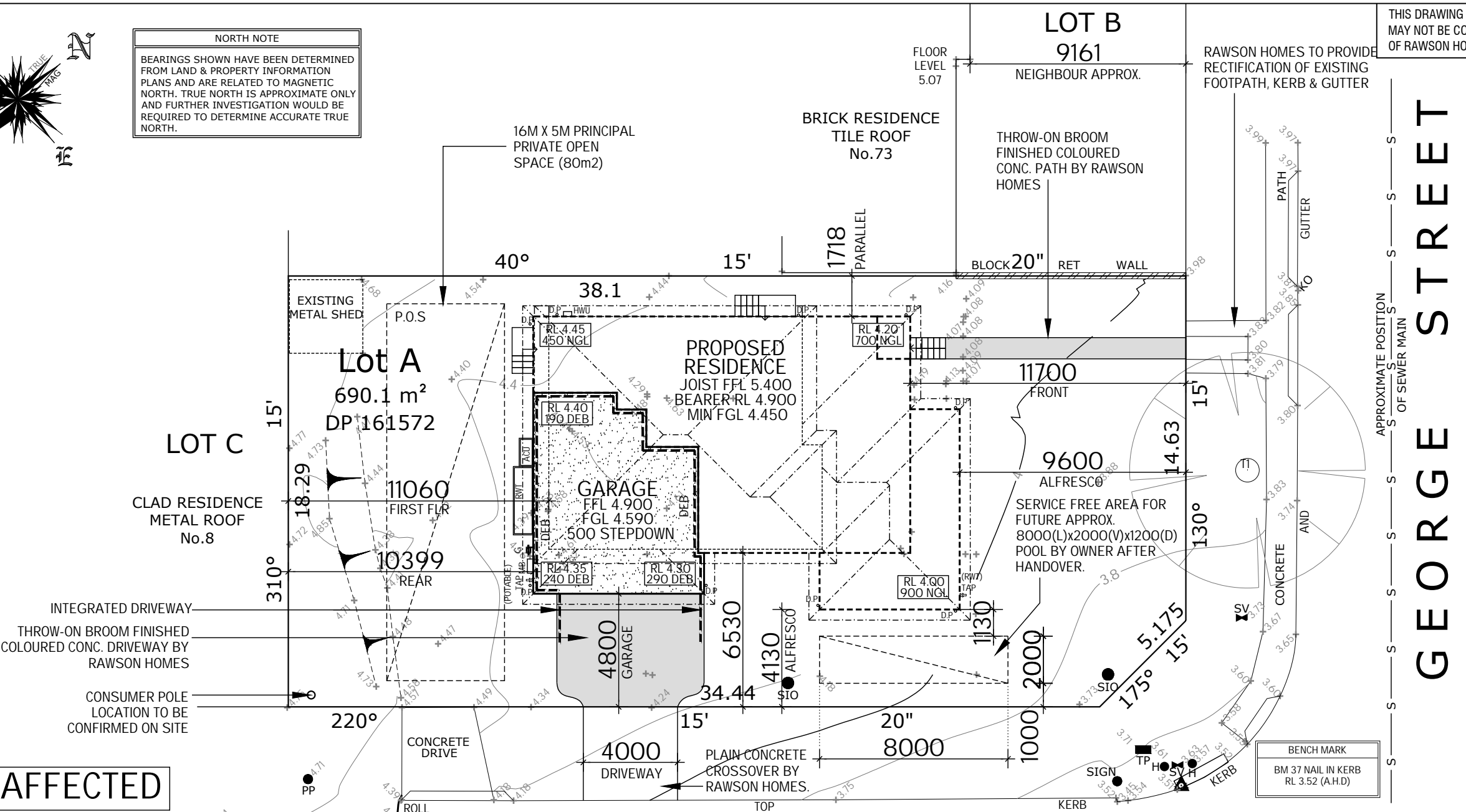
DRAWING TITLE:
 SITE DEMOLITION PLAN

DRAWN BY: DTT	DATE DRAWN: 12.08.19	CHECKED BY: DTT	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: NORTHERN BEACHES		SCALE: 1:200	
JOB No: A009118	DRWG No.: 02	ISSUE: C	

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	DIAMETER	HEIGHT	TYPE
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LEGEND

- BENCH MARK
- PHOTO POINT
- GULLY PIT
- VEHICULAR CROSSING
- TOP OF BANK
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- WM - WATER METER
- WMR - WATER METER RECYCLED
- WC, GC, EC, TC - SERVICE CONDUIT
- W/C - WATER CLOSET

FLOOD AFFECTED

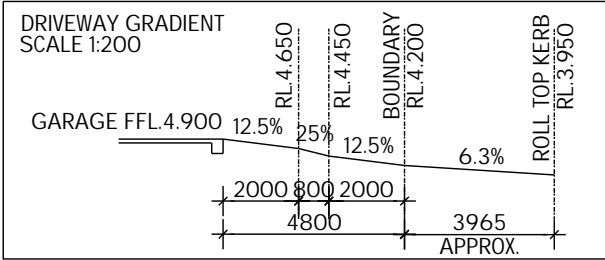
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N2 WIND CATEGORY 0.45M FALL ACROSS BUILDING ENVELOPE

NOTE: DRIVEWAY & FRONT PATH TO COMPLY WITH AS2890
NOTE: EXISTING LAYBACKS ON GEORGE & JOSEPH STREETS TO REMAIN AS PER CLIENT REQUEST

NOTE: PROVIDE OVERHEAD ELECTRICAL CONNECTION OF SERVICE MAINS FROM SERVICE POLE TO CONSUMER POLE WITHIN PROPERTY BOUNDARIES THEN UNDERGROUND MAINS TO METERBOX.
NOTE: RAWSON HOMES TO PROVIDE IMPORT OF FILL



SITE CALCULATIONS DA

GROUND FLOOR	116.47 m²
FIRST FLOOR	110.03 m²
TOTAL LIVING AREA	226.50 m²
SITE AREA	690.10 m²
BUILDING FOOTPRINT	200.27 m²
DRIVEWAY	29.00 m²
PATH	10.53 m²
CROSSOVER	15.88 m²
TOTAL FRONT AREA	180.77 m²
FRONT LANDSCAPE AREA (%)	94.17 %
TOTAL LANDSCAPE AREA	450.30 m²
LANDSCAPE AREA (%)	65.25 %
FLOOR SPACE RATIO	0.33 : 1
SITE COVERAGE	29.02 %

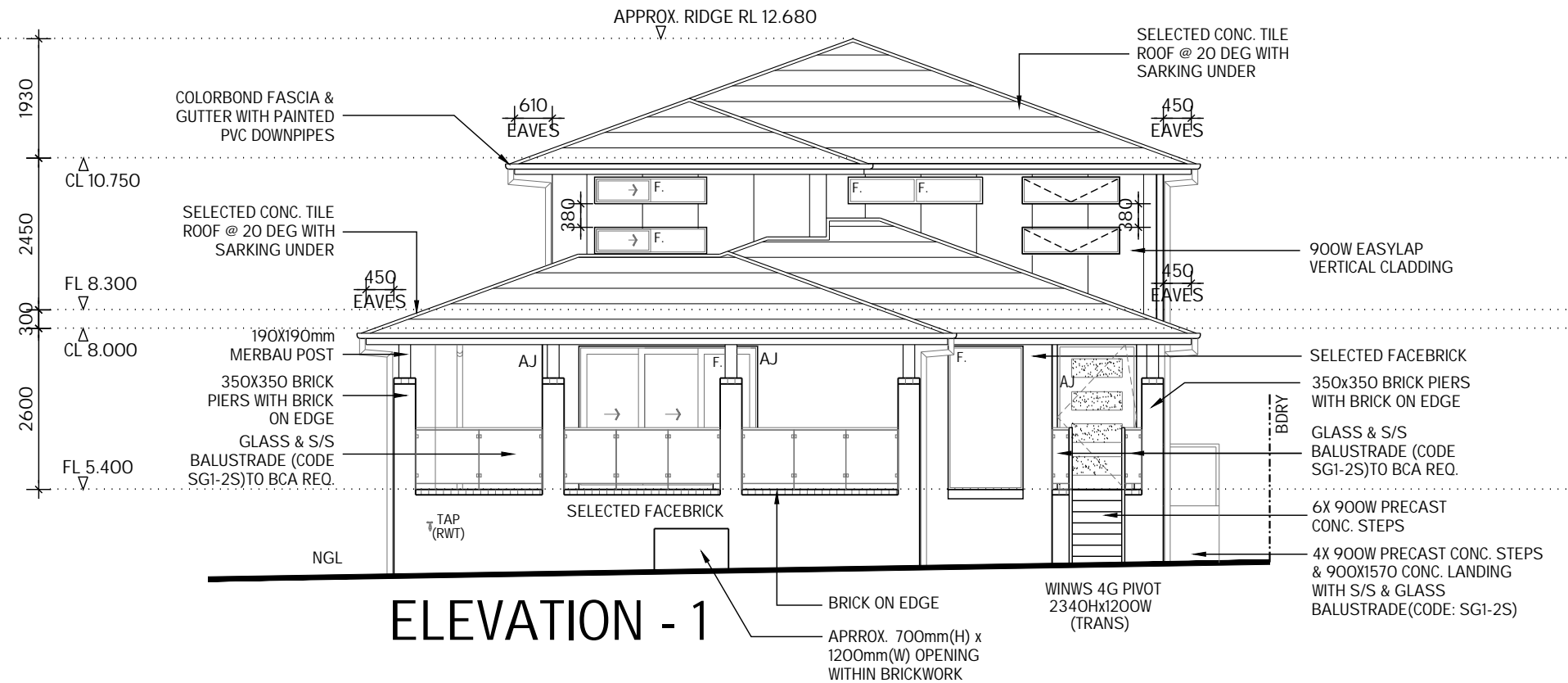
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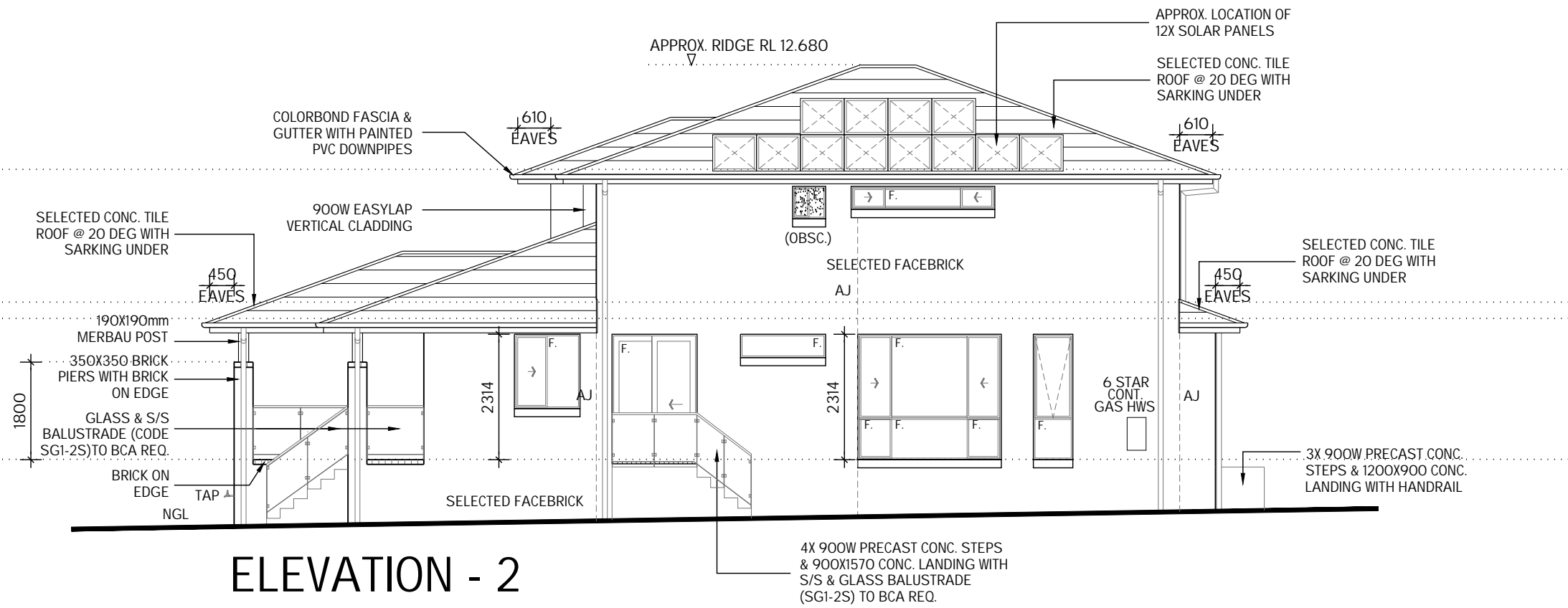
CLIENT: MR M.J. EVANS & MRS J.R. EVANS
SITE ADDRESS: LOT A, DP 161572
71 GEORGE STREET
AVALON BEACH NSW 2107

HOUSETYPE: CHIFLEY 32
MODEL: CLASSIC
FACADE: DOUBLE GARAGE
TYPE: LUX
SPECIFICATION: LUX
DRAWING TITLE: SITE PLAN

DRAWN BY: DTT
DATE DRAWN: 12.08.19
CHECKED BY: DTT
APPROVED FOR CONSTRUCTION:
COUNCIL AREA: NORTHERN BEACHES
SCALE: 1:200
JOB No: A009118
DRWG No.: 03
ISSUE: C



NOTE:
NYLON MESH FLYSCREENS TO ALL
OPENING WINDOWS, SLIDING & STACKER
DOORS (EXCLUDING HINGED DOORS)



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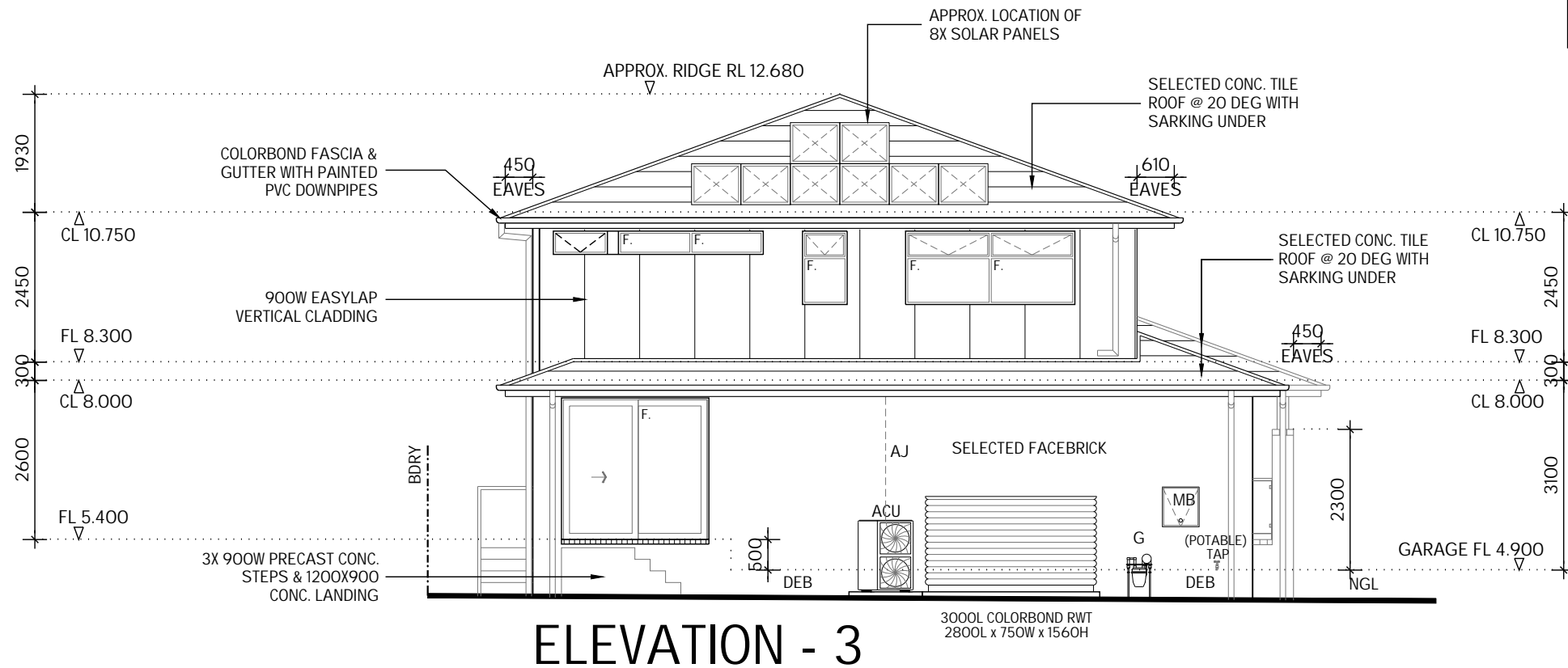
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**LOT A, DP 161572
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AVALON BEACH NSW 2107**

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MODEL: CHIFLEY 32
FACADE: CLASSIC
TYPE: DOUBLE GARAGE
SPECIFICATION: LUX

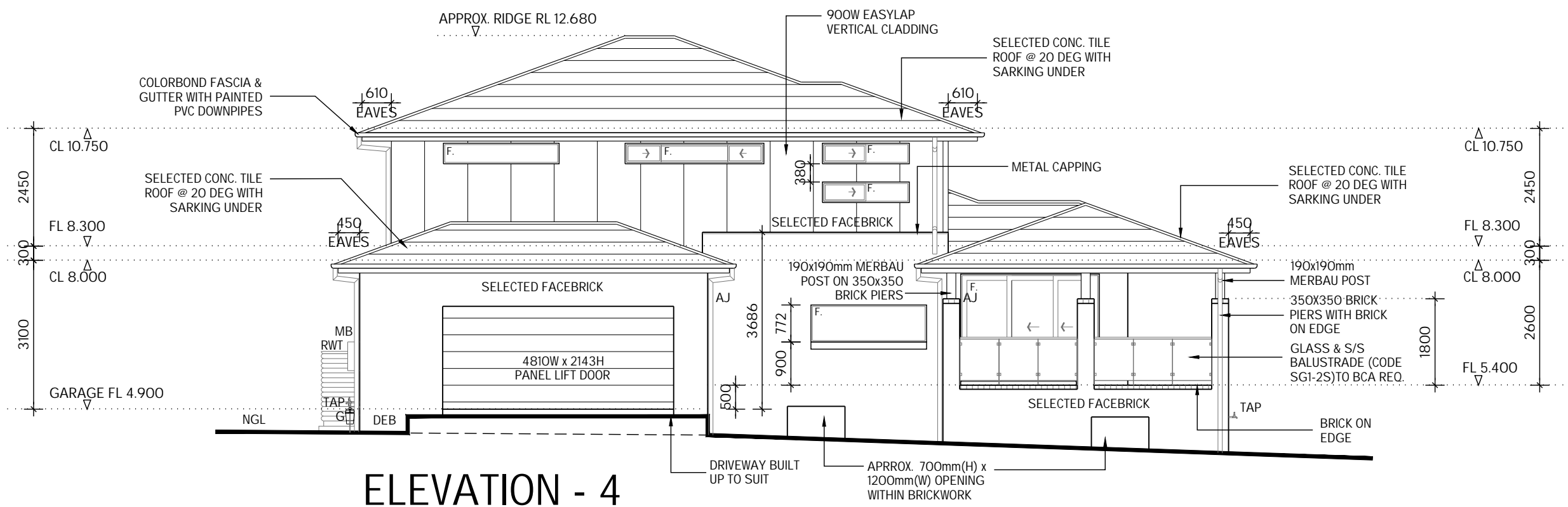
DRAWING TITLE:
ELEVATIONS 1 & 2

DRAWN BY: DTT	DATE DRAWN: 12.08.19	CHECKED BY: DTT	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: NORTHERN BEACHES		SCALE: 1:100	
JOB No: A009118	DRWG No.: 06	ISSUE: C	



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DOORS (EXCLUDING HINGED DOORS)

ELEVATION - 3



ELEVATION - 4

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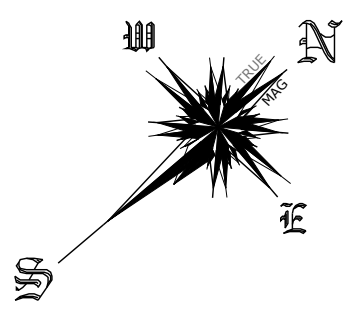
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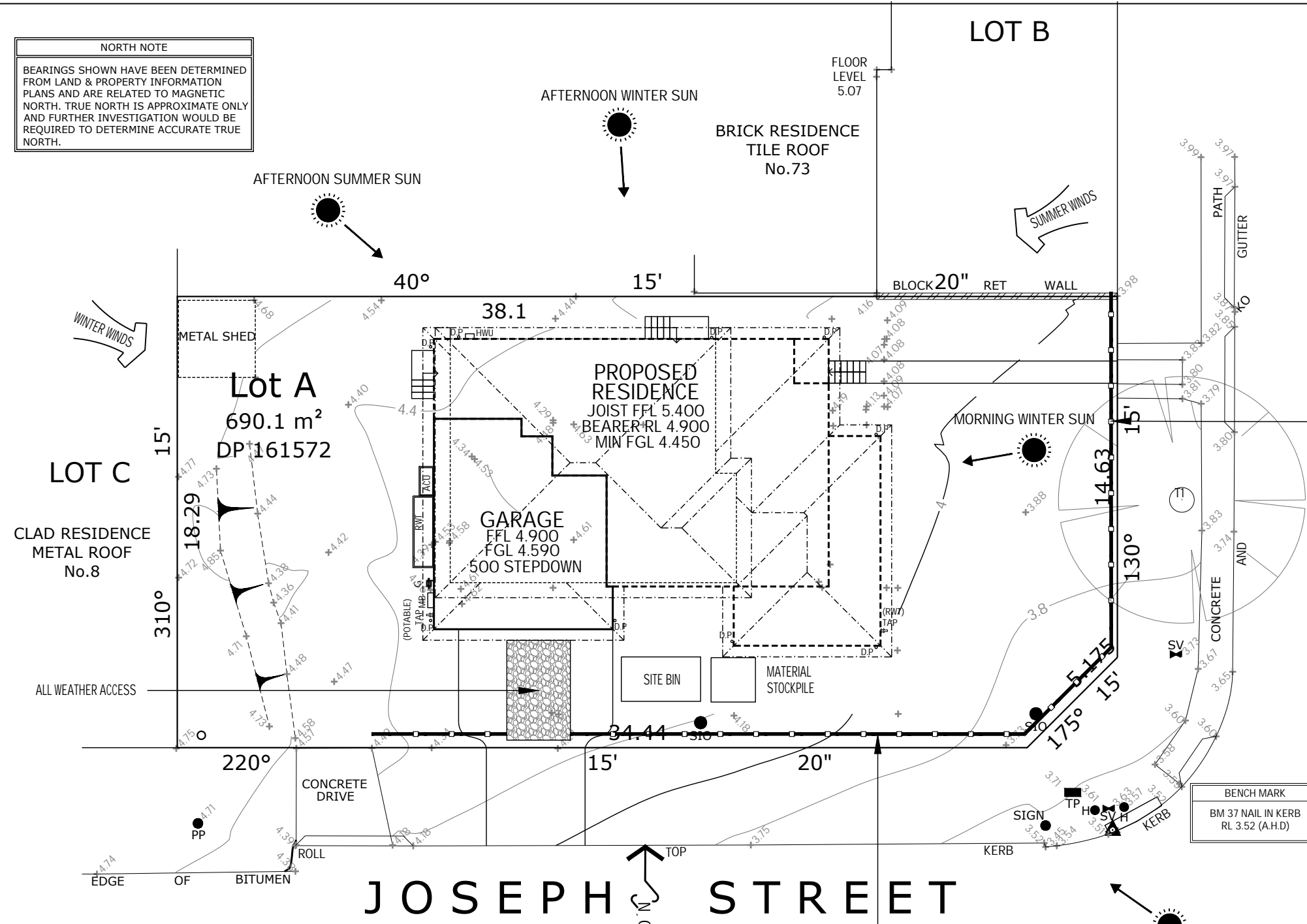
HOUSETYPE:
MODEL: CHIFLEY 32
FACADE: CLASSIC
TYPE: DOUBLE GARAGE
SPECIFICATION: LUX

DRAWING TITLE:
ELEVATIONS 3 & 4

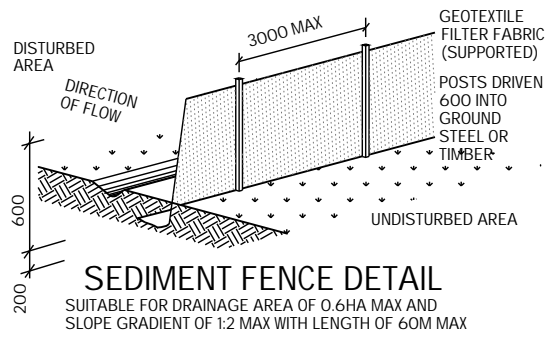
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COUNCIL AREA: NORTHERN BEACHES		SCALE: 1:100	
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GEORGE STREET
 APPROXIMATE POSITION OF SEWER MAIN
 SEDIMENT CONTROL FENCE
 BENCH MARK
 BM 37 NAIL IN KERB
 RL 3.52 (A.H.D.)



SEDIMENT CONTROL

INSTALL SEDIMENT CONTROL STRUCTURES IN LOCATIONS INDICATED ON THIS DRAWING AND AS OTHERWISE REQUIRED TO CONTROL SEDIMENT DURING ALL EXCAVATIONS AND WHILST AREAS OF THE SITE ARE EXPOSED TO EROSION. REVIEW CONTROL MEASURES AND MAINTAIN STRUCTURES DURING CONSTRUCTION.
 IF ADDITIONAL MEASURES ARE REQUIRED FOR EROSION AND CONTROL OR BY COUNCIL REQUIREMENTS, REFER TO "URBAN EROSION AND SEDIMENT CONTROL" GUIDELINES PREPARED BY THE DEPARTMENT OF CONSERVATION AND LAND MANAGEMENT.



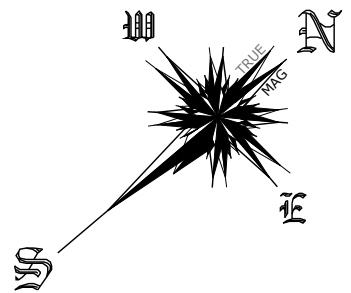
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 MR M.J. EVANS & MRS J.R. EVANS
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 LOT A, DP 161572
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 AVALON BEACH NSW 2107

HOUSETYPE:
 MODEL: CHIFLEY 32
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 TYPE: DOUBLE GARAGE
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DRAWING TITLE:
 SEDIMENT & ANALYSIS PLAN

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COUNCIL AREA: NORTHERN BEACHES		SCALE: 1:200	
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21st JUNE SHADOWS 9:00 AM

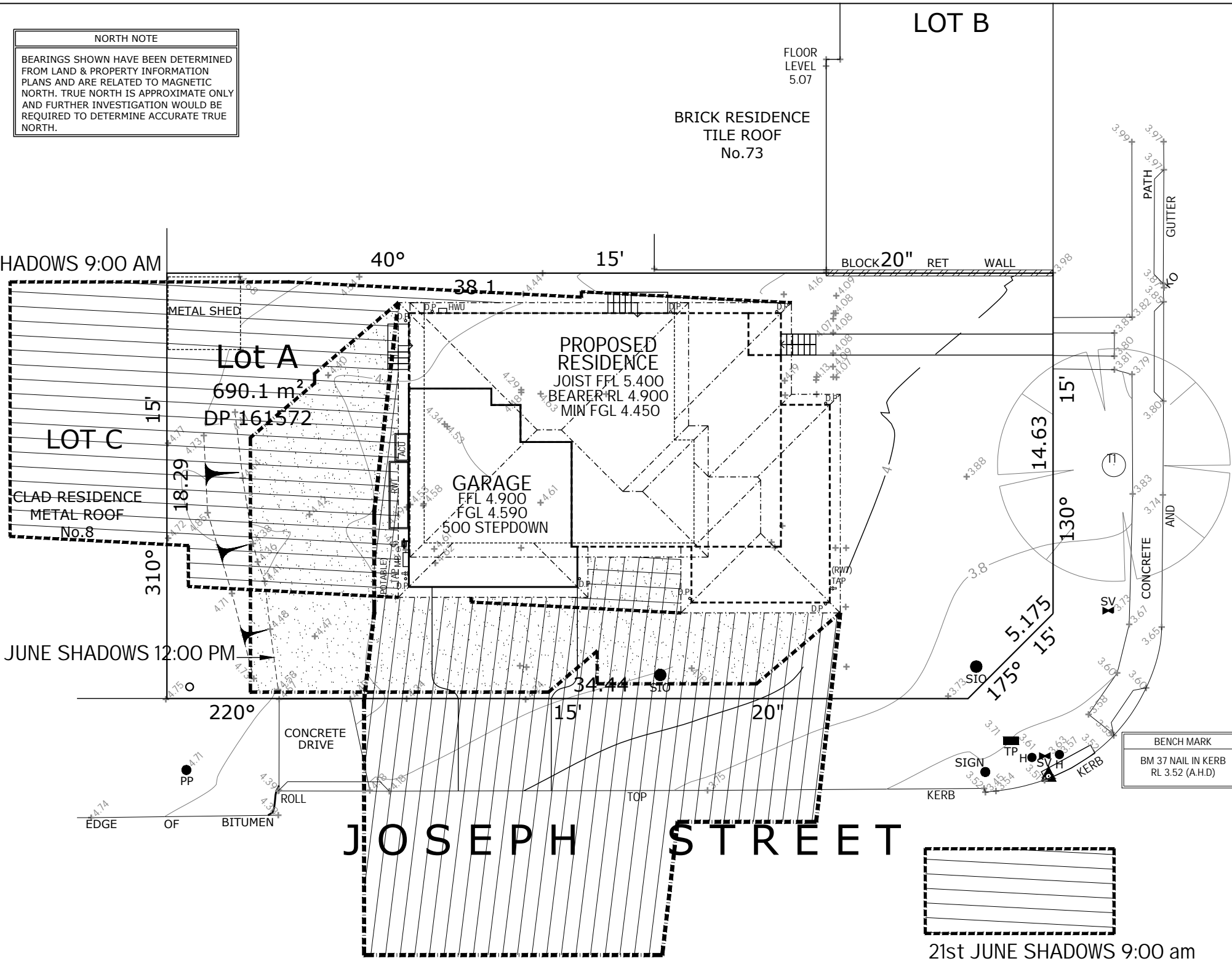
21st JUNE SHADOWS 12:00 PM

21st JUNE SHADOWS 3:00 PM

21st JUNE SHADOWS 9:00 am

21st JUNE SHADOWS 12:00 pm

21st JUNE SHADOWS 3:00 pm



APPROXIMATE POSITION OF SEWER MAIN
GEORGE STREET



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 AVALON BEACH NSW 2107**

HOUSETYPE:
 MODEL: CHIFLEY 32
 FACADE: CLASSIC
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SHADOW DIAGRAM

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