



PITTWATER COUNCIL

ABN61 340837871
Telephone 02 9970 1111
Facsimile 02 9970 7150
Postal Address
PO Box 882
Mona Vale NSW 1660
DX 9018 Mona Vale

Our ref P-08-130
Council ref CC 0324/08

Environmental Compliance
8am to 5 30pm Mon - Thurs 8am to 5pm Fri
Phone 9970 1111

COPY

2 July 2008

Oliver Higgins Wastewater
PO Box 494
Newport NSW 2106

Dear Sir,

**Re Construction Certificate CC 0324/08
Property 5 Chiltern Rd, Ingleside**

Please find enclosed your approved Construction Certificate and stamped plans

Did you know that work is unable to commence until such time as a completed Notification of Commencement Form has been submitted to Council at least two (2) days prior to starting work? Not to do so is a breach of the Environmental Planning and Assessment Act, which would result in a Penalty Infringement Notice (on-the-spot fine) being issued to you and the builder

To assist you please find enclosed a 'Notification of Commencement and Principal Certifying Authority Service Agreement' form to enable you to appoint Pittwater Council as your Principal Certifying Authority (PCA)

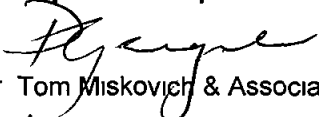
If appointed as the PCA, Council would engage the services of Tom Miskovich & Associates Pty Ltd to carry out the various inspections as indicated in Part 6 of the enclosed "Notification of Commencement and Principal Certifying Authority Service Agreement" form and ultimately issue an Occupation Certificate for your development. Appointment and inspection fees are also detailed in the enclosed form.

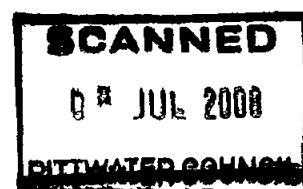
Council will endorse your completed 'Notice of Commencement and Principal Certifying Authority Service Agreement' form and return a copy to the applicant with advice as to the required critical stage and other inspections to be carried out on behalf of Council.

Council is committed to providing a quality service and would value your business in being appointed as the Principal Certifying Authority for your development.

Yours faithfully

Development Compliance Group


Per Tom Miskovich & Associates Pty Ltd



Email pittwater_council@pittwater.nsw.gov.au Web pittwater.nsw.gov.au

Mona Vale Customer Service Centre
Village Park 1 Park Street Mona Vale

Avalon Customer Service Centre
59A Old Barrenjoey Road Avalon

Support Services
Units 11 12 13 + 16/5 Vuko Place Warriewood

Boondah Depot
1 Boondah Road Warriewood



PITTWATER COUNCIL

**Approved Construction Certificate
CC 0324/08**

ABN61340837871
Telephone 02 9970 1111
Facsimile 02 9970 7150
Postal Address
PO Box 882
Mona Vale NSW 1660
DX 9018 Mona Vale

Site Details 5 Chiltern Rd, Ingleside

Legal Description Lot 1 DP 808703

Type of Development Building Work

Description An on-site waste water disposal system

Associated Development Consent No N0569/07 Dated 26 February 2008

Building Code of Australia Classification Class 10b

Details of plans, documents or Certificates to which this Construction Certificate relates

- Drawings No H-01, H-02, H-03, Issue B dated 21/01/91 prepared by Leffler Simes Architects,
- Plans 1 & 2 (site & irrigation layout plans),
- Drawing HAS1 by Oliver-Higgins Wastewater,
- Letter from Oliver Higgins Wastewater regarding DA condition C1, dated 1/6/08,
- Recycled Water Policy document,
- Strcuturla certificate from Kneebone, Beretta & Hall for the inground tank,
- Letter from Demlakian Engineers regarding DA conditions C2 & C4, dated 12/5/08,
- Soil Erosion & Sediment Control Plans C0, C1 & C2 prepared by Demlakian Engineers

I hereby certify that the above plans, documents or Certificates satisfy

- The relevant provisions of the Building Code of Australia, and
- The relevant conditions of Development Consent No N0569/07

And, that work completed in accordance with the documentation accompanying the application for this certificate (and any modifications as verified by me and shown on that documentation) will comply with the requirements of the Environmental Planning and Assessment Regulation, referred to in section 81A(5) of the Environmental Planning and Assessment Act 1979

**Issued By Tom Donohoe
Accreditation Number BPB0096
Pittwater Council Consultant
Building Surveyor**

Date of Endorsement 2 July 2008

Note You are reminded that pursuant to provisions of Clause 81A you must nominate whether Council or an accredited certifier will be the principal certifying authority, also you must give notice to Council of your intention to commence work at least two days beforehand

Email pittwater_council@pittwater.nsw.gov.au Web pittwater.nsw.gov.au

Mona Vale Customer Service Centre
Village Park 1 Park Street Mona Vale

Avalon Customer Service Centre
59A Old Barrenjoey Road Avalon

Support Services
Units 11 12 13 + 16/5 Vuko Place Warriewood

Boondah Depot
1 Boondah Road Warriewood



PITTWATER COUNCIL

NOTIFICATION OF COMMENCEMENT & PRINCIPAL CERTIFYING AUTHORITY SERVICE AGREEMENT

under Environmental Planning and Assessment Act 1979
sections 81A (2) (b) (ii) or (c), or (4) (b) (ii) or (c) 86 (1) and (2)

About this form

- Use this form to appoint Pittwater Council as the Principal Certifying Authority (PCA) to carry out nominated inspections of the building / subdivision works and to issue the required Occupation Certificate
- This form must be submitted to Pittwater Council a minimum of two (2) days prior to the commencement of works

Who can complete this form?

- The owner of the property or the person having the benefit of the development consent
- Note** *The builder or other contractor cannot complete this form unless they are also the owner of the property*

Applicant's Checklist

- Read this document ☐
- Complete pages 1 2 & 3 ☐
- Sign on page 8 ☐
- Attach a copy of Owner Builder Permit or Home Owner Warranty Insurance Certificate ☐

Payment of fees

- Critical Stage Inspection fees (refer to Part 6e of this form) must be paid at the time of booking the inspection
- Issue of Interim/Final Occupation Certificate fee (refer to Part 6e of this form) must be paid prior to release of the certificate to the applicant

Pittwater Council

Tel (612) 9970 1111

Fax (612) 9970 7150

Mona Vale Customer Service
Village Park, 1 Park Street
MONA VALE NSW 2103

Avalon Customer Service
59A Old Barrenjoey Road
AVALON NSW 2108

Mailing Address
PO Box 882
MONA VALE NSW 1660

This form is valid from
1st July 2008 to 30 June 2009

1 DEVELOPMENT INFORMATION

1a) DEVELOPMENT CONSENT

Development Application No NO569/07	Determination Date 26 February 2008
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1b) CONSTRUCTION CERTIFICATE

Construction Certificate No CC0324/08	Date of Issue 2 July 2008
---------------------------------------	---------------------------

1c) DEVELOPMENT DETAILS

Type of Work <input type="checkbox"/> New Building <input checked="" type="checkbox"/> Additions / Alterations <input type="checkbox"/> Subdivision	Brief description of development Installation of Waste Water Treatment Plant and Disposal Area
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1d) SITE DETAILS

Unit/Suite	Street No 5	Street Chiltern Road
Suburb Ingleside NSW 2101		Lot No 1
		Deposit /Strata Plan DP 808703

1e) VALUE OF PROPOSED DEVELOPMENT

Estimated value of proposed works \$49 000 00

1f) DATE WORK IS TO COMMENCE

Minimum notice of two (2) days is required to be given prior to commencement of works
Date of commencement

2 APPLICANT DETAILS

Note The builder or other contractor cannot complete this form unless they are also the owner of the property

Name (owner)	
Postal Address	Phone (H/B) Mobile Email Fax

3 PRINCIPAL CERTIFYING AUTHORITY

PITTWATER COUNCIL

PO Box 882
Mona Vale NSW 1660

Ph 9970 1111
Fax 9970 7150

4 COMPLIANCE WITH DEVELOPMENT CONSENT

Have all conditions to be addressed prior to the commencement of works been satisfied?

☐ YES

☐ NO (see Note below)

Note If **NO** work must not commence

Please be aware that failure to address these conditions may leave you liable and in Breach of the Environmental Planning and Assessment Act 1979 (as amended) Penalties may include an on the spot fine and/or legal action

If you are uncertain as to these requirements please contact Council's Development Compliance Group

5 WHO WILL BE DOING THE BUILDING WORKS?

☐ Owner Builder
Owner Builders Permit No

Copy of Owner Builders permit
attached

☐ YES

**If you are an Owner-Builder for the residential building work exceeding \$5000 you must apply for a permit at NSW Office of Fair Trading, 1 Fitzwilliam Street, Parramatta NSW 2150 Australia
Tel 61 2 98950111 Fax 61 2 9895 0222**

OR

☐ Licensed Builder
Builder's License Number

Name of Builder

Phone

Contact person

Mobile

Address

Fax

Insurance Company

Insurance Certificate attached

☐ Yes

☐ No – statement attached & signed by each owner of the property that the reasonable market cost of the labour & materials to be used is less than \$12,000

If you are using a licensed builder for residential building work exceeding \$12,000 you must obtain Home Building Act Insurance A certificate of insurance must be provided with this application

6 RESPONSIBILITIES OF THE PRINCIPAL CERTIFYING AUTHORITY (PCA)

- 6a) Quality of Service
Pittwater Council will carry out PCA and inspection services in a professional manner and in accordance with the requirements of the Environmental Planning & Assessment Act 1979 and Council's Code of Conduct
- 6b) Site Signage
Pittwater Council will erect a sign on the site to advise the general public of the contact details of the PCA. The sign will be erected during the Commencement Inspection, on Council's acceptance of appointment as PCA
- 6c) Inspections
Pittwater Council officers will undertake the Critical Stage Inspections of the work during construction and prior to issuing an Occupation Certificate to ascertain compliance of specified stages of construction with the Development Consent, Construction Certificate Building Code of Australia & relevant standards of construction. On appointment as the PCA, Pittwater Council will notify the applicant in writing of the Critical Stage & other Inspections
- 6d) Critical Stage and other inspections
The following stages of construction are required to be inspected by Council (as indicated by a ✓ in the relevant box)

Note Council's Development Compliance Officer will complete this section of the form

Office Use Only

- ☐ Footing Inspection (prior to placement of concrete)
- ☐ Slab and other Steel Inspection (prior to placement of concrete)
- ☐ Frame Inspection (prior to fixing floor wall & ceiling linings)
- ☐ Wet Area Waterproofing Inspection (prior to covering)
- ☐ Stormwater Inspection (prior to backfilling of trenches)
- ☐ Swimming Pool Safety Fence Inspection (prior to placement of water)
- ☒ Final Inspection (all works completed and prior to occupation of the building)



Note Should the building works be completed in parts & not all aspects of a Critical Stage Inspection be ready, additional inspections may be required – with a further inspection fee payable

Eg If two slabs are prepared at separate times, two separate inspection bookings and fees are required

- 6e) Critical Stage and other inspection fees
An inspection fee is required for each inspection identified in Part 6d of this form. A separate inspection fee is required for each Critical Stage Inspection. Should works be either incomplete or incorrect at the time of inspection, a further separate reinspection fee will be required.

Each inspection fee must be paid at the time of requesting the inspection

Fee Scale current to 30 June 2009

Critical Stage or other Inspection and re-inspections, including Final	\$245	(Code HINR)
Issue of Interim Occupation Certificate	\$330	(Code FOCC)
Issue of Final Occupation Certificate	\$330	(Code FOCC)

Please note that a failure to give correct notification of required inspections may result in the issuing of a Penalty Infringement Notice (PIN or on-the-spot fine) and/or a Notice and Order by Council and may result in refusal to issue an Occupation Certificate

6f) Inspection Results

Pittwater Council will provide written confirmation to the applicant of the inspection results and indicate if satisfactory or if additional works are required prior to reinspection

7 RESPONSIBILITIES OF THE APPLICANT

7a) Inspections

A minimum of forty-eight (48) hours notice (excluding weekends and public holidays) must be given to Council to enable the specified stages of construction to be inspected as identified in Item 6 of this agreement

Should an inspection be missed the applicant must advise Council in writing (as soon as practicable after the event) of that fact the circumstances causing the inspection to be missed and supporting documentation for Council's consideration. In such cases, the inspection fee, which would normally have been required, must still be paid

The applicant must ensure that the Principal Contractor (Builder/Owner Builder) is advised of the required inspections and that the directions of Council's Development Compliance Officers are to be observed to ensure compliance with the Development Consent, Construction Certificate, Building Code of Australia and the terms of this agreement

7b) Booking of Inspections

The applicant shall request an inspection via Pittwater Council's Inspection Booking Hotline on **9970 1300**. A minimum of forty-eight (48) hours notice must be provided to Council to arrange for completion of the inspection

At the time of requesting the inspection, Pittwater Council will confirm an inspection time and day, name of inspecting officer and mobile contact number

Building works must **not** proceed to the subsequent stages of construction prior to obtaining a satisfactory inspection from Council for each stage of construction specified in Item 6d of this agreement

7c) Site Signage

The applicant is responsible to maintain the PCA signage provided by Pittwater Council at the site until the work is completed

The applicant is responsible to ensure that the Owner Builder or Principal Contractor (Builder) provide a rigid durable sign at the site, visible from the public place and maintained at the site until the work is completed. Such a sign shall display (a) the name, address and telephone number of the person, (b) an after-hours emergency telephone number for the person and (c) stating "Unauthorised Entry to the Site is Prohibited"

7d) Compliance with the Development Consent and Construction Certificate

All works must be carried out in accordance with the terms and conditions of Council's Development Consent and the Construction Certificate and relevant provisions of the Building Code of Australia and Environmental Planning and Assessment Act 1979

Development Consent and a Construction Certificate must be obtained for any amendments or variations to the development prior to the commencement of the amendment or variation

Works not in accordance with the approval and Building Code of Australia may result in the refusal to issue an Occupation Certificate. Council may also serve a Notice and Order to comply with the approval and/or the institution of legal proceedings

7e) Structural Engineering and Other Specialist Details

The following details are to be forwarded to the PCA prior to commencement of the relevant stage of construction (as identified by a ✓). The details are to be prepared by a suitably qualified person to confirm compliance with the relevant provisions of the BCA and Australian Standards

Note: Council's Development Compliance Officer will complete this section of the form

Office Use Only

- ☐ Timber framing details including bracing and tie-downs
- ☐ Roof construction or roof truss details
- ☐ Termite control measures
- ☐ Glazing details
- ☐ Mechanical ventilation details
- ☐ Wet area construction details
- ☐ Details of fire resisting construction
- ☐ Details of essential fire and other safety measures
- ☐ Sound transmission and insulation details
- ☐ Details of compliance with development consent conditions



7f) Certification of Works

To ensure compliance with the Construction Certificate and Building Code of Australia (BCA), the applicant is to provide certification, verifying that the following specialist matters (identified by a ✓) have been carried out

Each certification must

- reference the approved Construction Certificate number property address, relevant provisions of the BCA, Australian Standards and approved drawings
- be prepared by an accredited certifier or other suitably qualified & experienced person to the satisfaction of Pittwater Council

Note Council's Development Compliance Officer will complete this section of the form

Office Use Only

- ☐ Survey detailing building setbacks, reduced levels of floors & ridge by a registered surveyor
- ☐ Shoring and support for adjoining premises and structures by a structural engineer
- ☐ Contiguous piers or piling by a structural engineer
- ☐ Underpinning works by a structural engineer
- ☐ Structural engineering works by a structural engineer
- ☐ Retaining walls by a structural engineer
- ☐ Stormwater drainage works by a hydraulic engineer and surveyor
- ☐ Landscaping works by the landscaper
- ☐ Condition of trees by an Arborist
- ☐ Mechanical ventilation by a mechanical engineer
- ☐ Termite control and protection by a licensed pest controller
- ☐ Waterproofing of wet areas by a licensed waterproofer or licensed builder
- ☐ Installation of glazing by a licensed builder
- ☐ Installation of smoke alarm systems by a licensed electrician
- ☐ Completion of construction requirements in a bush fire prone area by a competent person
- ☐ Completion of requirements listed in the BASIX Certificate by a competent person
- ☐ Fire resisting construction systems by a competent person
- ☐ Smoke hazard management systems by a competent person
- ☐ Essential fire safety and other safety measures by a competent person (Form 15a)
- ☐ Completion of Bushland Management requirements by a suitably qualified person
- ☐ Installation of Waste Water Management System by a suitably qualified person
- ☐ Installation of the inclined lift by a suitably qualified person
- ☐ Installation of sound attenuation measures by an acoustic engineer
- ☒ Matters required by Development Consent conditions



Office Use Only

7g) Occupation Certificate

A *Final* Occupation Certificate must be obtained from the PCA prior to the occupation or use of a new building (or part of a building) or prior to the change of an existing building use/classification. An inspection fee is to be paid to the PCA in accordance with the fee scale in Part 6e of this agreement.

An application may be made to the PCA for an *Interim* Occupation Certificate, which will be considered in accordance with the provisions of the Environmental Planning and Assessment Act 1979 and conditions of development consent.

Only the Principal Certifying Authority can issue an Occupation Certificate and the Environmental Planning and Assessment Act 1979 contains penalty provisions for failing to obtain a required Occupation Certificate.

An application for an *Interim* or *Final* Occupation Certificate must be accompanied by a final or interim *fire safety certificates* as required by the EP&A Regulations, Clauses 80E or 80F for buildings other than Class 1 and 10.

7h) Miscellaneous requirements

The applicant is required to ensure that valid public liability insurance cover to the value of \$10,000,000 (minimum) is held by the applicant and/or builder.

The applicant is required to notify Council, in writing, of any change in the details or address of the applicant or head contractor.

Pittwater Council may cancel the agreement if there is a breach of the agreement.

8 **YOUR SIGNATURE**

I accept the terms and conditions of this service agreement, including the associated payment of fees and appoint Pittwater Council as the Principal Certifying Authority for the subject development.

Signature

Date

9 **COUNCIL'S AGREEMENT TO APPOINTMENT**

The relevant details in Parts 6d, 7e & 7f of this agreement have been completed. Home Owners Warranty Insurance Certificate or Owner/Builders Permit or Statement has been provided where necessary and I acknowledge the appointment of Pittwater Council as the Principal Certifying Authority.

Officer's name

on behalf of Pittwater Council

Officer's signature

Date

PRIVACY AND PERSONAL INFORMATION PROTECTION NOTICE

Purpose of collection	To enable Council to act as the Principal Certifying Authority for the development
Intended recipients	Pittwater Council staff
Supply	The information is required by legislation
Consequence of Non provision	Your application may not be accepted, not processed or rejected for lack of information
Storage	Pittwater Council will store details of this form in a register that can be viewed by the public
Retention period	Hard copies will be destroyed after 7 years and electronic records will be kept indefinitely
Please contact Council if this information you have provided is incorrect or changes	

PITTSBURGH COUNCIL CONSTRUCTION CERTIFICATE	
Number: CC 0324/08	This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.
Endorsed by: RL TMA	Date: 02 JUL 2008

40000 H₂O
POLY TANK (STORAGE)

TREATMENT TANK EXISTING TANK

100000 H₂O

PAVEMENT

PROPOSED DEVELOPMENT

SEWAGE TREATMENT BY

AERATED WASTEWATER

TREATMENT PLANT WITH

DISPOSAL BY SUB-SURFACE

IRRIGATION

OF

HOMERIDGE ARCADE ON SOPHIE GASTON SCHOOL

5 CHURCH RD LINDSEY

PAINTS BY OLIVER HITCHING WASTEWATER

750 BOX 444 NEWPORT 2106 9018615

SCALE 1:1500 DATE 1-6-7

PITTSBURGH DEVELOPMENT

APPROVED PROPOSED IRRIGATION AREA

NOTE: THESE PLANS MUST BE IN CONJUNCTION WITH THE CONSTRUCTION DEVELOPMENT CONS

6900 m²

140 m²

RAIN

IRRIGATION DELIVERY LINE

SECONDARY SCHOOL

PREMISES
SCHOOL
LIBRARY
ADMIN

FILM
STUDIO
BUILDINGS

WATER
TANKS

PLAN 1

DELIVERY LINE 50mm

SOLENOIDS

2mtr Int

115

COMMON
FLUSH LINE

ANTI VIBRATION
VALVE ON
EACH BRANCH
OF 5 LINES

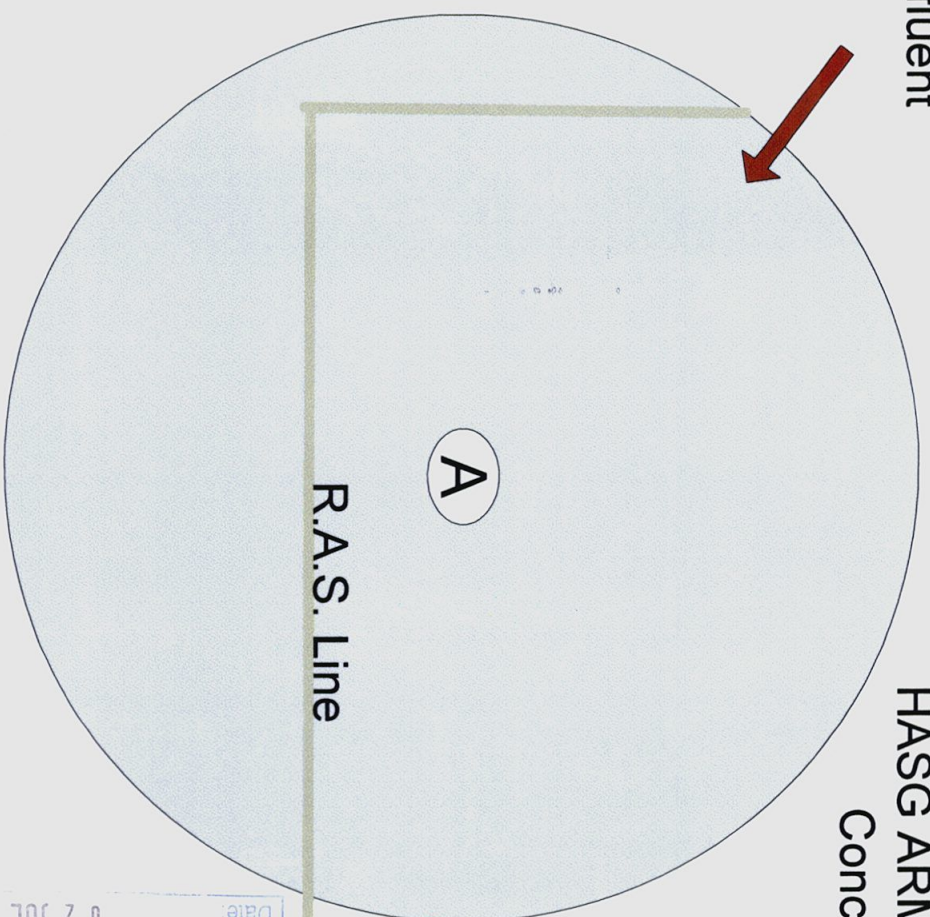
IRRIGATION LAYOUT 30 LINES (6x5)
AUTOMATIC ROTATION BY ELECTRONIC CONTROLLER AND SOLENOIDS
DISTRIBUTION BY NETWORK 15mm PRESSURE COMPENSATING
TRAP LINE INSTALLED ON COMPANED W/TEL
MAINTENANCE REPORT 2001 & 2005 R1 AND ACCOMPANYING
DETAILS DATED 24 April 2007

PITTWATER COUNCIL CONSTRUCTION CERTIFICATE	
Number: CC 0324/08	This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.
Endorsed by: RA	TMH
Date: 02 JUL 2008	

PLAN 2

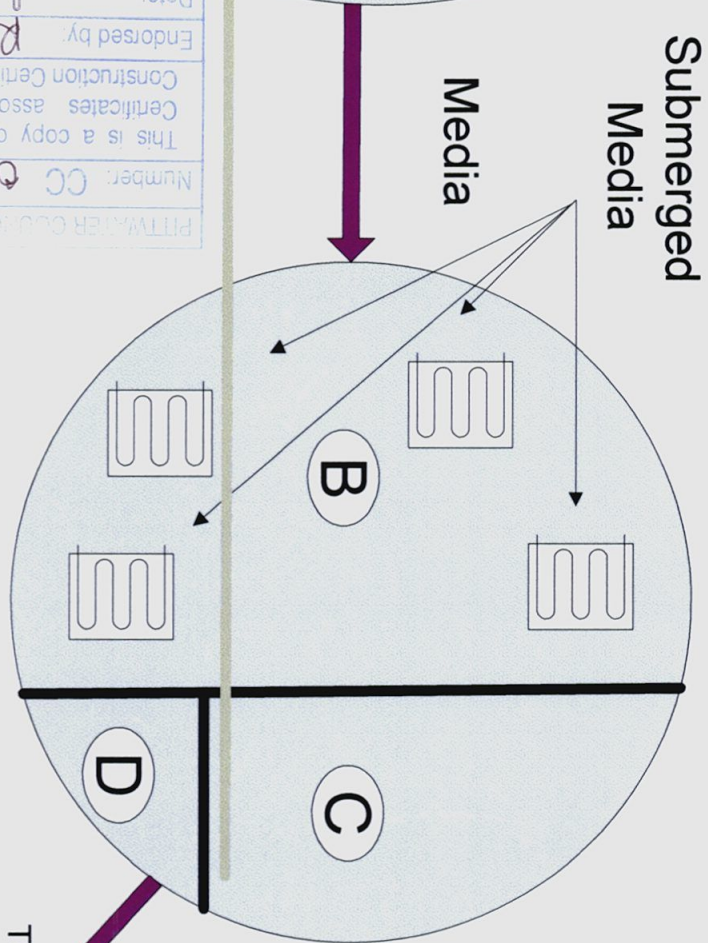
Influent

HASG ARMENIAN SCHOOL
Concept Drawing



Tank 1

(existing)



Tank 2

(to be constructed)

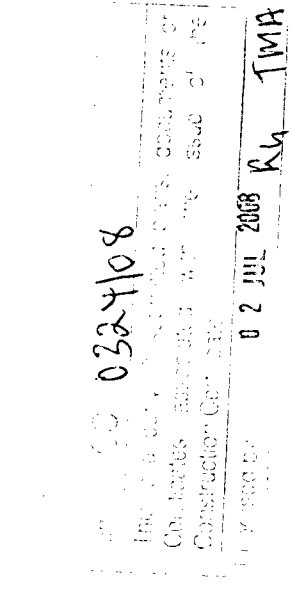
To disposal via
Irrigation

PITTMANER COUNCIL CONSTRUCTION CERTIFICATE
Number: CC 0324/08.
This is a copy of submitted plans, documents or
Certificates associated with the issue of the
Construction Certificate.
Endorsed by: RA TMH
Date: 02 JUL 2008

OLIVER-HIGGINS
WASTEWATER
P.O.Box 494
Newport 2106
Phone 02999186165
Fax 02999186165
Email email@ohw.com.au
Website www.ohw.com.au

A	Primary	100,000 litres
B	Aeration Chambers	30,000 litres
C	Clarification Chambers	9,000 litres
D	Irrigation Chamber	5,000 litres

Drawing No	HAS 1
Concept drawing	
Date	13/6/07
Prep. By	D Hatch



032408


1. ALL DR'S TO BE 100mm UNLESS NOTED OTHERWISE.
2. ALL SW PIPEWORK TO HAVE MIN GRADE OF 1:100.
3. ALL SLOPE PIPEWORK TO HAVE MIN. GRADE OF 1:100.
4. GRADE OF 1:60 U.N.O. 100mm U.N.O.
5. MIN. GRADE GAS SERVICE 1:240 U.O.
6. ALL CW PIPE TO BE 250mm U.N.O. TO 150mm U.N.O.
7. ALL SW PIPEWORK TO BE FITTED WITH A PRESSURE LIMITING VALVE SET AT 500KPa.
8. ALL SW PIPEWORK TO BE 110mm U.N.O.
9. ALL SW PIPEWORK TO BE 100mm U.N.O.
10. GAS SW PIPEWORK TO BE RUN ACROSS ROAD WITHIN 100mm OF ROAD LEVEL.
11. TURNUP WITH COLLAR AT GROUND LEVEL.
12. ALL SW PIPEWORK TO BE 150mm U.N.O.
13. ALL SW PIPEWORK TO BE 100mm U.N.O. TO BE 110 U.PVC EXCEPT WHERE UNDER ROAD.
14. ADJUST SW DRAINFALL FROM INDIVIDUAL DR'S TO BE 110 U.PVC U.N.O.

THIS IS THE	DOCUMENT	REFERRED TO
THE ANNEXED	AGREEMENT	SIGNED BY US
THIS	DAY	September 18 1914
PROPRIETOR	<i>Wm. H. H. H.</i>	BUILDER <i>Wm. H. H. H.</i>
WITNESS	<i>Wm. H. H. H.</i>	WITNESS <i>Wm. H. H. H.</i>

LEFFLER SIMES
physica ARCHITECTS


7 YOUNG STREET NEUTRAL BAY NSW 2089
PH (02) 908 3344 FAX (02) 908 3878

SMITH PAUL & PARTNERS PTY LTD
HYDRAULIC & FIRE PROTECTION CONSULTANTS

 123 CLARENCE STREET
SYDNEY NSW 2000
PHONE: 29 1312
FAX: 290 1295

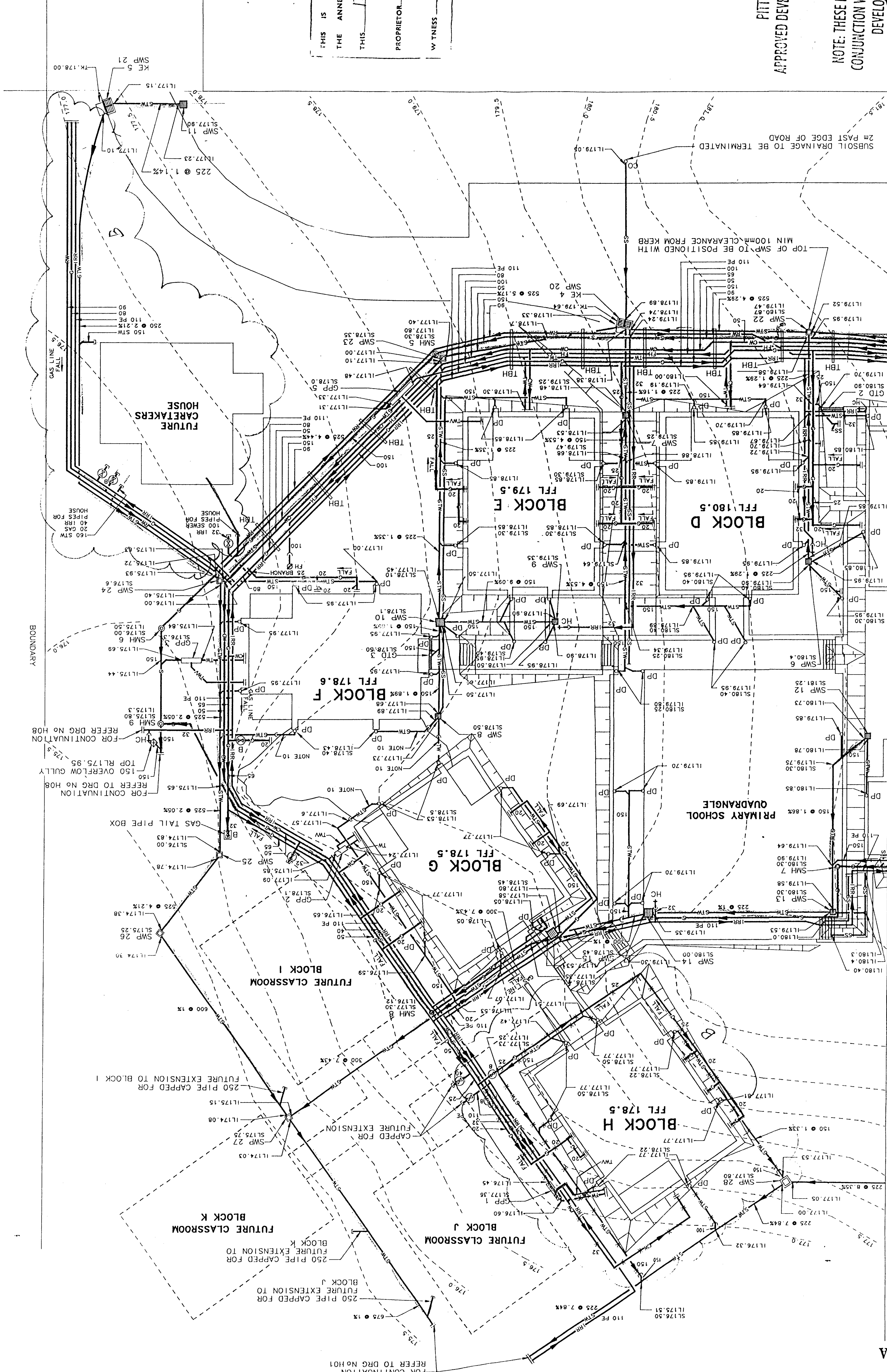
CLIENT
**HAMAZKAINE ARSHAK &
SOPHIE GALSTAUN
SCHOOL INC.**

NEW YORK STATE SCHOOL
DISTRICT CONSENT PLANS
GALSTADT, NE



TITLE
HYDRAULIC SERVICES
PART SITE PLAN B

SCALE 1:200	DRAWN P.W./P.S.	CHECKED <i>PS</i>
DATE OCT 1990	DRAWING No.	ISSUE
JOB No. 00007	H-03	B



DRAWING

BREAK

LINE

JOINS TO
DRG H-02

Oliver-Higgins Wastewater

WASTEWATER CONTRACTORS

WASTEWATER TREATMENT PLANTS; SUSTAINABLE DESIGN; GREYwater TREATMENT; BENEFICIAL RE-USE

Pittwater Shire Council
Vuko Place
Warriewood
NSW 2102

1st June 2008

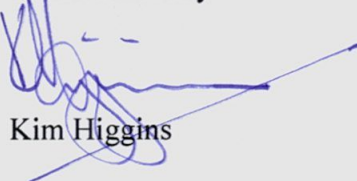
DA No. N0569/07

Attention Kristy Wise

Dear Ms Wise,

In response to the requirements of Condition C1 of the above DA Consent, please be advised that the effluent disposal area has been designed by Martens and Associates Pty Ltd in accordance with the relevant Council and State Government Management Guidelines to ensure the application of the treated effluent to the proposed area is sustainable. (see 'Wastewater Management Study' ref No. 2001E609JR1 dated February 2003 and subsequent letter Dated 24 April 2007, ref No. 2001E609JC08_v1). These documents contain effluent re-use concept design modelling inclusive of daily water and nutrient modelling and the findings and recommendations of such modelling are contained therein.

Yours Sincerely



Kim Higgins

PITTWATER COUNCIL CONSTRUCTION CERTIFICATE	
Number:	CC 0324/08
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.	
Endorsed by:	Rh TMA
Date:	02 JUL 2008



HAMAZKAINE ARSHAK & SOPHIE GALSTAUN COLLEGE
5 Chiltern Road, Ingleside NSW 2101, Australia

Tel: (02) 9970 6984 - Fax: (02) 9970 6778
Email: admin@hasg.nsw.edu.au - Web: www.hasg.nsw.edu.au

RECYCLED WATER POLICY - 5 Chiltern Rd, Ingleside

The Hamazkaine Arshak & Sophie Galstaun College is committed to the development and operation of a safe, economically viable, environmentally sustainable and socially acceptable recycled water scheme.

Stakeholders:

- Hamazkaine Arshak & Sophie Galstaun College (HASGC) (owner)
- Government Jurisdictions
- Any person or group that has an interest or concern
- Oliver Higgins Wastewater Contractors (OHW) (contractors)

Recycled Wastewater Principles:

- Ensure risks are made explicit, are understood, managed and accepted by the stakeholders.
- OHW to educate HASGC of shared risks and responsibilities and their commitment to the continuous application of the risk management of the scheme.
- HASGC to educate all persons attending the College of shared risks and responsibilities.
- Risk management to be reviewed if, an event occurs eg breakdown, annually, or at the request of a stakeholder.
- The recycle scheme is to comply with all regulatory requirements.
- Any complaint, problem or fault reported, whether actual or perceived must be notified to the servicing agent and recorded in the site register as a permanent record for view by interested parties and for review of risk management.
- Ensure the treatment system and disposal areas are properly maintained. Carry out any rectification works as may be required to ensure the compliant operation of the scheme.
- This policy is to be reviewed annually to ascertain its ongoing suitability.

The objective of the recycled water scheme and the above principles is to use recycled water for the purposes of irrigation whilst ensuring that there are no adverse affects to public health or environment considerations.

PITTWATER COUNCIL CONSTRUCTION CERTIFICATE	
Number:	CC 0324/08
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.	
Endorsed by:	Ru TMA
Date:	02 JUL 2008

Member of
The Association of
Consulting Engineers
Australia



KNEEBONE, BERETTA & HALL PTY LTD

ACN 002 418 787 ABN 36 822 442 203
CONSULTING STRUCTURAL & CIVIL ENGINEERS
4 Macquarie Avenue PENRITH NSW 2750
Ph: (02) 4731 3833 Fax: (02) 4721 5442
E-Mail: kneebone@pnc.com.au

Ref: 0056-C6
12 July 2002

STANDARD 6.3m DIAMETER TANK. BUILDER: PANTHER WATER TANKS.

This is to certify that we have designed the above 65,000 litre water tank and are satisfied that if constructed in accordance with the following details will be structurally adequate for water storage as an in-ground tank.

- Tank Size - 6.3m diameter x 2.1m deep (internal dimensions)
- Floor Slab - 110mm thick excavated into firm natural ground with a safe bearing capacity of at least 300kPa.
- Walls - 125mm thick reinforced with F82 fabric placed centrally. Lap wall fabric 400mm into floor slab around perimeter of wall.
- Columns - Provide 4 columns equally spaced below roof slab. Use 150mm diameter PVC pipes concrete filled and reinforced with 1-Y12 bar full height of each column.
- Roof Slab - 125mm thick reinforced with F82 fabric throughout bottom of slab, 30mm cover. Provide additional F82 fabric x 1000mm square top extra over each column, 30mm cover.
- Concrete - Concrete strength to be 32MPa in accordance with AS3600. Maximum slump to be 80mm.

Note:

- All backfill material around tank to be porous rubble. Seal surface of backfill with 200mm thick layer of compacted clay
- Adequate drainage must be provided to prevent uplift of tank due to buoyancy when empty.
- Design is adequate for 6.3m diameter tank, fully in-ground with 150mm maximum thick soil covering over roof slab.
- The roof slab is designed for light loading and is unsuitable for crowd or vehicular loads.

PITTWATER COUNCIL CONSTRUCTION CERTIFICATE	
Number: CC 0324/08	This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.
Endorsed by: <i>Ru TMA</i>	
Date: 02 JUL 2008	

PITTWATER COUNCIL CONSTRUCTION CERTIFICATE	
Number:	CC 0324/08
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.	
Endorsed by:	RLH TMA
Date:	02 JUL 2008



12th May 2008

REF: 208083rpt20080512_Excavation Report

Mr Vic Nalbandian
22 Roger Street
BROOKVALE NSW 2100

Demlakian Engineers Pty Limited
T/A Demlakian Consulting Engineers
ABN 25 270 948 695
Level 2, 5 Ridge Street
North Sydney NSW 2060
Telephone: (02) 9955 4485
Facsimile: (02) 9955 6122

P.O. Box 6553 North Sydney 2059
Email: info@demlakian.com.au
www.demlakian.com.au

**RE: HAMAZKAINE ARSHAK & SOPHIE GALSTAUN SCHOOL INC.
5 CHILTERN ROAD INGLESIDE NSW**

INTRODUCTION

Further to the requirements of Conditions C2 and C4 of Development Consent No. N0569/07 endorsed 26th February 2008 by Pittwater Council we confirm as follows.

A suitably qualified engineer has inspected the site and reviewed the requirements on the consent in regard to the site conditions and the proposed works.

The proposed works consist of upgrading the existing pump-out sewage system to an on-site sewage management facility. This requires construction of a series of treatment tanks adjacent to the location of the existing septic tank along with a pressure pipe to the existing sports field located adjacent the eastern boundary.

The conditions of consent require provision of an Erosion and Sediment Management Plan along with a Schedule of Works and procedures for excavation and retention of cuts to ensure site stability is maintained.

Accordingly this report and the accompanying drawings 208083/C0, C1, C2 and C3 provide the required details.

EROSION AND SEDIMENT MANAGEMET PLAN AND SCHEDULE OF WORKS

1. The proposed works will require localised excavation for the installation of tanks and slabs for pumps in the location of the treatment facility. The accompanying drawings indicate the protection measures in this location.
2. We have investigated the route of the proposed pipe trench to the infiltration area located under the Sports Field. The adjoining surface generally slopes into the site for most of the length of the trench and to the northeast in the area of Sports Field. Where the ground levels slope towards adjoining properties a sediment fence will be installed along boundaries, although the potential for runoff is minimal

Structural Engineers Civil Engineers Hydraulic Engineers Project Managers Rectification Engineers

DEMLAKIAN

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Date:	02 JUL 2008



As noted the proposal is to excavate a series of trenches through the existing Sports Field to act as infiltration beds for treated effluent. The following measures will be implemented to protect this area of the works.

- To divert storm water running onto the excavated area a Cut-off drain will be constructed along the western side of Sports Field to intercept stormwater and redirect to the north of the proposed excavated area.
 - This cut-off drain will be filtered through a series of hay bales prior to following the natural drainage path into the existing water storage dam.
 - The excavation of the Sports Field will be surrounded by a sediment fence to filter runoff prior to following the natural drainage path into the existing water storage dam.
 - The existing water storage dam will be used as a temporary sediment trap for the duration of the works. The accompanying drawings provide details for dosing with gypsum to allow sediments to settle as required prior to discharging the dam by pumping. If required the dam can be pumped through a sand filter.
4. An Infiltration Filter will be used around all affected existing storm water pits to protect the polluted stormwater into the drainage system.
 5. A Truck Shaker will be provided to wash down all vehicles prior to leaving the site.

PROCEDURES FOR EXCAVATION AND RETENTION OF CUT

The proposed extent of works involves minor shallow excavations for construction of the treatment facility along with a series of trenches for installation of pipes and infiltration beds. The typical trench depth is in the order of 1.0 metre. Our inspection has confirmed that the works are located in relatively level ground and thus there is no reason to expect that the works will cause site instability. The pipes can be installed by typical cut and cover trenching techniques. Where required the trench sides can be battered at a grade of 1 to 1 for stability or shoring may be used. This can be in the form of designed strutted timber planking or a proprietary "drag box".

CONCLUSION

We confirm that the measures indicated in this report and accompanying drawings provide adequate protection to the environment and the procedures for excavation and retention of cut are suitable for the site conditions.

Yours faithfully,

David Wilcox
BE (Hons I) MIEAust CPEng
Associate

DEMLAKIAN CONSULTING ENGINEERS

REF: 208083rpt20080512_Excavation Report
12th May 2008



ON-SITE WASTE WATER DISPOSAL SYSTEM 5 CHILTERN ROAD INGLESIDE CIVIL NOTES

BACK EXCAVATION & CIVIL WORKS NOTES

- GENERAL
1. All work shall be carried out in accordance with the Council's By-Laws and the relevant provisions of the Environmental Protection Act 1990 and the Environmental Protection Regulations 2003.
 2. The Contractor shall be responsible for obtaining all necessary permits and licences from the relevant authorities.
 3. The Contractor shall be responsible for the safety of the public and the environment.
 4. The Contractor shall be responsible for the disposal of all waste materials in accordance with the relevant regulations.
 5. The Contractor shall be responsible for the reinstatement of the site to its original condition.
 6. The Contractor shall be responsible for the completion of the works within the specified time frame.
 7. The Contractor shall be responsible for the provision of all necessary materials and labour.
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SOIL & WATER MANAGEMENT PLAN NOTES

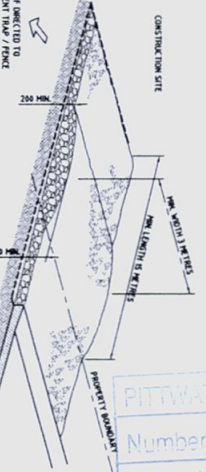
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EARTH BANK (CUT-OFF DRAIN)

CONSTRUCTION NOTES

1. CONSTRUCT WITH GRADIENT OF 1:1 TO 1:1.5.
2. AVOID REMOVING TREES AND SHRUBS IF POSSIBLE.
3. GRADIENT TO BE OF SUFFICIENT PROPORTION TO PREVENT CROSS SECTION WITH "V" SHAPE.
4. EARTH BANKS TO BE REGULARLY COMPACTED IN ORDER TO PREVENT FAILURE.
5. PREPARE TO STABILISE EARTH BANKS TO BE CONSTRUCTED.
6. ALL DRAINAGE FROM EXISTING LANDS ARE TO BE DRAIN INTO A SEPARATE BASIN OR SINK.
7. DISCHARGE RUNOFF COLLECTED FROM EXISTING LANDS INTO EITHER A SEPARATE BASIN OR SINK OR INTO THE EXISTING DRAINAGE SYSTEM.
8. CONSTRUCT EARTH BANKS TO BE SUFFICIENT TO PREVENT FLOODING OF THE ADJACENT LANDS.
9. EARTH BANKS TO BE REGULARLY COMPACTED AND MAINTAINED TO PREVENT FAILURE.
10. EARTH BANKS TO BE REGULARLY MAINTAINED TO PREVENT FAILURE.



STABILISED SITE ACCESS

1. STABILISE ACCESS TO SITE.
2. STABILISE ACCESS TO SITE.
3. STABILISE ACCESS TO SITE.
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DRAWING SCHEDULE

- CIVIL DRAWINGS
1. CIVIL NOTES & DRAWING SCHEDULE
 2. EROSION & SEDIMENT CONTROL PLAN
 3. EROSION & SEDIMENT CONTROL DETAILS

DEMLAKIAN



INNOVATION IN ENGINEERING

PITTSWATER COUNCIL CONSTRUCTION CERTIFICATE

Number: CC 0324/08

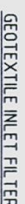
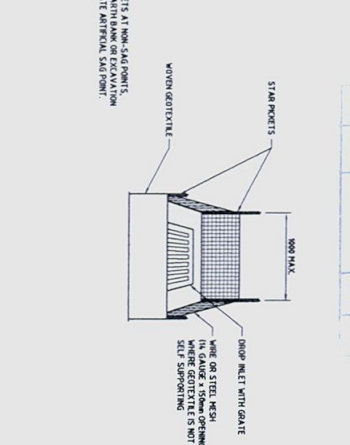
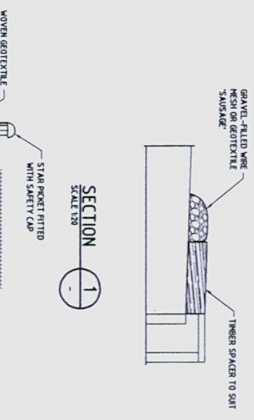
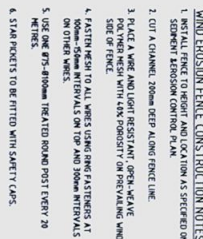
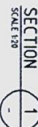
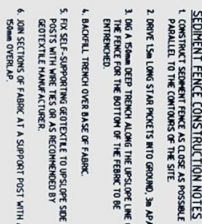
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Endorsed by: RA TMA

Date: 02 JUL 2008

REVISED FOR APPROVAL	BY	DATE	REVISION	BY	DATE	REVISION	BY	DATE	REVISION
14.05.08	N.S.								

PROJECT	ON-SITE WASTE WATER DISPOSAL SYSTEM	ARCHITECT	HAMAZKANE ARSHAK & SOPHIE GALST'YAN SCHOOL INC.
TITLE	CIVIL NOTES & DRAWING SCHEDULE		
ORIGINAL	21.05.08		
208083			
C0			



1. FABRICATE A SEDIMENT BARRIER MADE FROM GEOTEXTILE OR STRAW BALES.
2. SUPPORT GEOTEXTILE WITH MESH TIED TO POSTS AT 10m CENTRES.

DEM LA KIAN
INNOVATION IN ENGINEERING

Environmental Engineering Pty Limited
1/6 Chancellors Consulting Engineers
AEN 25 270 448 475

Level 2, 5 Ridge Street
North Sydney NSW 2060
Telephone: 021 9955 4475
Facsimile: 021 9955 4122

P O Box 4553 North Sydney 2059
E-mail: info@environment.com.au
<http://environment.com.au>

Number: CC 0324/08

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Endorsed by: RL TMA

Date: 02 JUL 2003

PRELIMINARY
NOT FOR CONSTRUCTION

ARCHITECT:	
CLIENT:	HAMAZKAINE ARSHAK & SOPHIE GALSTAIN SCHOOL INC.

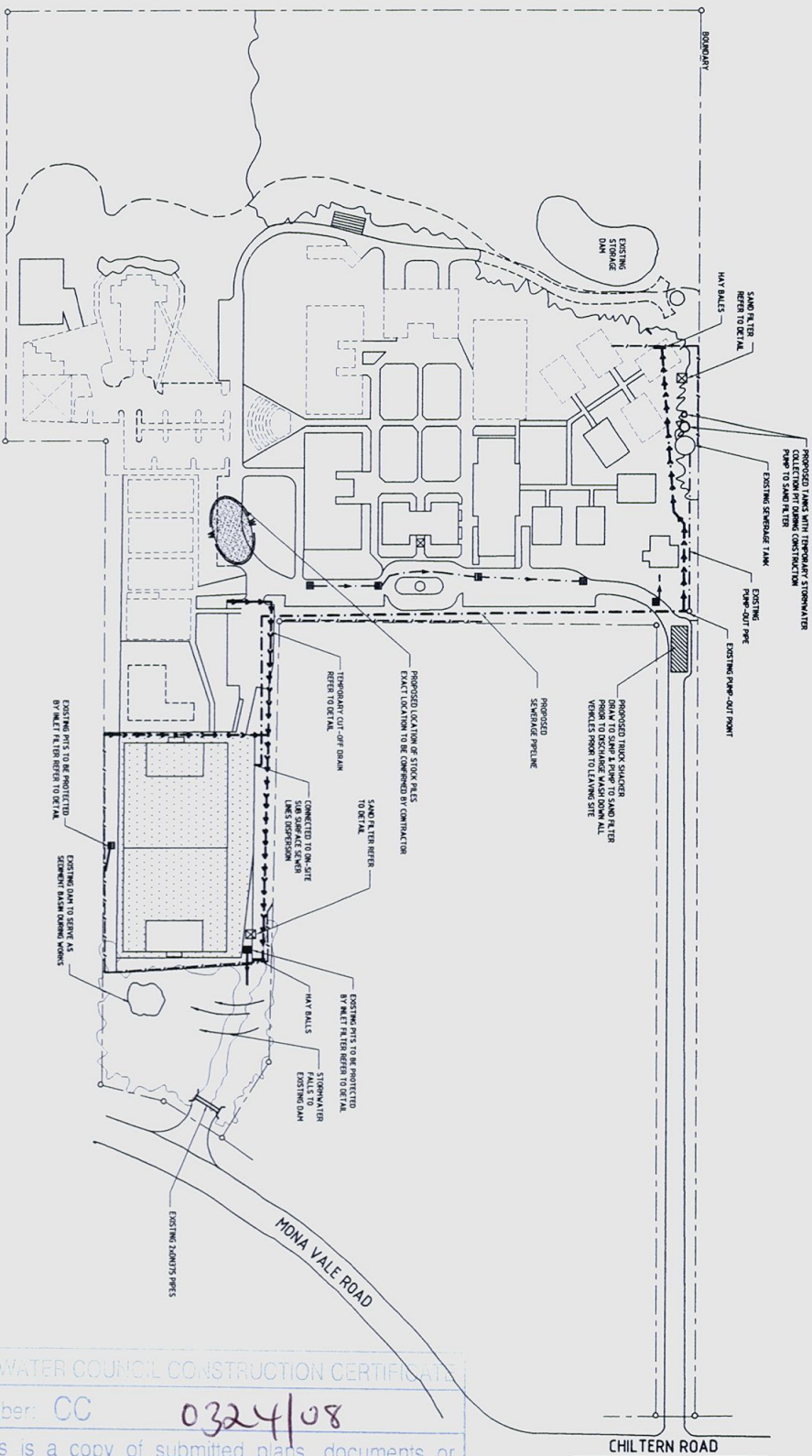
PROJECT:	ON-SITE WASTE WATER DISPOSAL SYSTEM 5 CHILTERN ROAD INGLESIDE
TITLE:	SEDIMENT & EROSION CONTROL DETAILS

DATE MAY 2008	J.P.	CROWN D.
D.W.	CRONQ.	N.S.

208083

C2

DEMLAKIAN



SEDIMENT & EROSION CONTROL PLAN

SCALE 1:1000

- | | |
|--|--|
| | INDICATES SEGMENT FENCE |
| | INDICATES WIND BREAKER FENCE |
| | INDICATES EARTH BANK (OUT-OF-DRAIN) |
| | INDICATES EXCAVATION FOR ON-SITE WASTE DISPOSAL SYSTEM |
| | INDICATES EXISTING STORMWATER PIT |

NOTE: EXISTING DAM #5 A TEMPORARY SEDIMENT BASIN WITHIN 24 HOURS OF STORE EVENT DOSE BASIN WITH GYPSUM AT A RATE OF 2 KG PER 100 CUBIC METERS OF WATER STORAGE. ALLOW 36 HOURS FOR FLOCCULATION & SETTING PUMP TO STREET DRAINAGE VIA SAND FILTER. TEST OUT FLOW TO ENSURE SUSPENDED SOLIDS DO NOT EXCEED 5mg/L.

NOTE: 1. STORMWATER PITS ARE SHOWN IN AN APPROXIMATE LOCATIONS ONLY.
2. SEWAGE TANKS ARE SHOWN IN AN APPROXIMATE LOCATIONS ONLY.
3. CLEAN STORMWATER WITH SEDIMENT TRAP SOCK AROUND THE PIT BEFORE STORMWATER DRAINS INTO DRAINAGE SYSTEM.

PITTSBURGH COUNCIL CONSTRUCTION CERTIFICATE

Number: CC

0324108

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Endorsed by:

Rc TMA

0 2 JUL 2008



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7/4 Davidson Consulting Engineers
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Facsimile: 820 9955 4150
P O Box 6593 North Sydney 2060
E-mail: info@davidallen.com.au

ORIGINAL: A1 DMC


PRELIMINARY

NOT FOR CONSTRUCTION

CLIENT: HAMAZKAINE ARSHAK &
SOPHIE GAUSTAUN SCHOOL INC

PROJECT:	ON-SITE WASTE WATER DISPOSAL SYSTEM 5 CHILTERN ROAD INGLESIDE
TITLE:	SEDIMENT & EROSION CONTROL PLAN

208083
C1

	REV/46	14.03.08	ISSUED FOR APPROVAL	BY	REV/46	DATE	REVISION	BY
				N.S.				

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