

PLAN FORM 6 (2017)	DEPOSITED PLAN ADMINISTRATION SHEET	Sheet 1 of 3 sheet(s)
<p style="text-align: right;">Office Use Only</p> <p>Registered:</p> <p>Title System:</p>	<p>Office Use Only</p> <h1>DRAFT</h1> <h2>PRINTED 3 JAN 2019</h2> <h3>ISSUE 5</h3> <p>ADMINISTRATIVE SHEETS AMMENDED – MS</p>	
<p>PLAN OF SUBDIVISION OF LOT A IN DP356986 & COMMON PROPERTY WITHIN SP1172</p>	<p>LGA: NORTHERN BEACHES</p> <p>Locality: FRESHWATER</p> <p>Parish: MANLY COVE</p> <p>County: CUMBERLAND</p>	
<p style="text-align: center;">Survey Certificate</p> <p>I, <u>MARK JOHN ANDREW</u> of Veris Australia Pty Ltd Suite 301 Level 3 55 Holt St Surry Hills NSW 2010 a surveyor registered under the <i>Surveying and Spatial Information Act 2002</i>, certify that</p> <p>* (a) The land shown in the plan was surveyed in accordance with the <i>Surveying and Spatial Information Regulation 2017</i>, is accurate and the survey was completed on:,or</p> <p>* (b) The part of the land shown in the plan (*being/*excluding**, ) was surveyed in accordance with the <i>Surveying and Spatial Information Regulation 2017</i>, the part surveyed is accurate and the survey was completed on, the part not surveyed was compiled in accordance with that Regulation, or</p> <p>* (c) The land shown in this plan was compiled in accordance with the <i>Surveying and Spatial Information Regulation 2017</i>.</p> <p>Datum Line:</p> <p>Type: *Urban/*Rural</p> <p>The terrain is *Level-Undulating / *Steep-Mountainous.</p> <p>Signature: Dated:</p> <p>Surveyor Identification No:</p> <p>Surveyor registered under the <i>Surveying and Spatial Information Act 2002</i></p> <p><small>*Strike through if inapplicable. ^Specify the land actually surveyed or specify any land shown in the plan that is not the subject of the survey.</small></p>	<p style="text-align: center;">Crown Lands NSW/Western Lands Office Approval</p> <p>I..... (Authorised Officer) in approving this plan certify that all necessary approvals in regard to the allocation of the land shown herein have been given.</p> <p>Signature:</p> <p>Date:</p> <p>File Number:</p> <p>Office:</p>	
	<p style="text-align: center;">Subdivision Certificate</p> <p>I.....</p> <p>*Authorised Person/*General Manager/*accredited Certifier, certify that the provisions of s.109J of the <i>Environmental Planning and Assessment Act 1979</i> have been satisfied in relation to the proposed subdivision, new road or reserve set out herein.</p> <p>Signature:</p> <p>Accreditation number:</p> <p>Consent/Authority:</p> <p>Date of Endorsement:</p> <p>Subdivision Certificate no:</p> <p>File number:</p> <p><small>*Strike through if inapplicable</small></p>	
<p>Plans used in the preparation of survey/compilation</p> <p>DP's</p>	<p>STATEMENTS of intention to dedicate public roads, public reserves and drainage easements, acquire/resume land.</p> <p style="text-align: right;">If space is insufficient continue on PLAN FORM 6A</p>	
<p>Surveyor's Reference: 170518 DSUB</p>	<p>Signatures, Seals and Section 88B Statements should appear on PLAN FORM 6A</p>	

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Registered:

PLAN OF SUBDIVISION OF LOT A IN
DP356986 & COMMON PROPERTY WITHIN
SP1172

Subdivision Certificate No:

Date of Endorsement:

DRAFT
PRINTED 3 JAN 2019
ISSUE 5
ADMINISTRATIVE SHEETS AMMENDED - MS

- This sheet is for the provision of the following information as required:
- A schedule of lots and addresses - See 60(c) SSI Regulation 2017
 - Statements of intention to create and release affecting interests in accordance with section 88B Conveyancing Act 1919
 - Signatures and seals - see 195D Conveyancing Act 1919
 - Any information which cannot fit in the appropriate panel of sheet 1 of the administration sheets.

PURSUANT TO SEC. 88B OF THE CONVEYANCING ACT 1919
IT IS INTENDED TO CREATE:

1. POSITIVE COVENANT FOR WASTE SERVICES
2. POSITIVE COVENANT FOR STORMWATER QUALITY SYSTEM
3. RESTRICTION ON USE FOR STORMWATER QUALITY SYSTEM
4. POSITIVE COVENANT FOR ON-SITE STORMWATER DETENTION
5. RESTRICTION ON USE FOR ON-SITE STORMWATER DETENTION
6. EASEMENT FOR SUPPORT AND SHELTER (WHOLE OF LOT)
7. EASEMENT FOR SERVICES (WHOLE OF LOT)
8. EASEMENT FOR FIRE EGRESS (WHOLE OF LOT)
9. EASEMENT TO ACCESS SHARED FACILITIES (WHOLE OF LOT)
10. RIGHT OF ACCESS VARIABLE WIDTH (A) (LIMITED IN STRATUM)
11. RIGHT TO USE LOADING DOCK (B)

If space is insufficient use additional annexure sheet

SURVEYORS REFERENCE: 170518 DSUB

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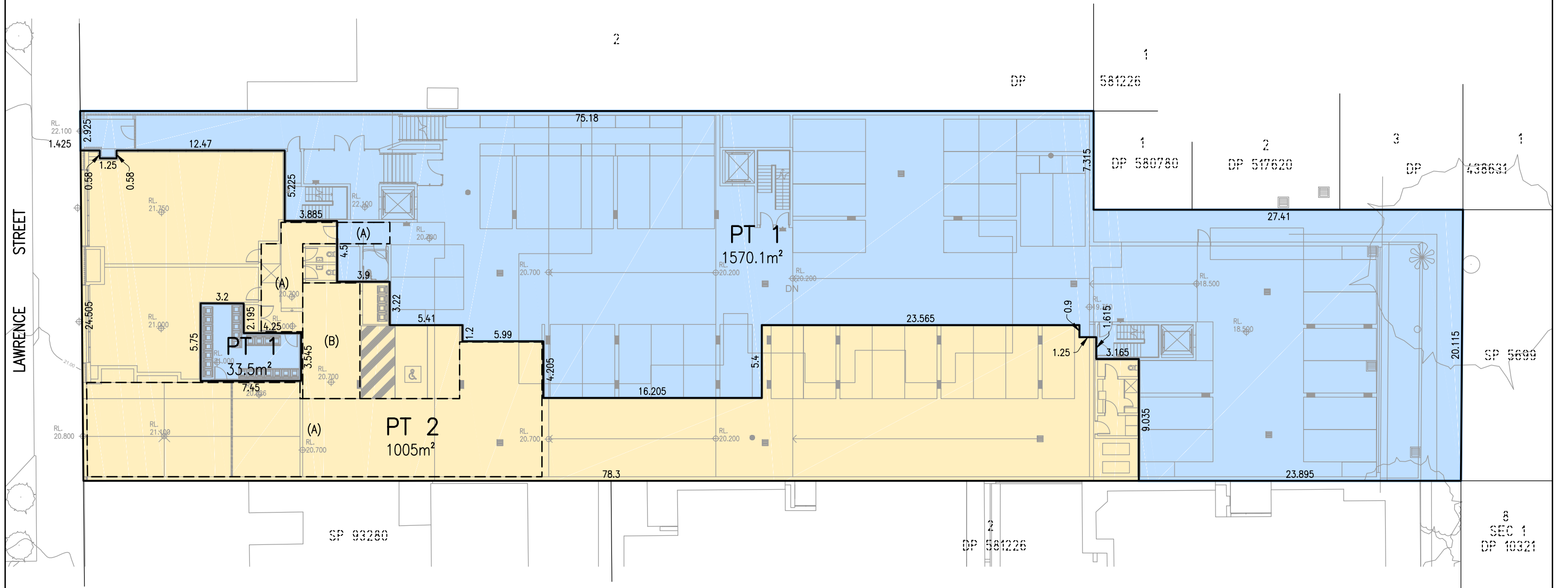
SURVEYORS REFERENCE: 170518 DSUB

GROUND LEVEL & BELOW

SCHEDULE OF STRATUM LOTS

- LOT 1 - RESIDENTIAL
- LOT 2 - RETAIL

THIS PLAN IS BASED ON PLANS BY
 NETTLETONTRIBE ARCHITECTS
 DWG No.: 10524_0101_C- Ground Floor Plan
 DATE : 13 DEC 2018



PROPOSED EASEMENTS

- (A) - RIGHT OF ACCESS (A)
- (B) - RIGHT TO USE LOADING DOCK (B)

SCHEDULE OF WHOLE OF LOT EASEMENTS

- EASEMENT FOR SUPPORT & SHELTER
- EASEMENT FOR SERVICES
- EASEMENT FOR FIRE EGRESS
- EASEMENT TO ACCESS SHARED FACILITIES

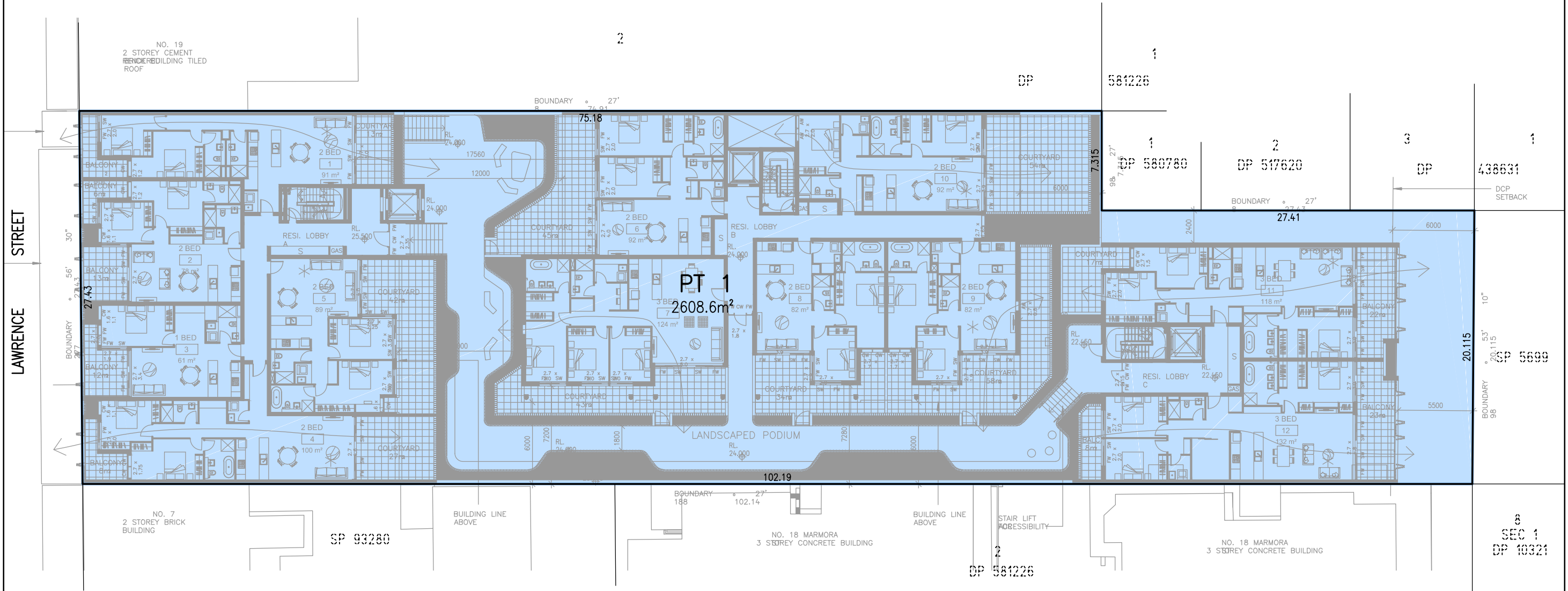
DIMENSIONS AND AREAS SUBJECT TO SURVEY

<p>SURVEYOR Name: MARK JOHN ANDREW Date: Reference: 170518 DSUB</p>	<p>PLAN OF SUBDIVISION OF LOT A IN DP356986 & COMMON PROPERTY WITHIN SP1172</p>	<p>LGA: NORTHERN BEACHES Locality: FRESHWATER Reduction Ratio: 1:200 Lengths are in metres.</p>	<p>REGISTERED CONTRACT PLAN Plan compiled from architectural CAD data. Plan is subject to final survey after completion of construction.</p>	<p>DRAFT PRINTED 3 JAN 2019 ISSUE 5 ADMINISTRATIVE SHEETS AMMENDED - MS</p>
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SCHEDULE OF STRATUM LOTS
 LOT 1 - RESIDENTIAL
 LOT 2 - RETAIL

LEVEL 1 AND ABOVE

THIS PLAN IS BASED ON PLANS BY
 NETTLETONTRIBE ARCHITECTS
 DWG No.:10524_0102 - LEVEL 1 FLOOR PLAN
 DATE : 13 DEC 2018



DIMENSIONS AND AREAS SUBJECT TO SURVEY

SCHEDULE OF WHOLE OF LOT EASEMENTS
 EASEMENT FOR SUPPORT & SHELTER
 EASEMENT FOR SERVICES
 EASEMENT FOR FIRE EGRESS
 EASEMENT TO ACCESS SHARED FACILITIES

SURVEYOR Name: MARK JOHN ANDREW Date: Reference: 170518 DSUB	PLAN OF SUBDIVISION OF LOT A IN DP356986 & COMMON PROPERTY WITHIN SP1172	LGA: NORTHERN BEACHES Locality: FRESHWATER Reduction Ratio: 1:200 Lengths are in metres.	REGISTERED CONTRACT PLAN Plan compiled from architectural CAD data. Plan is subject to final survey after completion of construction.	<p style="text-align: center;">DRAFT</p> <p style="text-align: center;">PRINTED 3 JAN 2019</p> <p style="text-align: center;">ISSUE 5</p> <p style="text-align: center;">ADMINISTRATIVE SHEETS AMMENDED - MS</p>
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