

Peter J Boyce & Associates

Ph 0412 928 500

Suite 21/41 Rawson Street, Epping NSW 2121 Ph 9868 2855
Building Surveyor Acc. No 6395 Fax 9868 2655

17th January 2007

The General Manager

Dear Sir,

Re: Submission of Construction Certificate
13 Bruce Street Mona Vale

Please find enclosed:

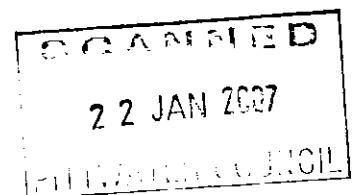
1. Letter & cheque for registration of CC
2. Completed Application Form
3. Construction Certificate
4. Council receipts etc as required by D/A conditions.
5. Statement from Applicant that the CC plans are generally in accordance with the DA.
6. Geotechnical Risk Management Form 2
7. Sydney Water Stamp
8. Architectural plans
9. Structural Engineers plans

Should any of the above documents not be received please advise me immediately.

Many thanks.



Peter Boyce



~~RS# 2090~~
K#209009
PVC \$80 —
19.01.07 av.

Peter J Boyce & Associates

Ph 0412 928 500

P.O. Box 375, Strathfield 2135
Level 2, 41 Rawson Street, Epping 2121
Building Surveyor Acc. No **6395**

Ph 9868 2855

Fax 9868 2655

Your ref D/A NO634/06

17th January 2007

The General Manager
Pittwater Council
PO Box 882
MONA VALE NSW 1660

Dear Sir,

Re: Copy of Construction Certificate
13 Bruce Street Mona Vale

Please find enclosed copy of Construction Certificate issued for the above property under D/A NO634/06.

Please find cheque enclosed for \$30.00 for registration of Construction Certificate.

Yours faithfully



Peter Boyce

Application for Construction Certificate

Issued under the Environmental Planning and Assessment Act 1997 Part 3 - Schedule 1

Local Council Area

City, Council or Shire PITTWATER

Applicant

Name: MICHAEL AND BETINA KING

Address: 63 NARRABEEN PARK PARADE

Phone 0415 505 505

Owner

Name: MICHAEL AND BETINA KING

Address: 63 NARRABEEN PARK PARADE

Phone 0415 505 505

Consent of all owner(s)

I/we consent to this application

Signature

Subject Land with lot & deposited plan number

Address 13 BRUCE STREET MONA VALE
LOT 10 DP 15762

Brief description of development

Type of Development:

SINGLE DWELLING: ALTERATIONS AND ADDITIONS

Building code of Australia

Building Classification. Class 1A

Development Consent

Development consent number: 634/06

Date of Determination: 10 NOVEMBER 2006

Builder/Owner Builder IAN WALTERS

Name or Permit number 38797

Address 24 CABARITA ROAD CLAREVILLE 2107

Value of Work \$175,000

Required attachments ---

Copy of D/A approval with Conditions

Three copies of the plans & Specification.

Plan Nos. C01a, C02B, C03a, C04a, C05a, C06a

List of supporting documents.

Schedule --- The building schedule must be completed as part of this application for the Australian Bureau of Statistics

Applicants Signature

Australian Bureau of Statistics

Particulars of Proposal ---

What is the area of land (m²) 526
Gross Floor area of existing building (m²) 143
What are the current use of all or part of the building(s)/land RESIDENTIAL

Location Use
MONA VALE.....DWELLING

Does the site contain a dual occupancy: NO
What is the gross floor area of the proposal (m²)143
What are the proposed uses of the building?

Location Use
MONA VALE.....DWELLING

.....
How many stories will the building consist of ? 2.

Materials to be used

Place a tick in the box which best describes the material

Walls	code		Roof	code	
Brick veneer	12	<input type="checkbox"/>	Aluminium	70	<input type="checkbox"/>
full brick	11	<input type="checkbox"/>	concrete	20	<input type="checkbox"/>
single brick	11	<input type="checkbox"/>	concrete tiles	10	<input type="checkbox"/>
concrete block	11	<input type="checkbox"/>	fibrous cement	30	<input type="checkbox"/>
			fibreglass	80	<input type="checkbox"/>
concrete/masonry	20	<input type="checkbox"/>	masonry/terracotta shingle		
concrete	20	<input type="checkbox"/>	tiles	10	<input type="checkbox"/>
steel	60	<input type="checkbox"/>	slate	20	<input type="checkbox"/>
fibrous cement	30	<input type="checkbox"/>	steel	60	<input type="checkbox"/>
hardiplank	30	<input type="checkbox"/>	terracotta tile	10	<input checked="" type="checkbox"/>
timber/weatherboard	40	<input checked="" type="checkbox"/>	other	80	<input type="checkbox"/>
cladding aluminium	70	<input type="checkbox"/>	unknown	90	<input type="checkbox"/>
curtain glass	50	<input type="checkbox"/>			
other	80	<input type="checkbox"/>			
unknown	90	<input type="checkbox"/>			
Floor			Frame		
concrete	20	<input type="checkbox"/>	timber	40	<input checked="" type="checkbox"/>
timber	10	<input checked="" type="checkbox"/>	steel	60	<input type="checkbox"/>
other	80	<input type="checkbox"/>	other	80	<input type="checkbox"/>
unknown	90	<input type="checkbox"/>	unknown	90	<input type="checkbox"/>

Construction Certificate

Cert No. BP7001

Peter J. Boyce & Associates

Planning NSW Bldg Surveyor No 6395
P.O. Box 375, Strathfield 2135
Mob.Ph 0412 928 500
Ph 9868 2855/ Fax 9868 2655

Issued: 18 JAN 2007

To **Mr. M. & Mrs. B. King**
63 Narrabeen Park Parade
WARRIEWOOD NSW 2102

Subject land

Lot 10 DP 15762 H/N 13 Bruce Street Mona Vale

Description of Development

Alterations and additions.

Development Consent

Development consent number: D/A NO634/06
Date of Determination: 10th November 2006

Building Code of Australia

Building classification Class 1a

Determination

Pursuant to Section 109C (1) (b), 81A (2) and 81A (4) Of the Environmental Planning & Assessment Act, 1979 the construction certificate has been determined by approval in accordance with the stamped plans and specifications.

Plans and supporting documents

List Plans : Architect – Koopman Architects – Drawing Nos. CO1 – CO2 – CO3 – CO4 – CO5 – CO6
Engineer – Docherty Consulting Engineers – Drawing Nos. SOO – SO1 – SO2 – SO3

Date of determination:

13 Jan 2007

Note:

Prior to commencement of work, Section 81A (2) (b) and/or 81A (4) (b) and (c) Of the Environmental Planning & Assessment Act, 1979 must be satisfied (see form 7 of the Regulation) i.e. name of the Principal Certifying Authority.

Certifying Authority

Peter Boyce
Planning NSW Acc Bldg Surveyor No 6395
P.O. Box 375, Strathfield 2135
Mob. Ph 0412 928 500
Ph 9868 2855

Certificate

I certify that the work if completed in accordance with the documents, plans and specifications accompanying the application will comply with the requirements of this regulation as are referred to in Section 81A (5) of the Environmental Planning & Assessment Act 1979

Accredited Certifier



Peter Boyce
Planning NSW Accreditation No 6395

Pittwater Council

OFFICIAL RECEIPT

19/12/2006 Receipt No: 207800

To M W KING

Applic. Reference Amount
GL Recd QLSL-Builders \$613.00
N0634/06

Total: \$613.00

Amounts Tendered

Cash \$0.00
Cheque \$613.00
Db/Cr Card \$0.00
Money Order \$0.00
Agency Rec \$0.00
Total \$613.00
Rounding \$0.00
Change \$0.00
Nett \$613.00

Printed 19/12/2006 1:08:04 PM

Cashier: GHill

LEVY PAYMENT FORM

FORM NO.

OFFICE USE ONLY

ANISATION LIABLE TO PAY LEVY

PLEASE PRINT ALL DETAILS USING CAPITALS

EL

RABRAN PARK PARADISE

EWOOD

ode 2102 Bus. hours phone 0415505505

UCLA STREET

VAL

ode 2103

2006 Estimated finish date D 20 M 06 Y 2007

ATEA

706

175,000.00 Levy payable \$ 613.00

If you have provided a CC above, please provide DA number here

Signature of Officer/Private Certifier G. Hill Date D M Y

Name of Officer/Private Certifier Business hours phone

Department/Authority

Contract/DA No (circle which) Contract amount \$

Levy payable \$

Contact person (Print) Phone number

Contact person (Signature) Date D M Y

Any false or misleading information provided on this form may result in prosecution under Section 58A.
I hereby declare that the information provided on this form is true and correct to the best of my knowledge

Name MICHAEL KING Signature Date D 19 M 12 Y 2006

Exemption Approval Certificate No.

4 December 2006

KOOPMAN ARCHITECTS



Peter J Boyce and Associates
PO Box 375
Strathfield 2135 NSW

Level 2, 41 Rawson Street
Epping 2121 NSW

Attention: Peter Boyce

Dear Sir:

Re: Alterations and Additions 13 Bruce Street Mona Vale - DA 634/06

Subject: Construction Certificate Design Statement

This is to certify that the architectural plans submitted with this CC application set out below are generally in accordance with the DA plans DA01-06 inclusive (Revision A).

- 0603- C01a Site/Roof Plan and Specification
- 0603- C02b Ground Floor Plan
- 0603- C03a Lower Ground Floor Plan
- 0603- C04a South Elevation - East Elevation
- 0603- C05a North Elevation - West Elevation
- 0603- C06a Typical Section

Sincerely



Jim Koopman
Koopman Architects

GEOTECHNICAL RISK MANAGEMENT POLICY FOR PITTWATER
FORM NO. 2 – To be submitted with detailed design for construction certificate

Development Application for Michael King
Name of Applicant

Address of site 13 BRUCE STREET, MONA VALE

Declaration made by Structural or Civil Engineer in relation to the incorporation of the Geotechnical issues into the project design

I, KYLE R DOHERTY on behalf of DOHERTY CONSULTING ENGINEERS PTY
(insert name) (trading or company name)

on this the 8/12/2006
(date)

certify that I am a Structural or Civil Engineer as defined by the Geotechnical Risk Management Policy for Pittwater. I am authorised by the above organization/company to issue this document and to certify that the organization/company has a current professional indemnity policy of at least \$2million. I also certify that I have prepared the below listed structural documents in accordance with the recommendations given in the Geotechnical Report for the above development

Geotechnical Report Details:

Report Title: GEOTECHNICAL & STORMWATER ASSESSMENT: 13 BRUCE ST, MONA VALE
Report Date: 19/10/2004
Author: MARTENS & ASSOCIATES

Structural Documents list:

<u>60802/500/1</u>	<u>60802/503/1</u>
<u>60802/501/1</u>	
<u>60802/502/1</u>	

I am also aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy, including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated and justified.

K R DOHERTY
(name)

[Signature]
(signature)

Declaration made by Geotechnical Engineer or Engineering Geologist in relation to Structural Drawings

I prepared and/or technically verified the abovementioned Geotechnical Report as per Form 1 dated _____ and now certify that I have viewed the above listed structural documents prepared for the same development. I am satisfied that the recommendations given in the Geotechnical Report have been appropriately taken into account by the structural engineer in the preparation of these structural documents.

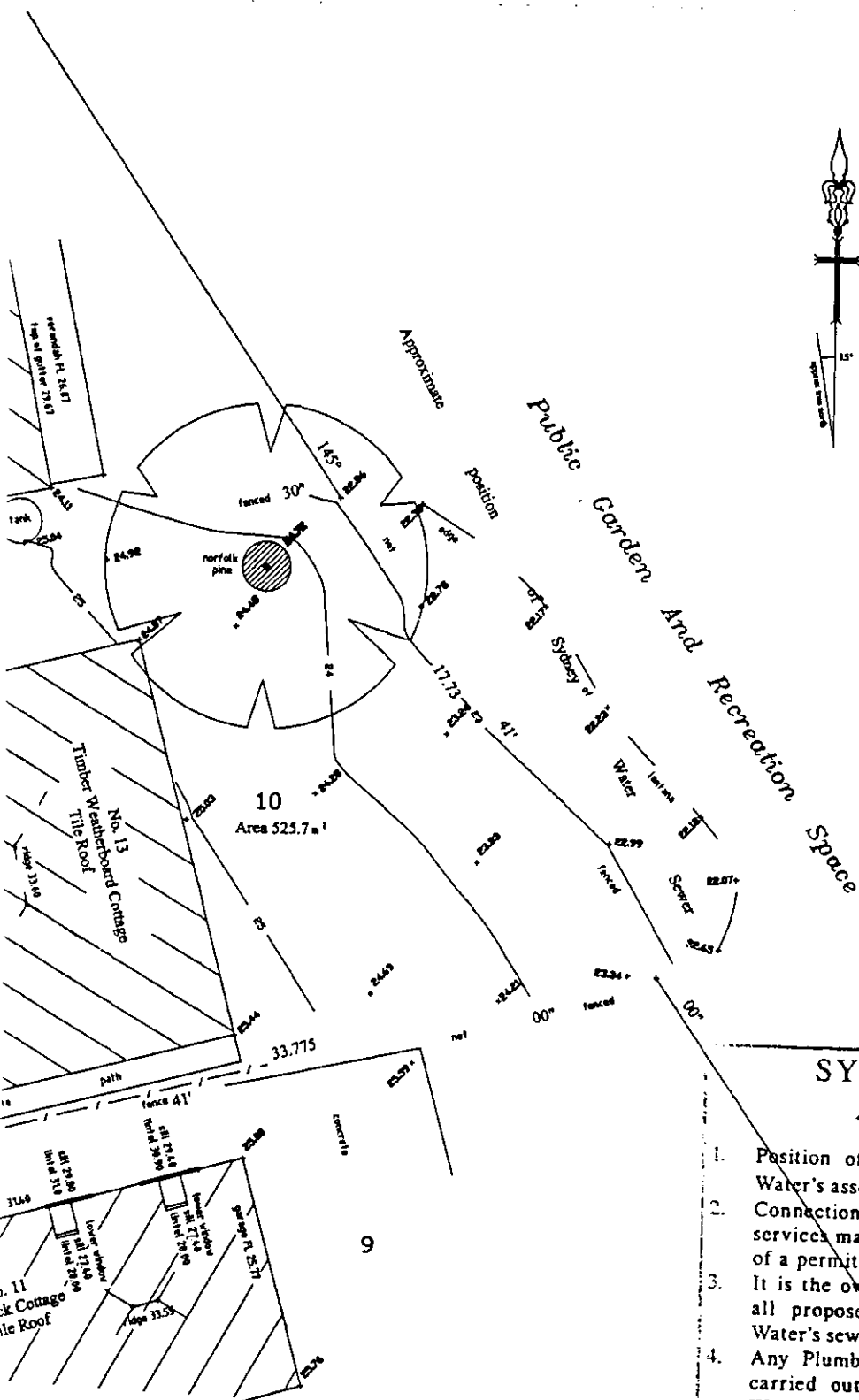
I am aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy, including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated and justified in the Report and that reasonable and practical measures have been identified to remove foreseeable risk.

Signature [Signature]

Name Dr Daniel Martens

Chartered Professional Status FIE Aust, CPENG, NPER

Membership No. 2185379

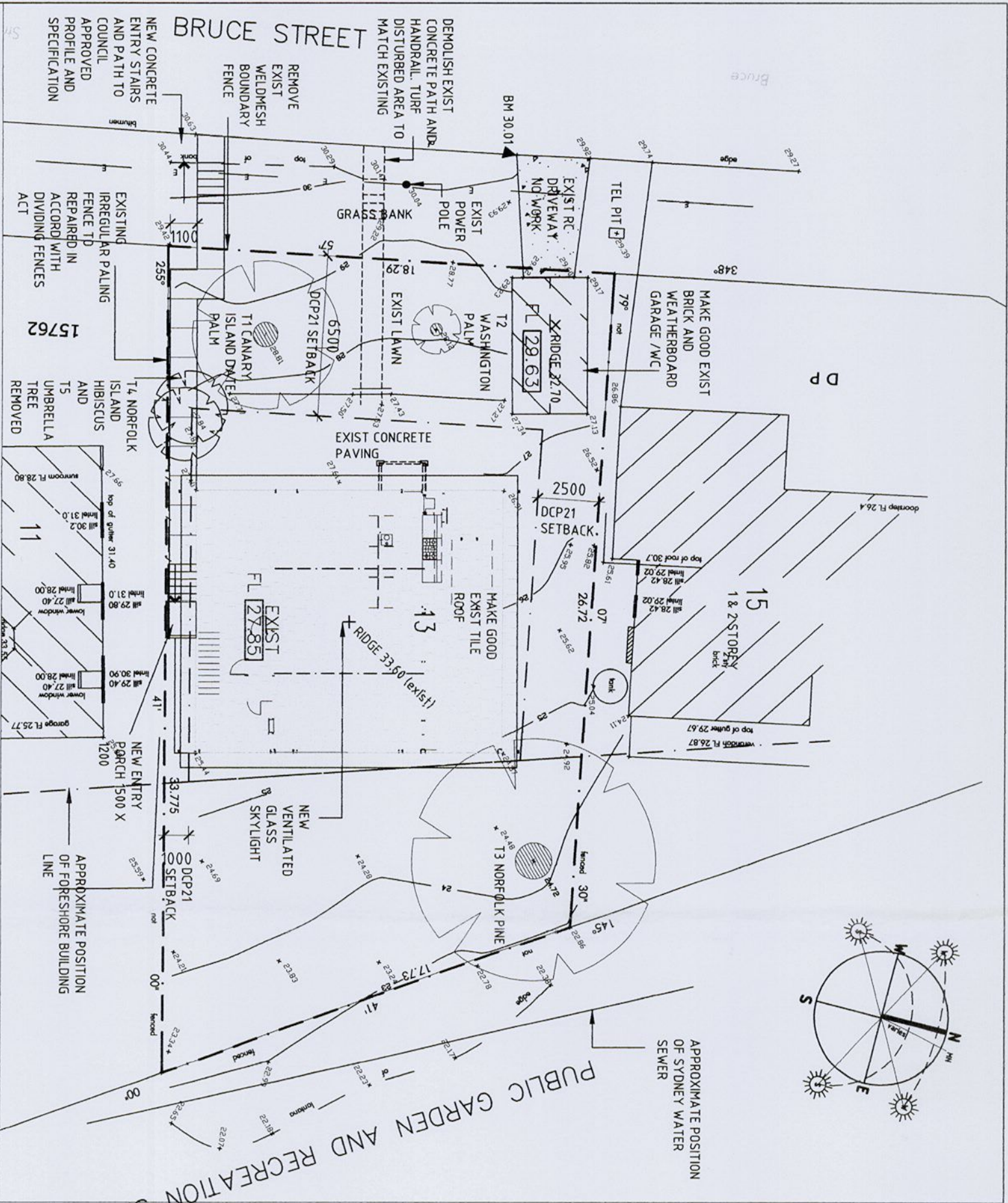


SYDNEY WATER APPROVED

1. Position of structure in relation to Sydney Water's assets is satisfactory.
2. Connections to Sydney Water sewer/water services may only be made following the issue of a permit to a licensed plumber/drainier.
3. It is the owner's responsibility to ensure that all proposed fittings will drain to Sydney Water's sewer.
4. Any Plumbing and/or Drainage Work to be carried out in accordance with the Sydney Water Act 1994, AS 3500 and the NSW Code of Practice.
5. Gullies, Inspection Shafts and Boundary Transoms shall not be placed under any Roof, Balcony, Verandah, Floor or other cover unless otherwise approved by Sydney Water.
6. Property No. 3404072

Reece, Mona Vale
Quick Check Agent on behalf of
SYDNEY WATER

Per: reece 30.11.06



LEGEND

- EXISTING TREE TO BE REMOVED
- EXISTING TREE
- EXISTING SPOT LEVEL
- GENERAL BUILDING LEVELS

NOTES - DA CONDITIONS

- ALL PLUMBING AND DRAINAGE FIXTURES TO BE CONCEALED AND NOT EXPOSED TO PUBLIC VIEW
- ALL EXTERNAL GLAZING IS TO HAVE A MAXIMUM REFLECTIVITY OF 25%
- ALL NEW ELECTRICAL CONNECTIONS ARE TO CARRIED OUT USING UNDERGROUND CABLING
- ALL NEW ELECTRICAL CABLING IS TO BE CONCEALED IN AND NOT EXPOSED UNLESS SPECIFICALLY INSTRUCTED OTHERWISE BY THE ARCHITECTS
- ALL FINISHED SURFACE MATERIALS, INCLUDING COLOURS AND TEXTURE OF ANY BUILDING, SHALL MATCH THE DETAIL AND MATERIALS OF THE EXISTING BUILDING
- PROVIDE A VISIBLE SITE SIGN 'DANGER ASBESTOS REMOVAL IN PROGRESS' MIN 4,00MM X 300MM

LANDSCAPE

- THE EXISTING LANDSCAPING IS REQUIRED TO BE RETAINED
- NO ENVIRONMENTAL WEEDS ARE TO BE PLANTED ON THIS SITE
- TREE GUARDS, MIN 1200MM HIGH AND 4M FROM BASE OF TREES ARE TO BE PROVIDED AROUND THE NORFOLK PINE, CANARY ISLAND DATE AND WASHINGTON PALM. NO INGROUND SERVICES WORK TO BE UNDERTAKEN WITHIN 4M OF THE TRUNK

SPECIFICATION

STANDARDS

Current SAA Specification and Codes shall apply where not in conflict with this Specification.

MATERIALS

Unless otherwise noted, all materials shall be of the best quality of their respective kinds. All items selected, stored and handled will be in accordance with manufacturer's current published

TERMITE PROTECTION

Provide protection to buildings under construction from subterranean termites. Comply with AS 2057 or AS 3660.1 for buildings with slab on ground construction. Comply with AS 1694, or AS 3660.1 for buildings with suspended floor construction.

DEMOLITION

Comply to AS 2601. Protect adjacent property from damage or interference. Reinstate or make good any damage. Provide temporary support to sections of the building to be retained which rely on support from work to be demolished. Restrict dust to a minimum. Do not use explosives. Take possession of demolished materials and remove from the site. Comply with AS 2601 where filling is required. It shall be free of perishable material.

GROUNDWORKS

Groundworks for slab and footings to comply to AS 2870.1. Do not use explosives.

CONCRETE

Shall be in accordance with the document ACSE Concrete Specification 5th edition Document 1 and as modified by the standards set out below. AS 3600 Concrete Structures Code AS 2870.1 Ground Slabs and Footings AS 3610 Formwork for Concrete

BRICKWORK

Shall comply with Masonry Code AS 3700 together with any additional standards or codes as deemed relevant to the construction. Flashings and damp proof courses to AS 2904. Steel linings to comply with AS 1538 Cold Form Steel structures Code and galvanneal mild steel components to AS 1214, and AS 1650, class 2600. Do not cut after galvanizing.

STEEL WORK

Steel Specification Document 2 - 2nd Edition. Comply with: AS 1250 Steel Structures Code AS 4000 Steel Structures All steelwork shall be h.d. galvanised to AS 1650 and AS 1214, except where concealed in roofspace.

CARPENTRY

Timber shall be of the species and grades normally used in the work for which the timber is intended. Shall comply with AS 1604, AS 1684, and ASK 130. Hardwood for framing shall be medium stress grade P11. Timber windows to AS 2061 and installation to AS 2147. Timber doors to AS 2688, timber frames and jamb lining to AS 2689.

GAS

All gas work shall comply with the relevant Australian Standards and the requirements of the appropriate Authorities. Provide LPG gas supply.

PLUMBING

Ensure that the installation of the plumbing does not effect the stability of the building. All plumbing shall comply with the relevant Australian Standards and the requirements of the appropriate Authorities. All wastes must be trapped and connected to drains. All internal works shall be done in copper tubing. External works shall be painted. All hot water pipes shall be insulated.

AMENDMENTS

A CONSTRUCTION CERTIFICATE

29.11.06

ROOFING

Metal roofing shall comply with AS 1562.1. Provide all new fully weather-tight and bird-proof roofing system of the type shown, complete with all necessary accessories, trims, flashings and roof plumbing flashings to AS 2304. Self drilling screws to AS 3566. Selection and installation of all metal rainwater goods to AS 2189, all joints to be sealed with silicone sealant.

INSULATION

The bulk insulation material shall be wool and comply to AWC/A202. The sarking material shall comply to AS 4200.1 and the installation to AS 4200.2. Supply and installation shall be in accordance with the manufacturer's specification.

DRAINAGE

Provide sewerage and drainage to the specifications of the relevant Council and Water Board. Drain pipes not to be laid within 500mm of footings running parallel with the same and must not be taken through the footings of the building.

Ensure all vertical pipes between the ground and underside of the building occur 2m in from the perimeter of the works.

PAINTING

Follow guidance in AS 2311 and AS 2312. Comply to manufacturer's specifications.

WALL FINISHES

Cement rendering to comply to AS 3972, type GP Portland and Blended Cements Code.

FLOOR FINISHES

Carpet laying to comply with AS 2455. The minimum class to be a domestic medium duty under the Australian Carpet Classification Scheme. Resilient finishes to comply to AS 1884.

TILING

Guidance given in AS 3958.1 and AS 3958.2. Adhesives to AS 2358 and mortar materials to AS 3972. Compliance with AS 3740 for wet areas.

GLAZING

Shall comply with AS 1170, AS 1288 and Part 53.4, Ordinance 70. Provide toughened or laminated glass required by code.

ELECTRICAL

Comply with SAA electrical installation and wiring rules also Authority requirements. All wiring is concealed - no exposed conductors allowed. Provide smoke detectors to AS 3786. Mechanical ventilation to AS 1668.2. Provide a consumer mains and connect to the main service. This PLANDOCUMENT forms part of the approval given under the Building Act 1993, s. 7.0.0.1 and complies with Australian Standards and Authorities requirements.

ALTERATIONS & ADDITIONS

13 BRUCE STREET Building Surveyor No 6395 MONA VALE

SITE/ROOF PLAN CONSTRUCTION CERTIFICATE for MR AND MRS KING

0603

DEC 06 1:200

KOOPMAN ARCHITECTS

1A RUSKIN ROWE

AVAILON NSW 2107

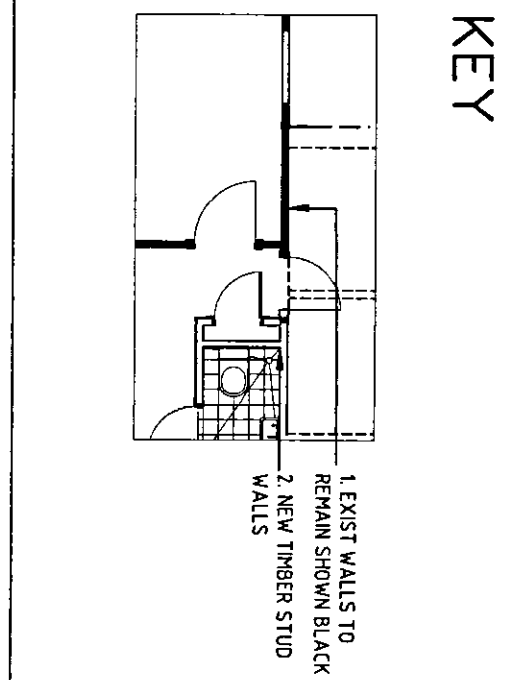
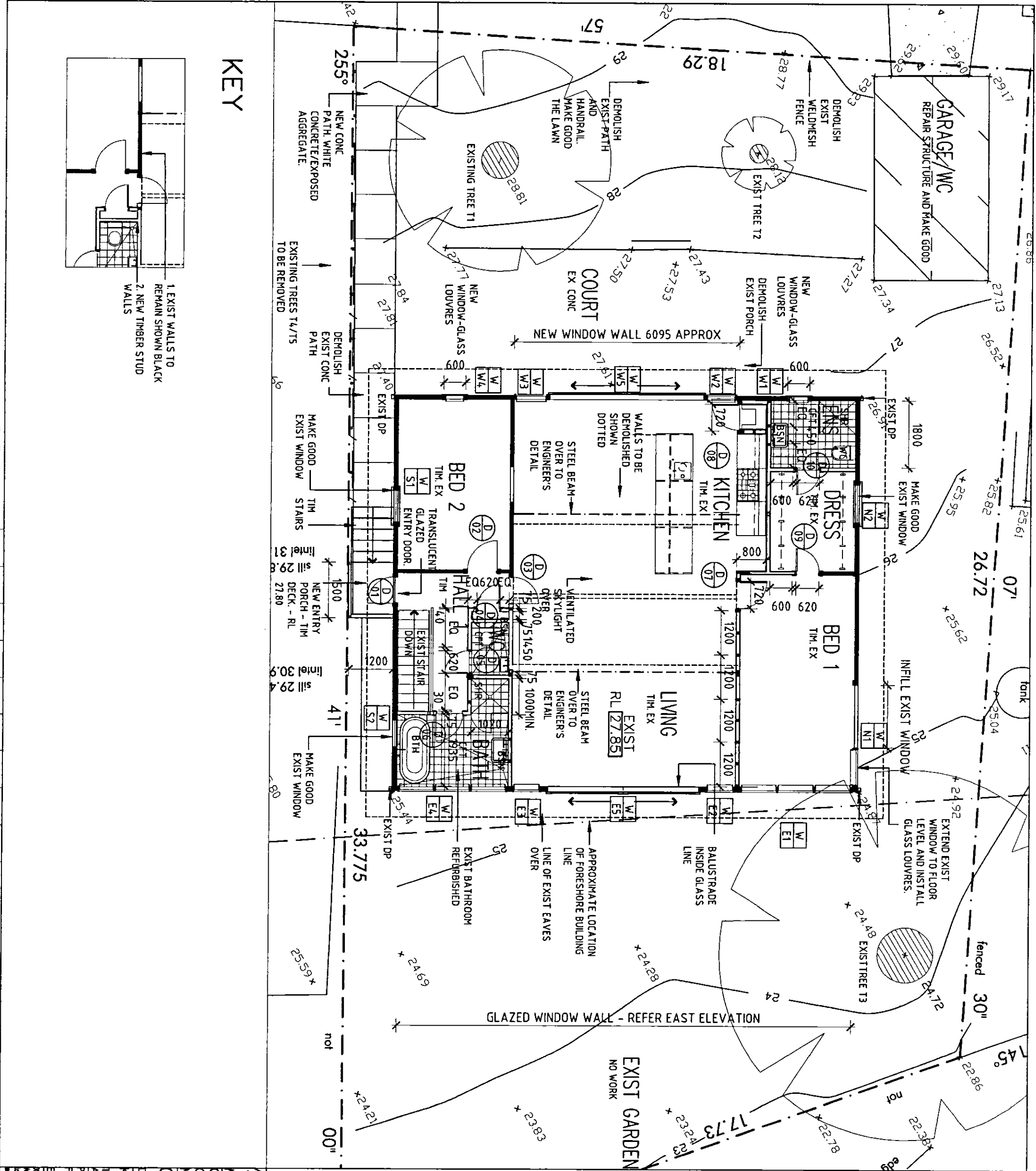
PH: 9973 4974

FX: 9973 4923

EM: koopman@bigpond.net.au

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AMENDMENTS

A	CONSTRUCTION CERTIFICATE	01.12.06
B	FOR CONSTRUCTION	01.12.06

ALTERATIONS & ADDITIONS

1/3 BRUCE STREET
MONA VALE

GROUND FLOOR PLAN
CONSTRUCTION CERTIFICATE for
MR & MRS KING

0603

DEC 06 1:100

COOPMAN ARCHITECTS

1/3 RUSKIN ROWE
AVALON NSW 2107

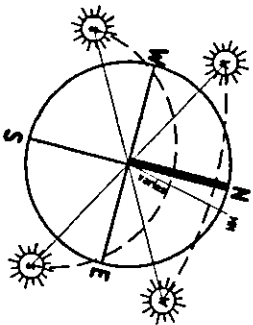
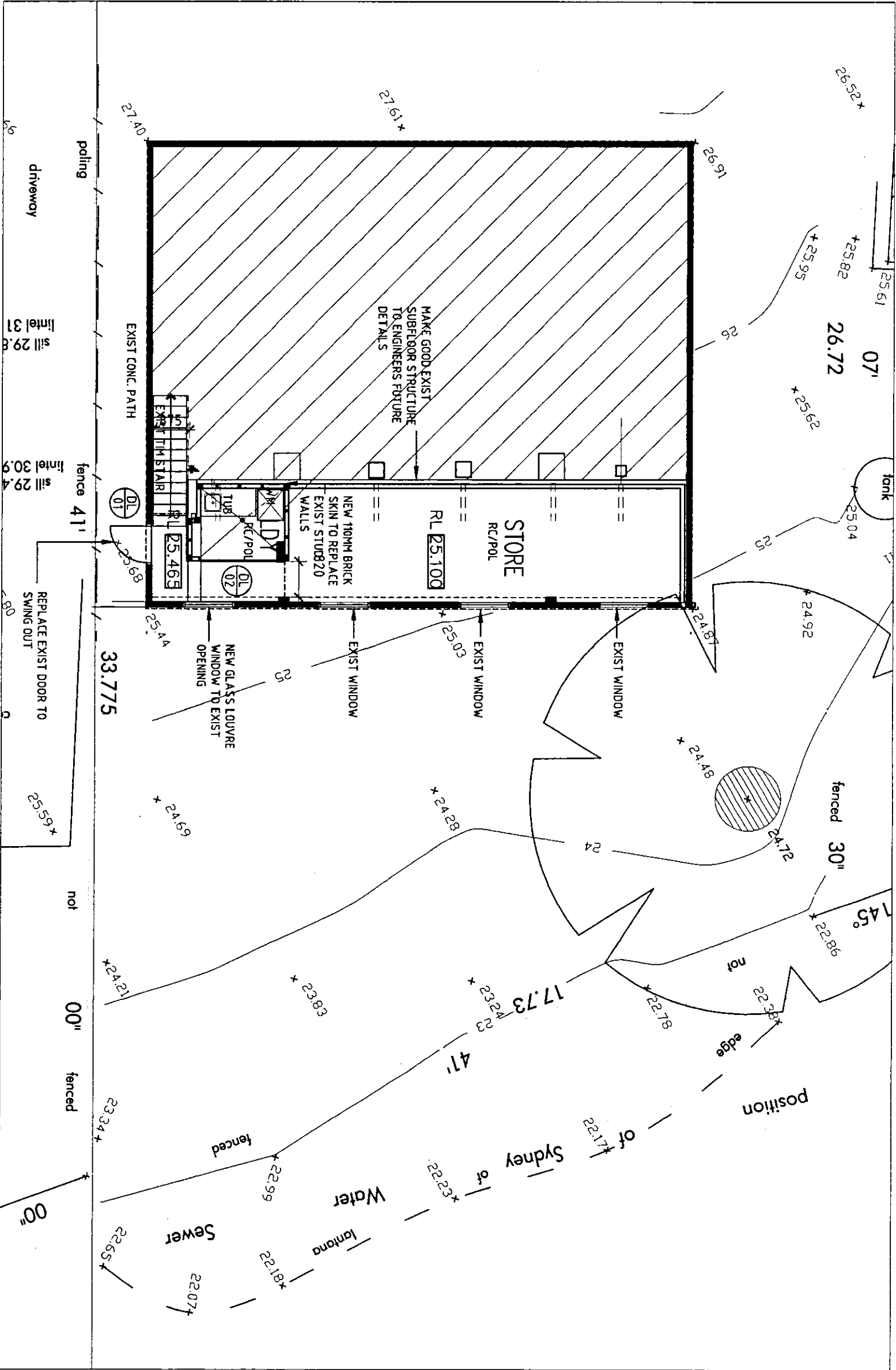
PH: 9973 4974
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EMAIL: coopman@bigpond.net.au

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C02

B P 7 0 0 1



B P 7 0 0 1

ALTERATIONS & ADDITIONS
13 BRUCE STREET
MONA VALE

GROUND FLOOR PLAN
CONSTRUCTION CERTIFICATE for
MR & MRS KING

0603
DEC 06 1:100
C03

KOOPMAN ARCHITECTS

1A RUSKIN ROWE
AVALON NSW 2107
PH: 9973 4974
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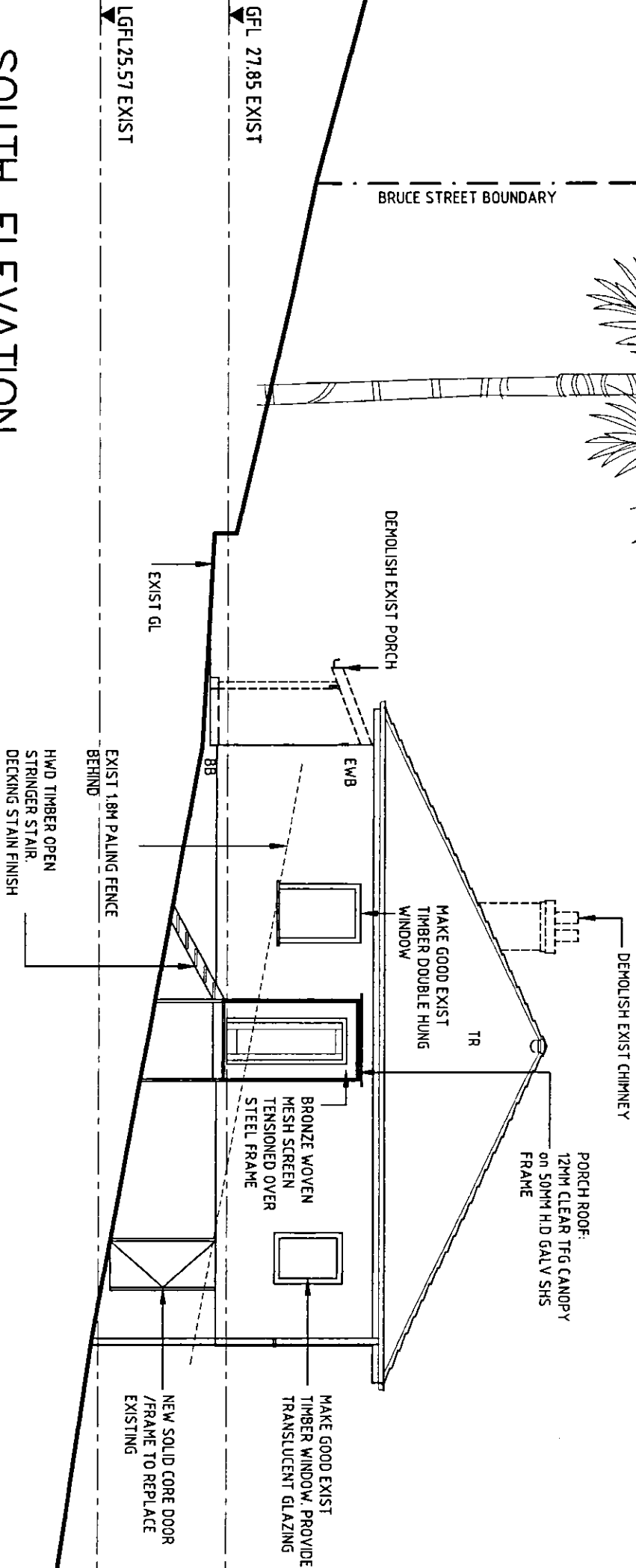
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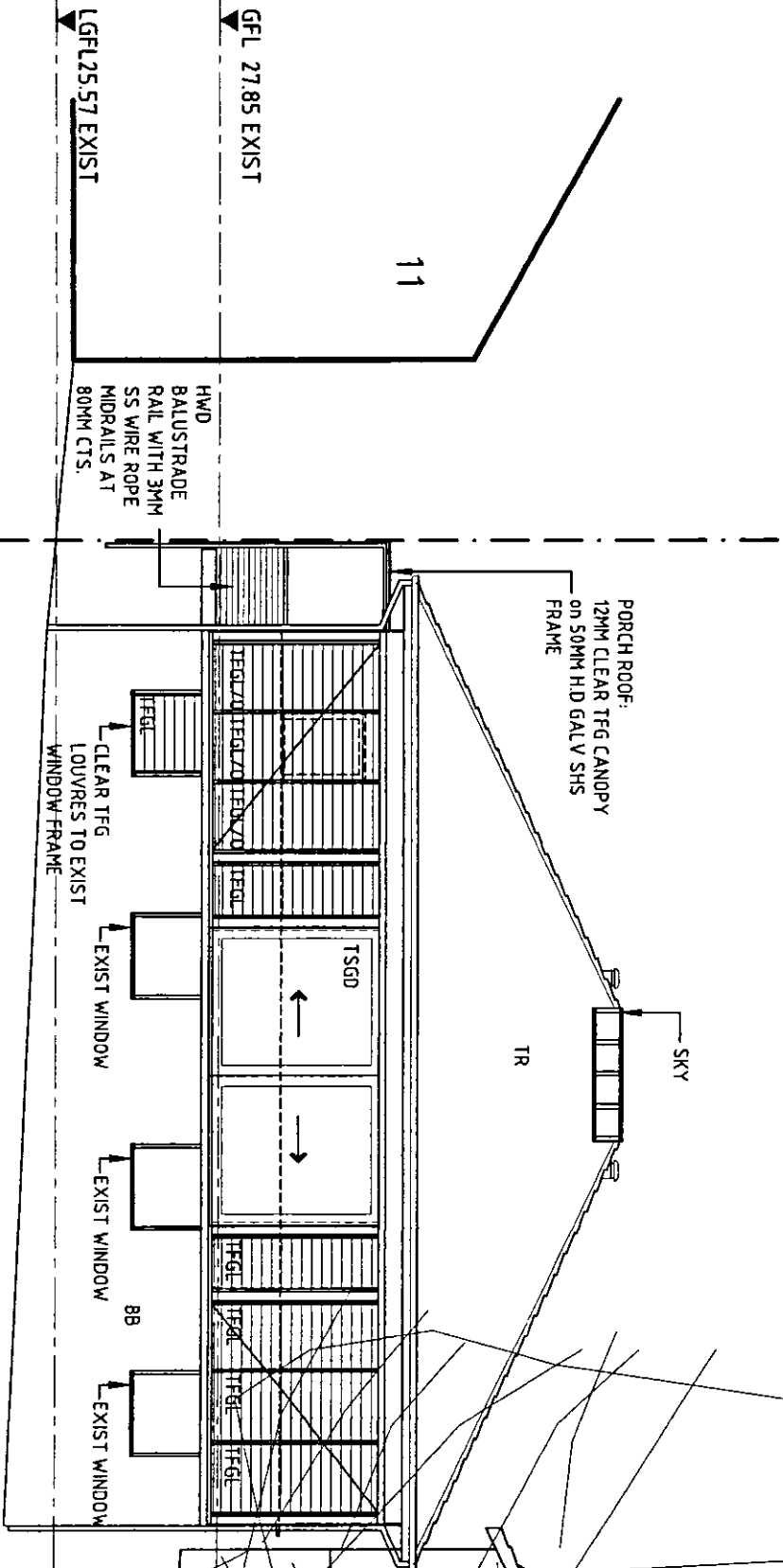
EXT.FINISHES

- EWB EXIST WEATHERBOARDS - MAKE GOOD
FINISH: PAINT TO MATCH EXISTING
- WB NEW WEATHERBOARDS TO MATCH EXISTING
FINISH: PAINT TO MATCH EXISTING
- TR EXISTING TERRA COTTA TILE ROOF. MAKE GOOD
- SKY ALUMINIUM FRAMED GLAZED SKYLIGHT
GLASS: V-KOOL V70 (55% HEAT
TRANSMITTANCE
VENTILATION: DUCTED SKYDOME POWER VENTS
- BB EXISTING FACE BRICK,
BAG AND PAINT FINISH,
PAINT COLOUR:-
- TFG TOUGHENED GLASS
- TFGL CLEAR TOUGHENED GLASS LOUVRES
- TFGL/O TRANSLUCENT TOUGHENED GLASS LOUVRES
- TSGD TIMBER FRAMED GLASS SLIDING DOORS.

SOUTH ELEVATION



EAST ELEVATION



8 p 7 0 0 :

ALTERATIONS & ADDITIONS
13 BRUCE STREET
MONA VALE

SOUTH ELEVATION
EAST ELEVATION
CONSTRUCTION CERTIFICATE

0603

DEC 06 1:100

KOOPMAN ARCHITECTS

1A RUSKIN ROWE
WALTON NSW 2107

PH: 9973 4974
FX: 9973 4923

EM: koopman@bigpond.net.au

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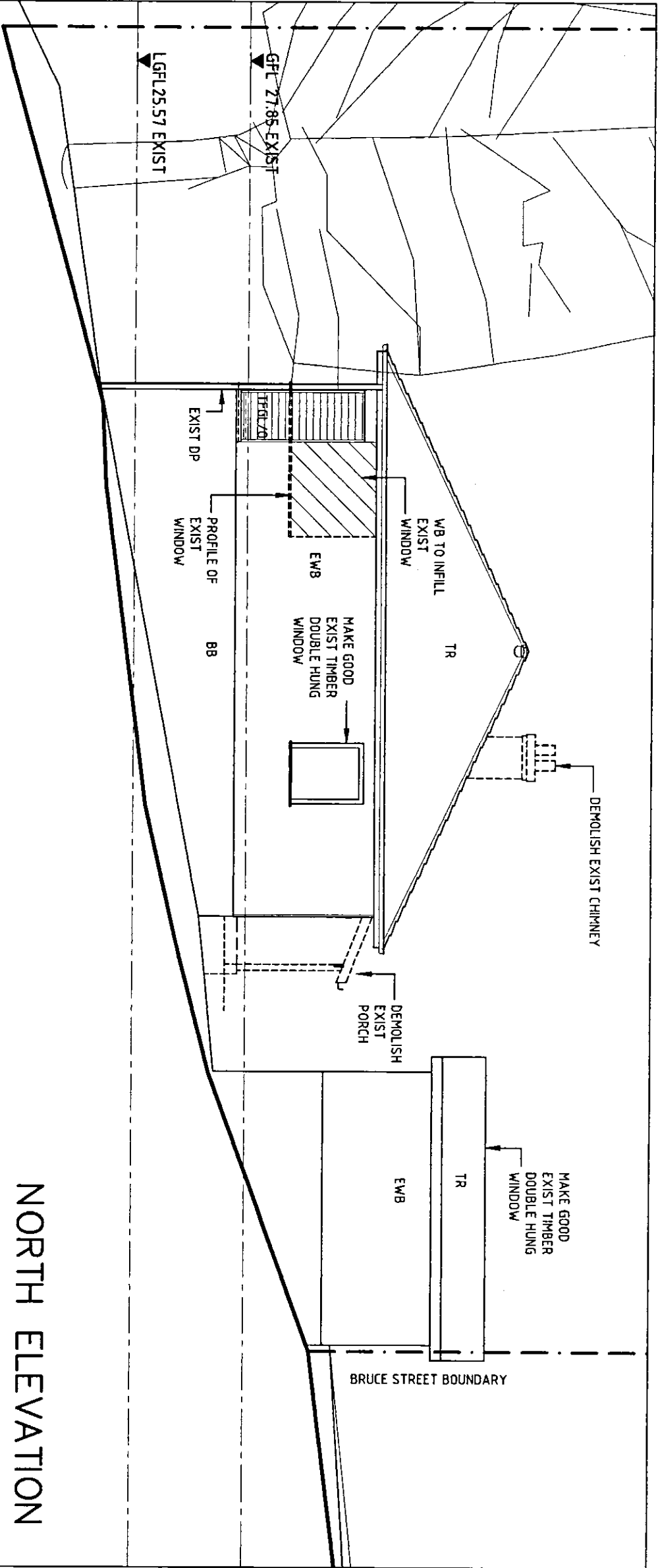
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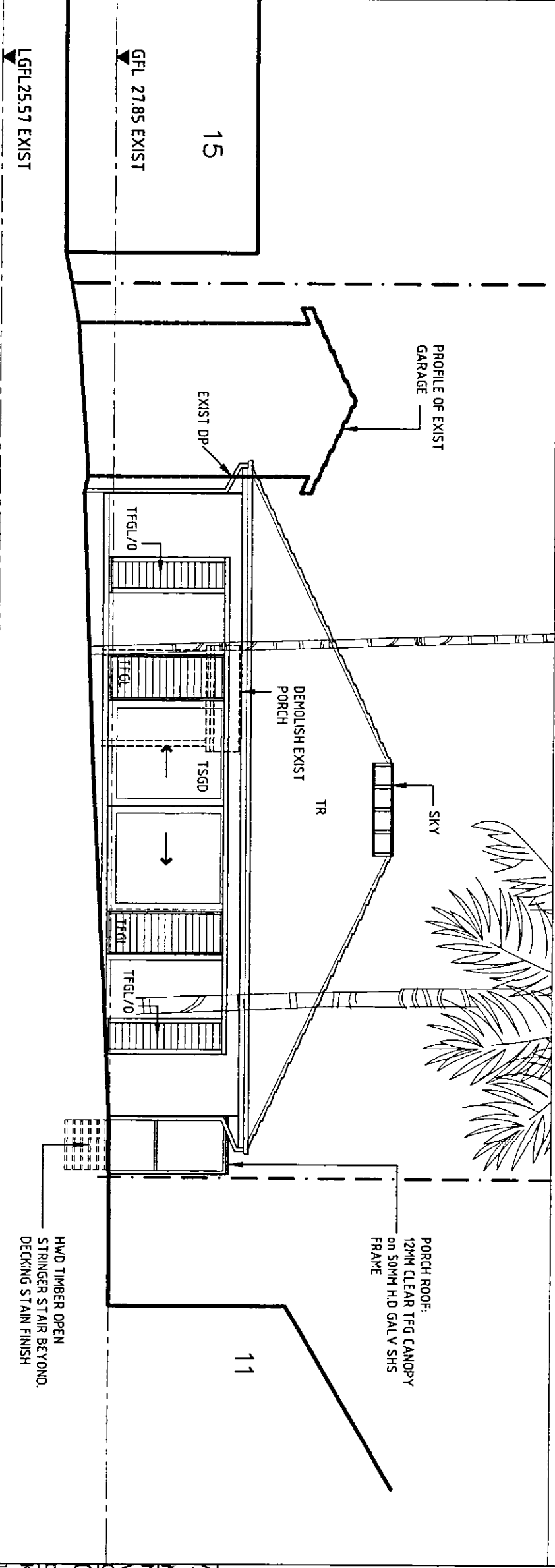
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TFGL	CLEAR TOUGHENED GLASS LOUVRES
TFGL/O	TRANSLUCENT TOUGHENED GLASS LOUVRES
TSGD	TIMBER FRAMED GLASS SLIDING DOORS.

NORTH ELEVATION



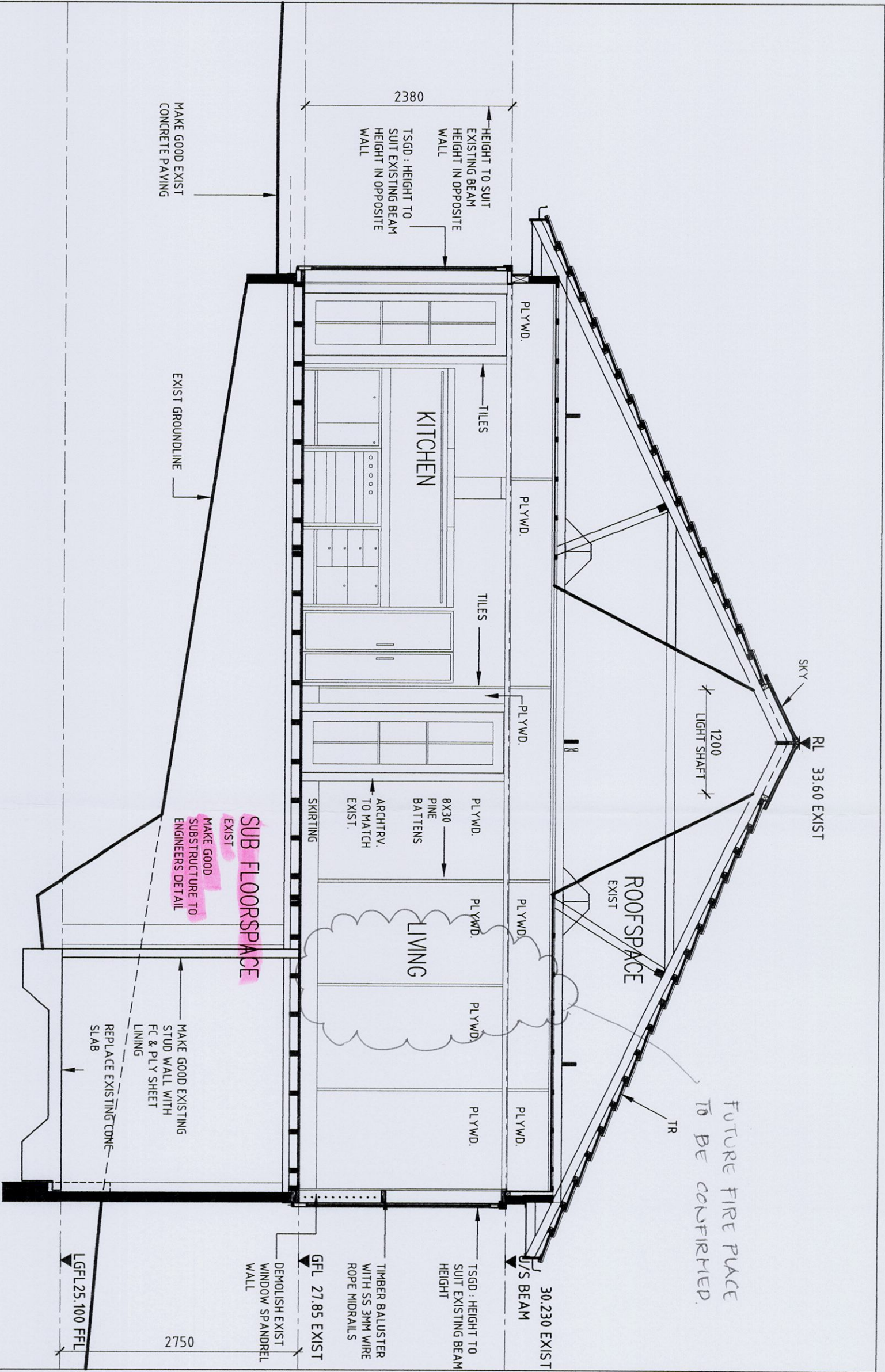
WEST ELEVATION (BRUCE STREET)



ALTERATIONS & ADDITIONS
13 BRUCE STREET
MONA VALE
NORTH ELEVATION
WEST ELEVATION
CONSTRUCTION CERTIFICATE
0603
DEC 06
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EXT.FINISHES

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PAINT COLOUR>
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- TFGL CLEAR TOUGHENED GLASS LOUVRES
- TFGL/0 TRANSLUCENT TOUGHENED GLASS LOUVRES
- TSGD TIMBER FRAMED GLASS SLIDING DOORS.



ALTERATIONS & ADDITIONS
113 BRUCE STREET
MONA VALE

CROSS SECTION AA

CONSTRUCTION CERTIFICATE A

0603

SEPT 06 1:50

KOOPMAN ARCHITECTS

1A RUSKIN ROWE

AVAILON NSW 2107

PH: 9973 4974

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C06



Peter Boyce & Associates
Ph (0412) 928 5100
This PLAN/DRAWING forms part
of the Approved project
Construction Cert. No. 8977001

NSW Planning Services No 6395

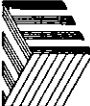
PROPOSED ALTERATIONS AND ADDITIONS AT
13 BRUCE STREET, MONA VALE
FOR M and T KING

STRUCTURAL DRAWINGS

- S00 /1 COVER SHEET
- S01 /1 CONSTRUCTION NOTES
- S02 /1 LOWER GROUND FLOOR PLAN AND DETAILS
- S03 /1 GROUND FLOOR AND ROOF PLANS

8 7 0 0 1

8/12/06	1	FOR CONSTRUCTION	PLAN CERTIFICATION		Project		Drawn		Approved	
			I am a Structural Engineer holding the qualification of BE (Civil) and ME (Structural) and I am appropriately qualified to certify the structural components of this project. I hereby state that these plans and details comply with the conditions of development consent, the provisions of the Building Code of Australia and/or relevant Australian/Industry Standards.		ALTERATIONS AND ADDITIONS AT 13 BRUCE STREET, MONA VALE FOR M and T KING		KRD	K R DOCHERTY		
			Kyle Docherty BE ME PEng		Drawing Title		Date	Purpose of Issue		
			Docherty Consulting Engineers Pty Ltd		COVER SHEET		8.12.06	CONSTRUCTION		
DATE	ISSUE	DESCRIPTION			Scale		NTS	Sheet	Project No	Dwg No
								A3	60802	S00
										Rev
										1



DOCHERTY CONSULTING ENGINEERS

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ABN 74 105 101 540 ACN 105 101 540

Structural & Civil

CONSTRUCTION NOTES

GENERAL

- G1 This drawing shall be read in conjunction with all other working drawings and specifications and with such other written instructions as may be issued during the course of construction. All discrepancies and variations shall be referred to the Engineer before proceeding with the work.
- G2 All work shall be in accordance with the requirements of all relevant and current SAA Codes.
- G3 All dimensions relevant to setting out and off-site work shall be verified before construction and fabrication is commenced.
- G4 Dimensions shall not be obtained by scaling the structural drawings.
- G5 During construction the structure shall be maintained in a stable condition and no part of the structure shall be overstressed.
- G6 The structural elements shown on these drawings have been designed for the following superimposed loads : Wind Classification = N3
Floor load = 1.5 kPa

CONCRETE

- C1 All workmanship and materials shall be in accordance with current editions of AS3600 except as varied by contract documents.
- C2 Cement shall be Type "A" unless specified otherwise. Concrete components and quality shall be as follows:

Structural Element	F ^c MPa	Slump mm	Aggr. size	Density (kg/m ³)
Footings, levelling strips	32	80	20	2400
Slab on ground	32	80	20	2400
Suspended slab	40	80	20	2400
Beams and columns	40	80	20	2400

- C3 Clear concrete cover to reinforcement unless shown otherwise shall be:

Element	Formed Not exposed	Formed exposed soil or rain	Poured against membrane
Slabs	20	40	30
Walls	30	40	n/a
Beams	30	50	n/a
Columns	40	50	n/a
Pedestals	50	50	n/a
Footings	50	65	40

- C4 Construction joints shall be properly formed and used only where shown or specifically approved by the Engineer.
- C5 No holes, chases or embedment of pipes , other than those shown on the structural drawings , shall be made without the written prior approval of the Engineer.
- C6 Splices in reinforcement shall be made only in the positions shown on the Structural drawings, or as otherwise approved by the Engineer.

CONCRETE

- C7 Lapped fabric splices shall be so made that the overlap measured between the outermost wires of each sheet of fabric, is not less than the wire spacing plus 25mm.
- C8 Reinforcement is shown diagrammatically, it is not necessarily shown in true projection.
- C9 All reinforcement fabric shall be to ASI 304
All reinforcement bars shall be to ASI 302.
Symbols: F: wire reinforcing fabric.

- W: Grade 450 deformed wire
S: Grade 200 deformed bar
N: Grade 500 deformed bar.
Example of designation code for reinforcing bars : —
No of bars in group — 17N20-350 — bar grade and type
nominal bar size in mm — — spacing in mm.
UNO stands for unless noted otherwise.”
C10 Where transverse tie bars are not shown, provide
Y12-400. Splice where necessary and lap with main
bars for 400mm.

- C11 All concrete shall be placed and "cured" in accordance with AC308. Where curing compound is used it must be applied (a) onto slabs within 2 hours of finishing the concrete surface, (b) onto walls and columns immediately after removal of formwork.
- C12 Horizontal formwork shall be stripped when approved by the Engineer.

- C14 During concrete placing the buider shall have on site rain protecting plastic sheeting and supports to keep it clear of wet concrete, and also diphatic alcohol sprays to prevent plastic cracking in hot or windy conditions.

MASONRY

- M1 Where slabs or beams bear on masonry, the top course shall be level, smooth and covered with two layers of three—ply malthoid unless noted otherwise.
- M2 Masonry walls shall not be erected on suspended slabs or beams until all propping has been removed.
- M3 Bricks used in load bearing construction shall have a minimum compressive strength of 20 MPa unless otherwise noted.
- M4 All masonry shall comply with AS3700 and Australian Standards referenced within AS3700.
- M5 Masonry shall be articulated where required by AS2870 to satisfy footing design

EPOXY AND MECHANICAL ANCHORS

- A1 After drilling holes for epoxy and mechanical anchors, remove all debris from hole using a combination of 'bottle' type stiff brushes and air pumps as specified by manufacturer.

BLOCKWORK

- B1 Blockwork shall be in accordance with AS2733
- B2 Concrete in base shall be Grade 20
- B3 Reinforcement symbol S requires bars as Note C9
- B4 Construct retaining walls with double-U blocks
- B5 Blocks shall be Grade 12 to AS2733
- B6 Clean out openings shall be used in all cores and cleaned out before grout filling.
- B7 Use recessed blocks for horizontal bars.
- B8 Grout shall be Grade 20 with 10mm aggregate and 230 slump
- B9 All cores shall be filled with grout
- B10 All mortar shall be 1 part cement to 1/2 part lime and 4-1/2 parts sand. (1 : 0.5 : 4.5)
- B11 Mortar dogs and concrete fins shall be removed by rodding and cleaned out before grouting cores.
- B12 Where horizontal bars are specified in both faces they shall be in staggered courses.
- B13 Where vertical bars are shown lapped, the bar may be in one length to suit double-U blocks in stack bond

STRUCTURAL STEELWORK



- S1 All workmanship and materials shall be in accordance with AS4100, AS1554, AS3679 and AS1163 as applicable.
- S2 Unless otherwise noted all structural steel shall be Grade 300 (Grade 350 for hollow sections)
- S3 All bolts shall be high strength, galvanised.
- S4 Provide 25 thick cement mortar pad under steelwork supported on masonry.
- S5 Steel shall be painted with primer unless noted.
- S6 Lintels and beams partly exposed to the weather shall be hot dip galvanised to AS4680 unless noted.
- S7 All welds shall be 6mm continuous fillet all round U.N.O.
- S8 All electrodes to be E48XX and weld category SP.
- S9 FSBW on drawings denotes Full Strength Butt Weld

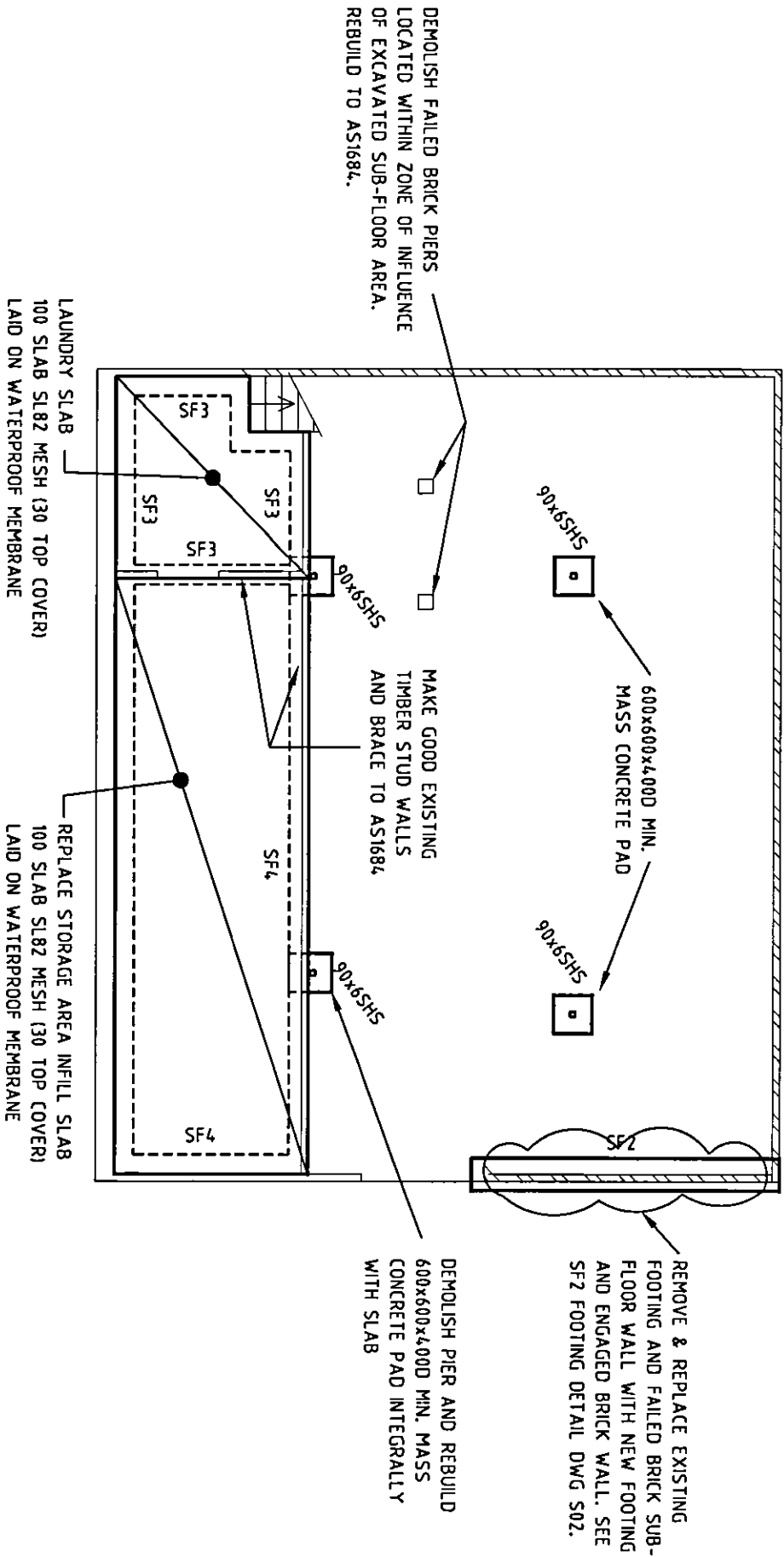
TIMBER FRAMING

- T1 All workmanship and materials shall be in accordance with AS1684 and AS1720 as applicable.
- T2 Use treated timber where required for durability
- T3 Do not use timber unsuitable for exposure to moisture in exposed locations
- T4 Provide structure bracing in accordance with AS1684
- T5 Provide structure tie down in accordance with AS1684
- T6 Use galvanised fixings where exposed to weather
- T7 Design is based on roof material shown on the drawing

FOUNDATIONS

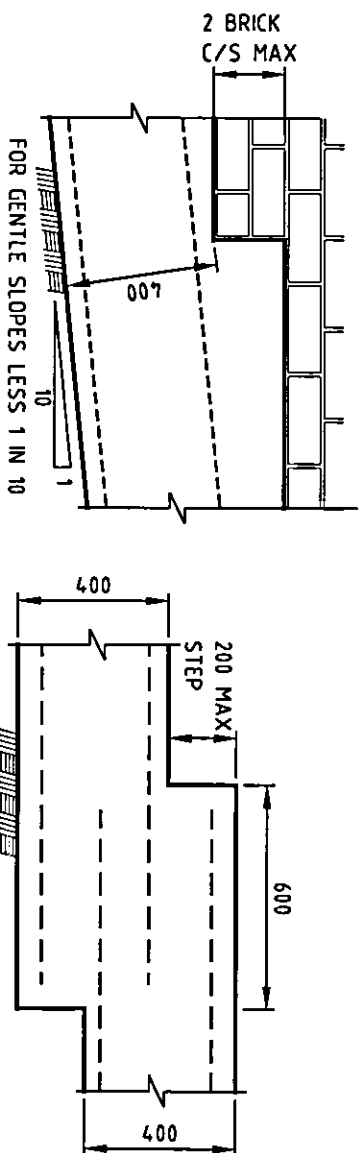
- F1** Footings have been designed for a bearing pressure of 80 kPa and Site Soil Classification "M" in accordance with AS 2870. The foundation shall be approved by the Engineer for this pressure and classification before placing concrete in footings.
- F2** Compact sub-grade to 95% MDD (maximum dry density) in accordance with AS 1289. Sub-grade soft spots observed during compaction shall be removed and replaced with select fill, placed and compacted to 95% MDD.
- F3** Select fill over subgrade shall be placed in 150mm (max) thick layers compacted to 98% MDD in accordance with AS1289.

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			<p align="center">  DOCHERTY CONSULTING ENGINEERS Structural & Civil </p>	
			<p>Doeherty Consulting Engineers Pty Ltd ABN 74 105 001 540 ACN 105 101 540 12 Connelly Street, Colyton Beach, NSW 2092 ph: 02 9944 06020 email: k.docherty@doeherty.com.au</p>	
Project			<p align="center">GARAGE REMEDIAL WORKS AT 13 BRUCE STREET, MONA VALE FOR M and T KING</p>	
Drawing Title			<p align="center">CONSTRUCTION NOTES</p>	
Drawn	KRD	Approved	<p align="center">K R DOCHERTY</p>	
Date	8.12.06	Purpose of Issue	<p align="center">CONSTRUCTION</p>	
Scale	NTS	Sheet	Project No	<p align="center">A3 60802 S01 1</p>



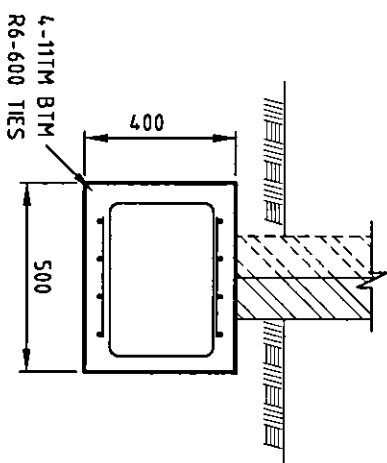
LOWER GROUND FLOOR PLAN

SCALE 1:100



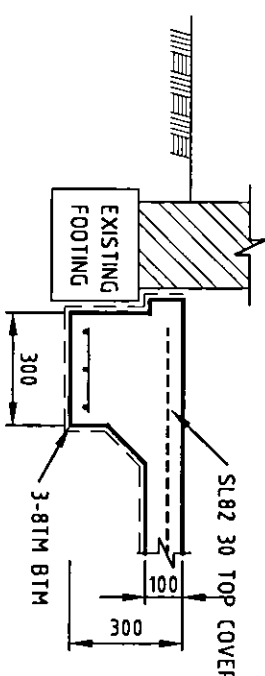
TYPICAL STRIP FOOTING STEP DETAIL

SCALE = 1:20



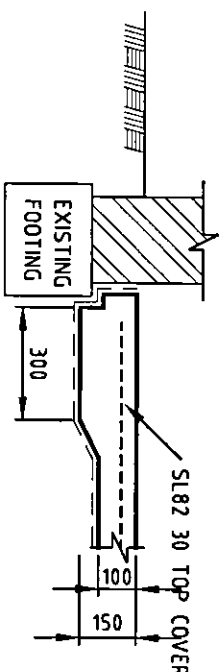
SF2 FOOTING DETAIL

SCALE = 1:20



SF3 FOOTING DETAIL

SCALE = 1:20

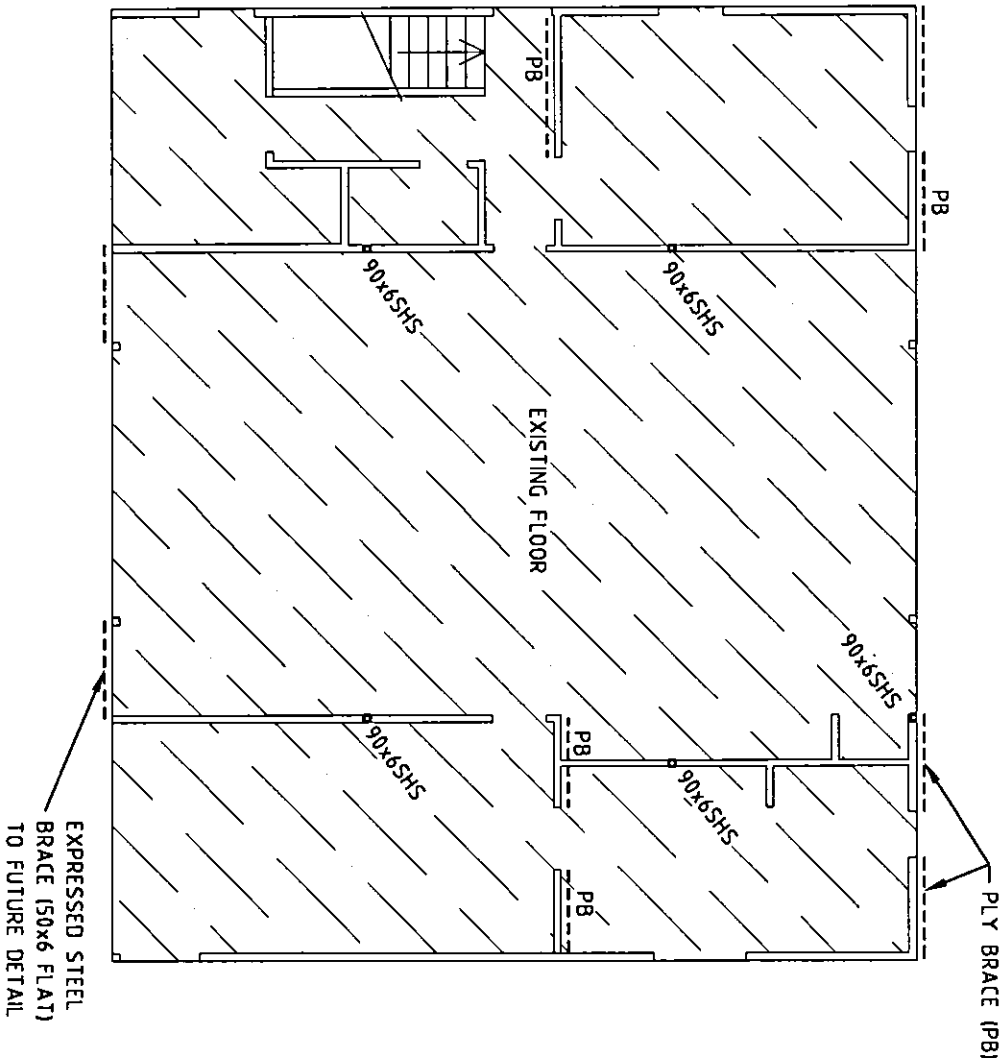


SF4 FOOTING DETAIL

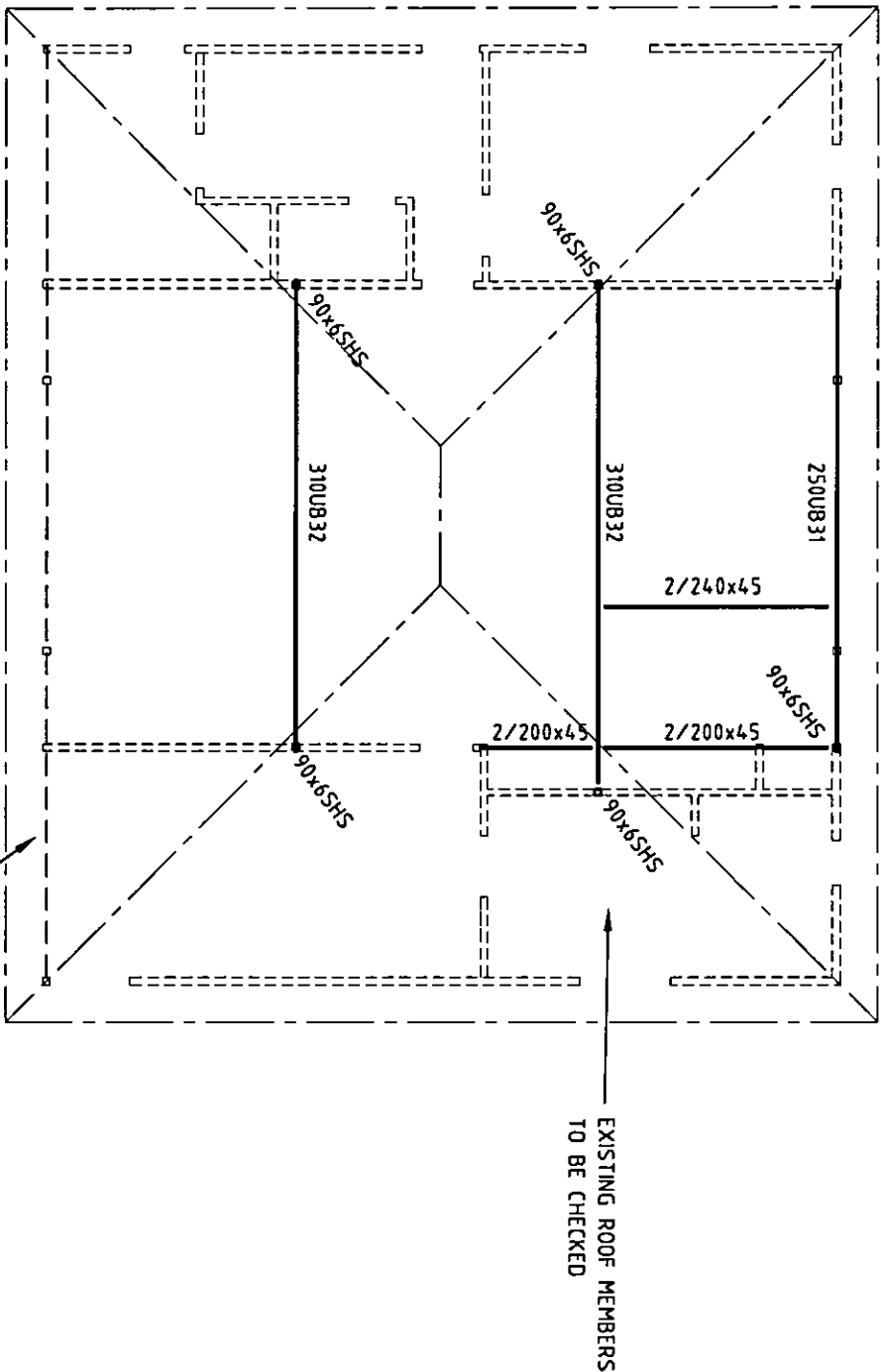
SCALE = 1:20

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			KYLE DOCHERTY BE ME PEng Docherty Consulting Engineers Pty Ltd		
DATE	ISSUE	DESCRIPTION			
			Project ALTERATIONS AND ADDITIONS AT 13 BRUCE STREET, MONA VALE FOR M and T KING		
			Drawing Title LOWER GROUND FLR PLAN & DETAILS	Drawn KRD	Approved K R DOCHERTY
				Date 8.12.06	Purpose of Issue CONSTRUCTION
				Scale Shown	Sheet A3
					Project No 60802
					Dwg No S02
					Rev 1



GROUND FLOOR PLAN
SCALE 1:100



ROOF PLAN
SCALE 1:100

- TIMBER FRAMING NOTES:**
- ENGINEER TO INSPECT EXISTING TIMBER FRAMING UPON REMOVAL OF LININGS.
 - ALL TIMBER FRAMING, BRACING, AND CONNECTIONS TO BE IN ACCORDANCE WITH AS1684. ENGINEER TO INSPECT AND APPROVE PRIOR TO CLOSING IN WITH LININGS.

B P 7 0 0 1

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			Kylie Docherty BE ME Peng			
			Docherty Consulting Engineers Pty Ltd			
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