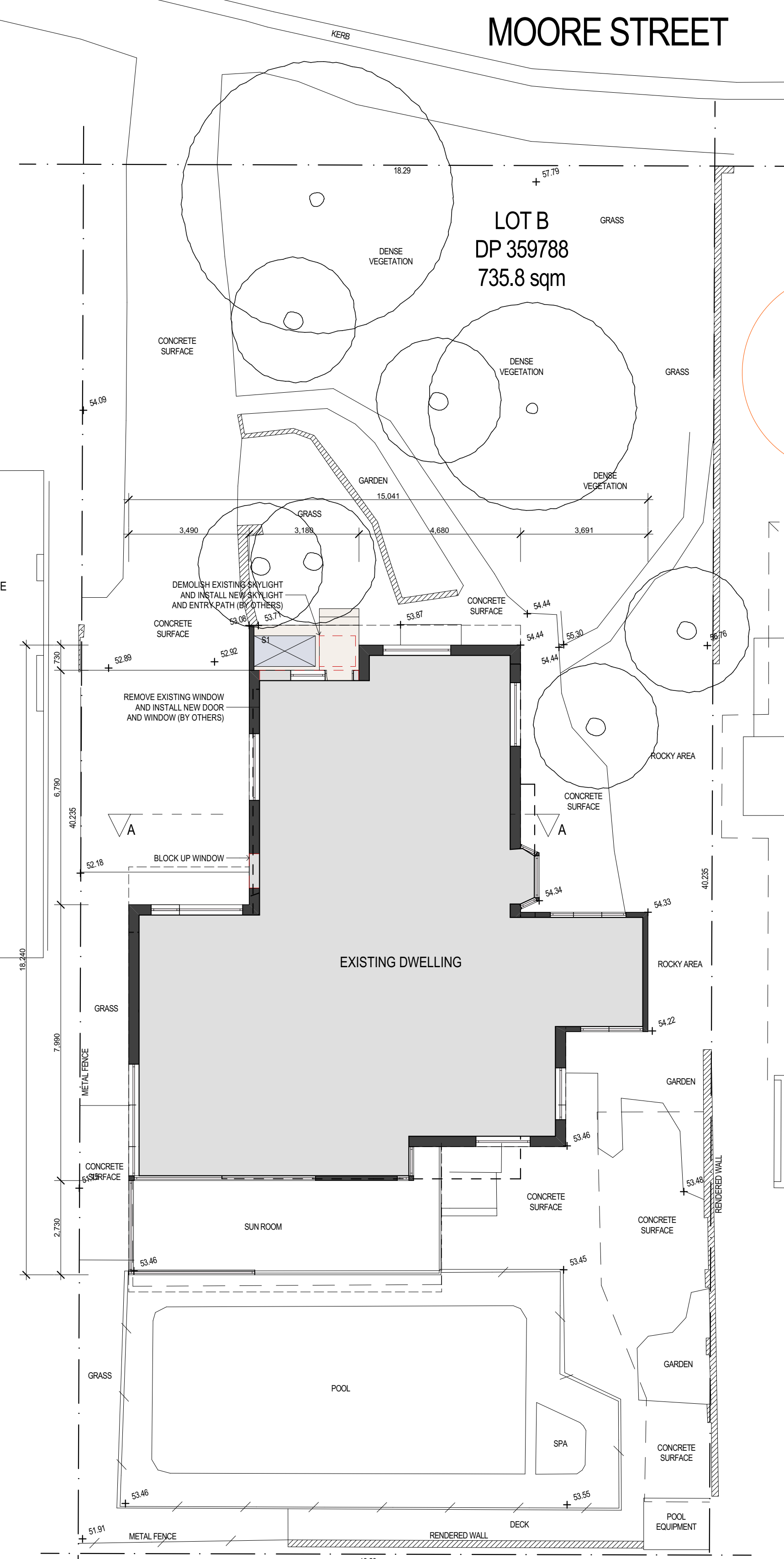
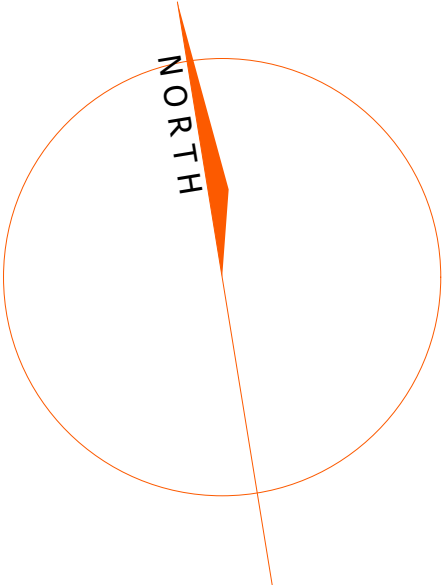


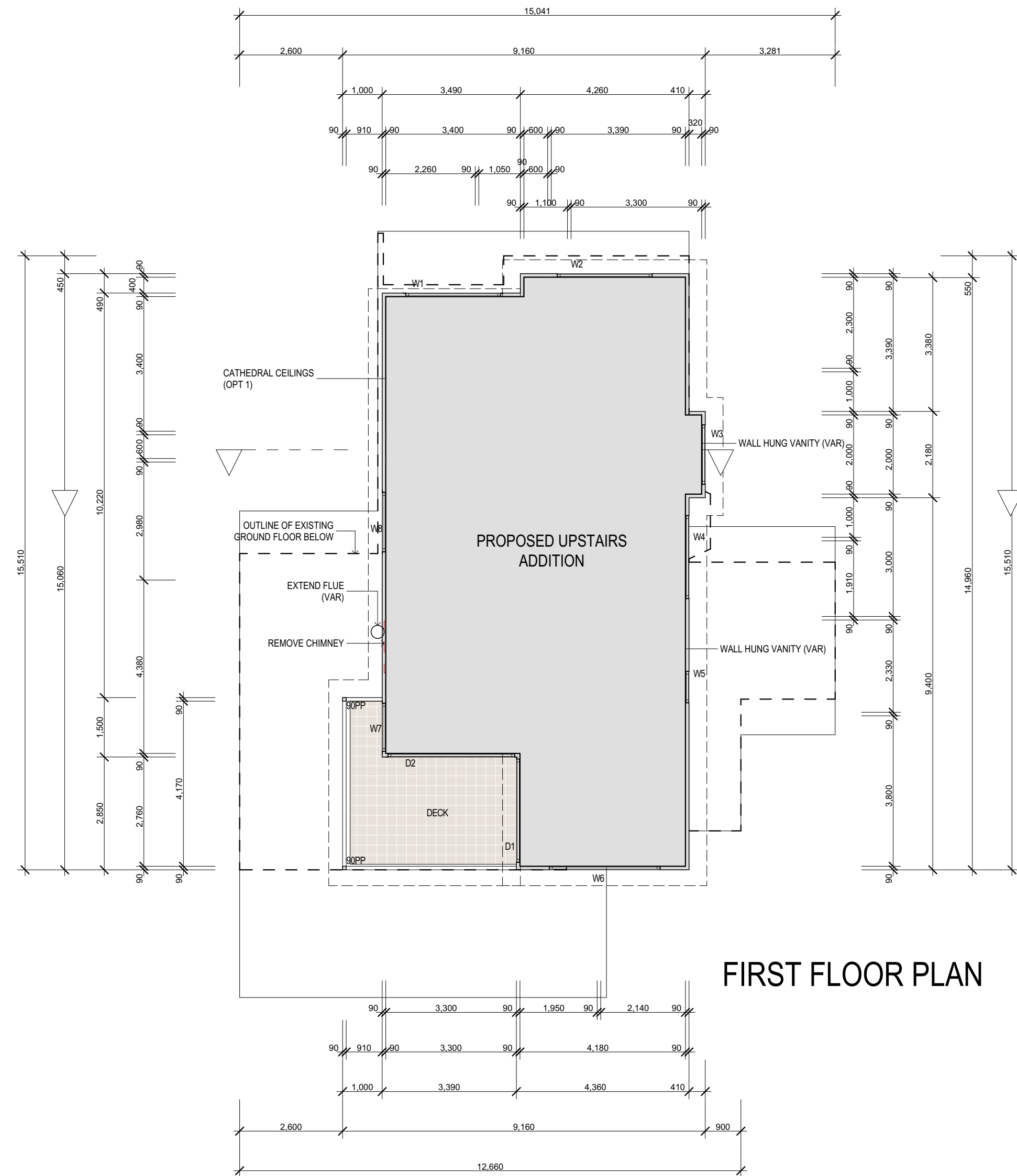
# MOORE STREET

LOT B  
DP 359788  
735.8 sqm

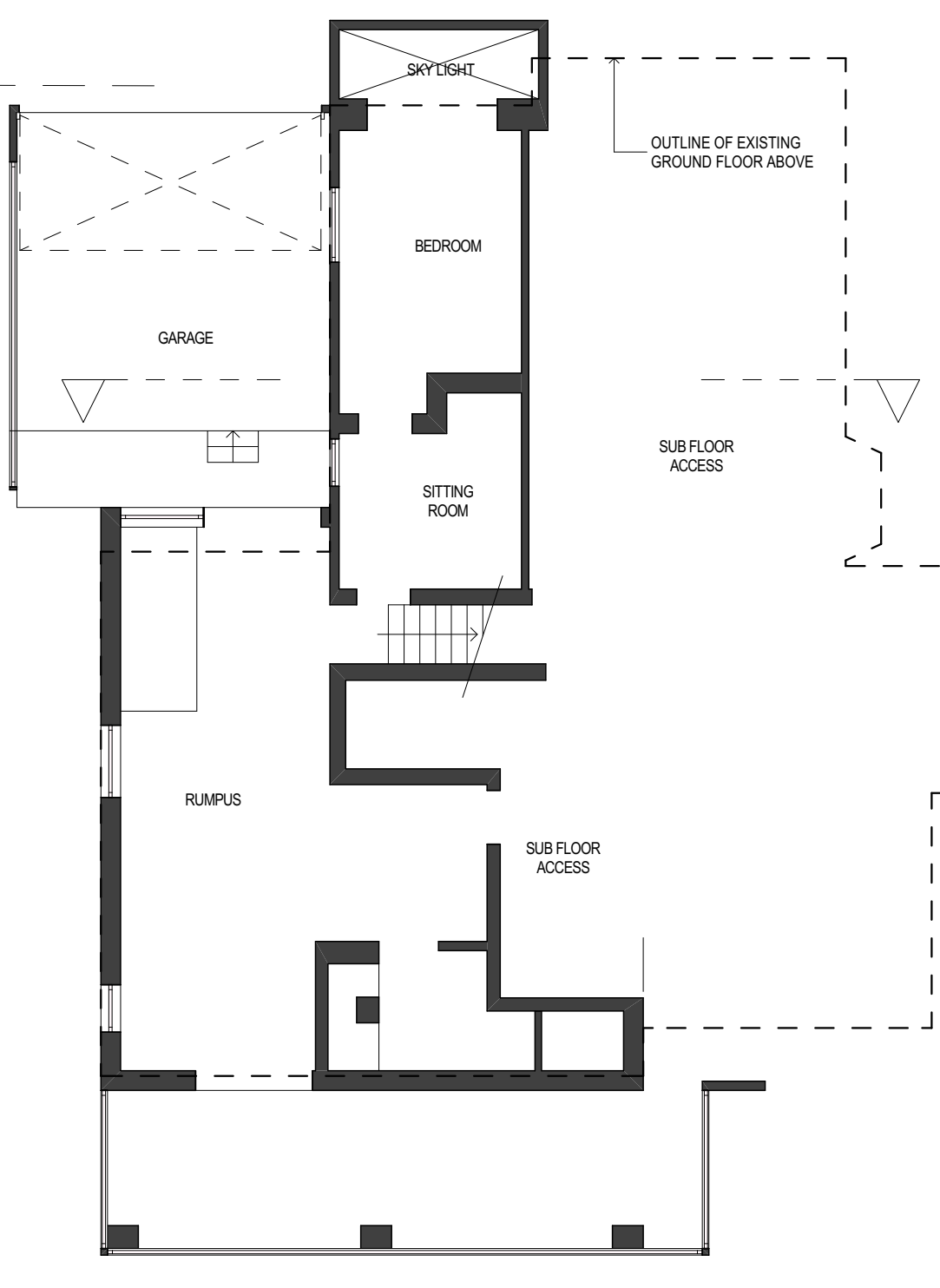


## GROUND FLOOR PLAN

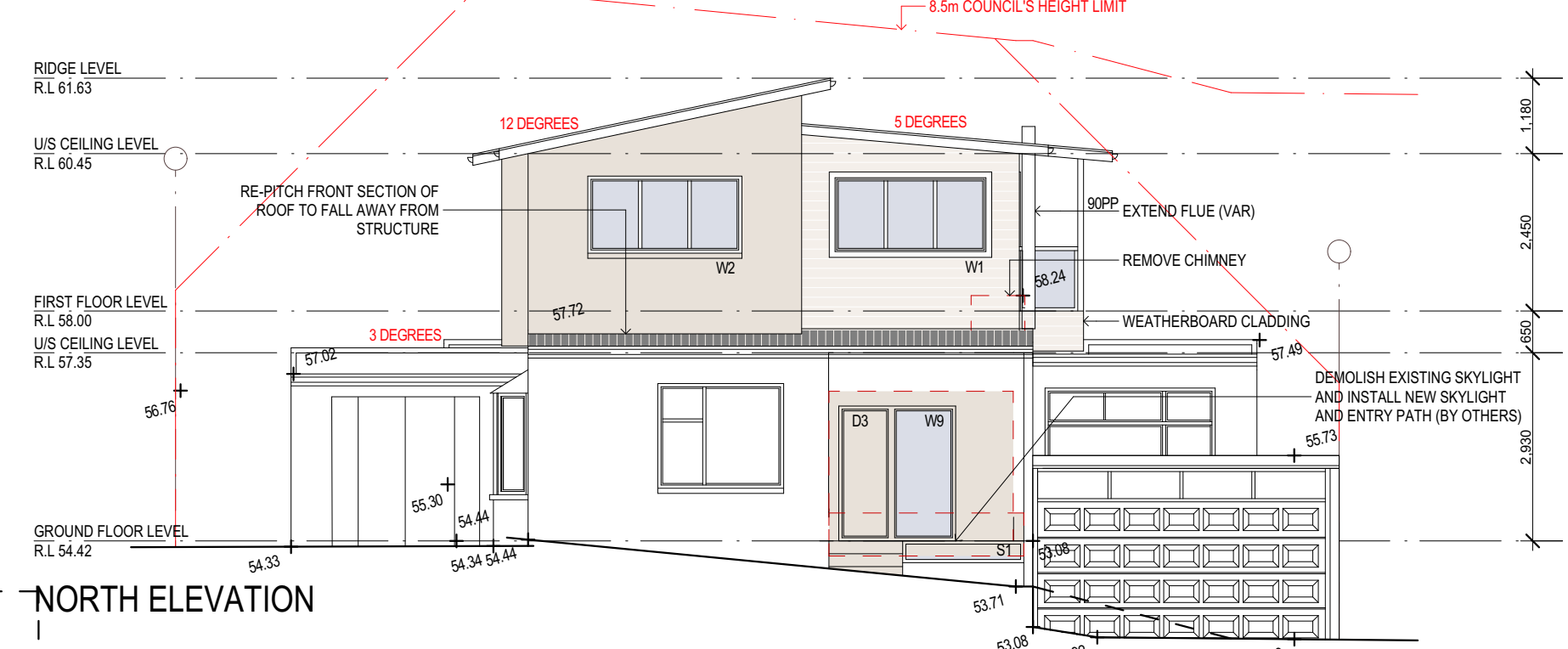
FRAMING NOTES		OPEN SPACE CALCULATIONS		LEGEND & GENERAL NOTES	
ROOF PITCH	NEW: 5° AND 12° EXISTING 3°	SITE AREA	735.8 sqm	VAR.	VARIATION
FRAME HEIGHT	2450mm CATHEDRAL CEILING OPTION	GROSS FLOOR AREA	317.1 sqm	O.T.A	OWNER TO ADVISE BUILDER
EAVE OVERHANGS	450mm	EXIST. SITE COVERAGE	472.9 sqm	90P	90 x 90 TIMBER POST
EXTERNAL DOOR AND WINDOW HEAD HEIGHT	2130mm TO LINE UP	PROPOSED SITE COVERAGE	472.5 sqm	S.L.	SKY LIGHT
INTERNAL DOOR	2110mm	EXIST. LANDSCAPED AREA	263.3 sqm	S.W.	SHOWER ENCLOSURE
B.I.C. DOOR	2130mm TO LINE UP	PROPOSED LANDSCAPED AREA	263.3 sqm	V	VANITY UNIT
DOOR AND WINDOW	90mm MIN UNLESS OTHERWISE NOTED	NO CHANGE TO EXISTING FOOTPRINT OR LANDSCAPE		WC	TOILET SUITE (WATER CLOSET)
FRAME AND TRUSS CENTRES	600mm	BASEMENT FLOOR AREA	56.0 sqm	BIC	BUILT IN CLIPBOARD
DOOR STUD OPENINGS	880mm WIDE UNLESS OTHERWISE NOTED	GROUND FLOOR AREA	138.8sqm	ST	STORE
		FIRST FLOOR AREA	93.4sqm	CS5	TO BE CHECKED ON SITE
		TOTAL FLOOR AREA	288.2sqm	OPT.	OPTION
				OB-HI	OPEN BALUSTRADE AND HANDRAIL
				DP	DOWNPIPE
				DRBS	DOWNPIPE AND SPREADER
				NOTE 1	ALL DIMENSIONS ARE SUBJECT TO AMENDMENT AFTER A CHECK MEASURE ON SITE.
				CONSTRUCTION LEVELS	SUBCONTRACTOR TO CONFIRM DA LEVELS COMPLIANCE WITH TMH HOOKS BEFORE FINALISING FLOOR STRUCTURE
				SUBCONTRACTOR TO ENSURE THAT ALL CONSTRUCTION LEVELS MARKED ON PLAN TO BE STRICTLY COMPLIED WITH	



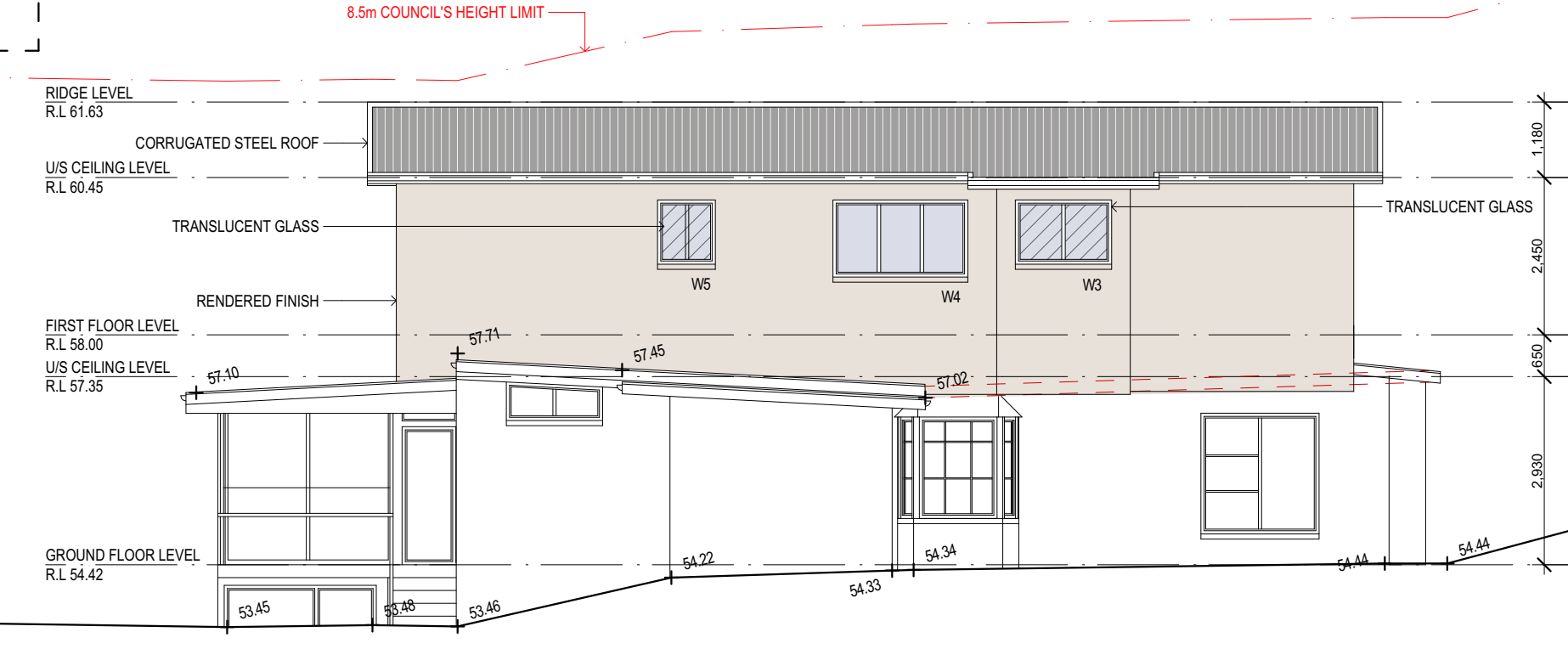
## FIRST FLOOR PLAN



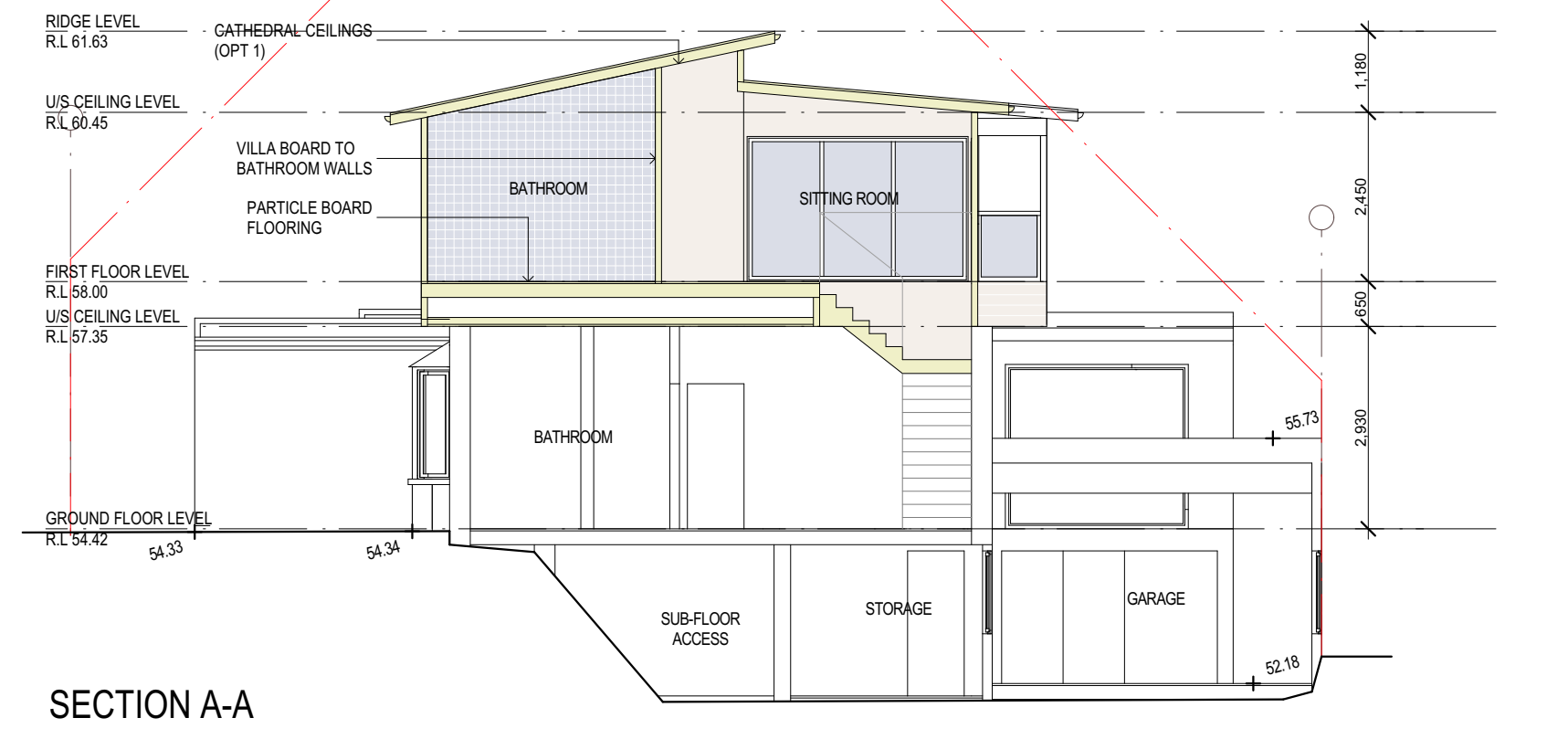
## BASEMENT FLOOR PLAN



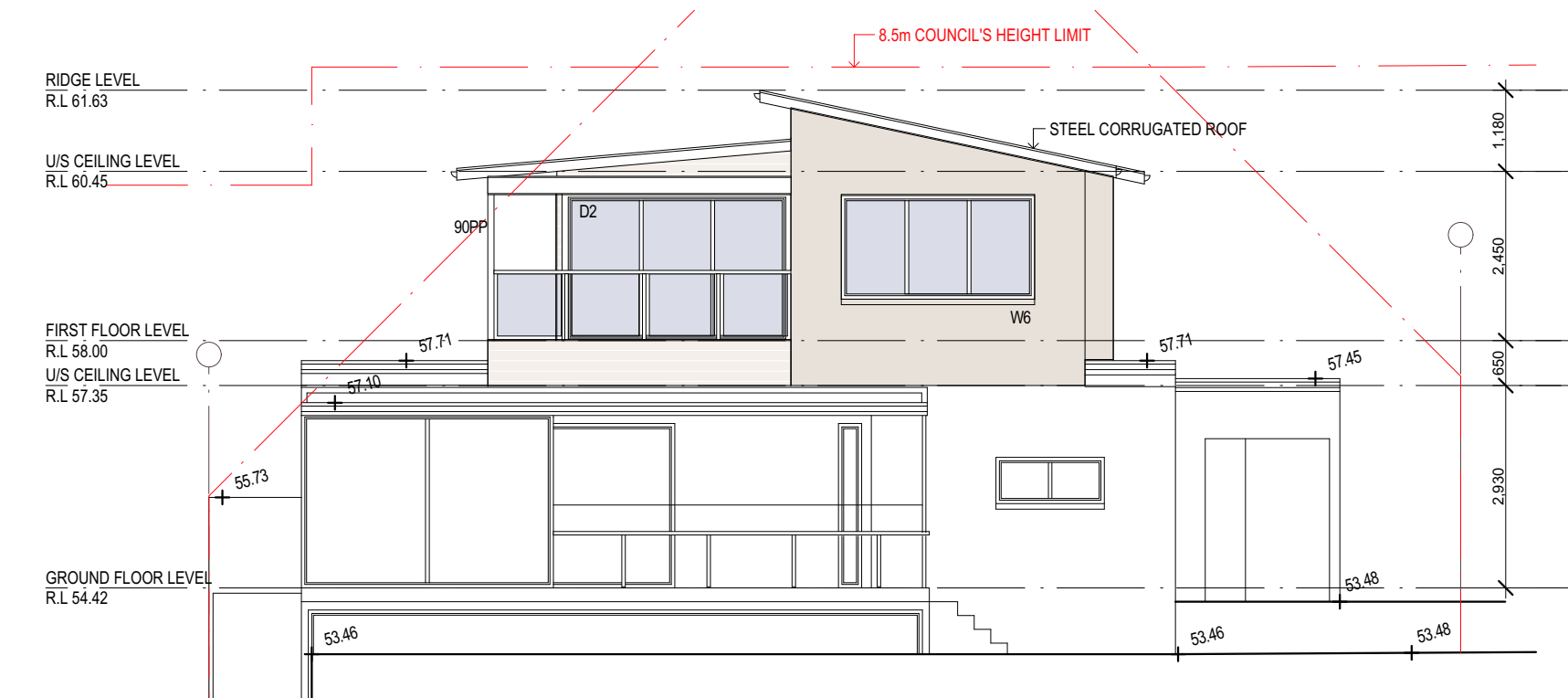
## NORTH ELEVATION



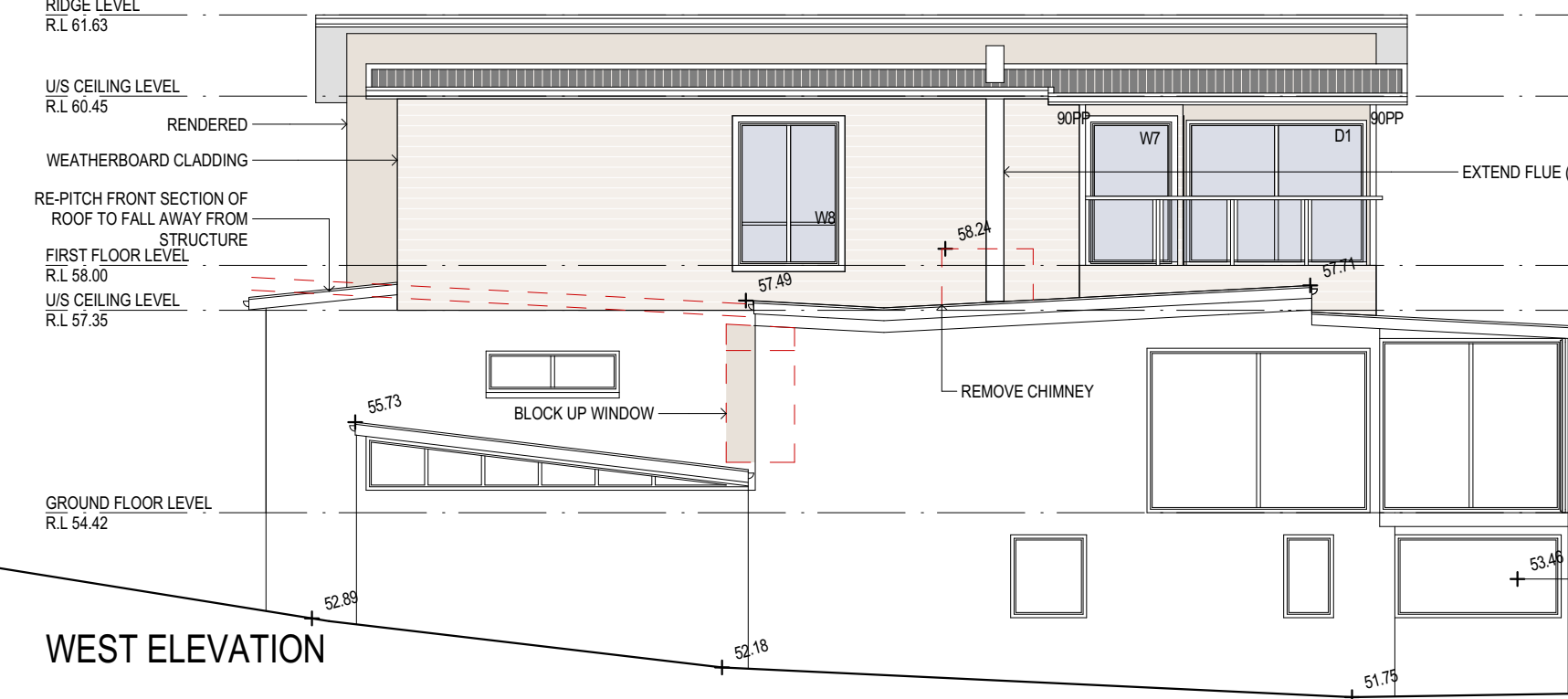
## EAST ELEVATION



## SECTION A-A



## SOUTH ELEVATION



## WEST ELEVATION



ARTIST'S IMPRESSION  
FOR ILLUSTRATION PURPOSES ONLY, NOT TO BE READ AS A WORKING DRAWING

NO.	REVISION	DATE	BY
B	FOR COUNCIL	15/10/19	MB
A	FOR PLAN MEETING	20/09/19	GK

**PROJECT TITLE:**  
 FIRST FLOOR ADDITION AT  
 11 MOORE STREET,  
 CLONTARF 2093

**SCALE:** 1:100    **DATE:** 20/09/19  
**DRAWN BY:** GK    **CHECKED:** MB

**TITLE:** PLANS, ELEVATIONS AND SECTIONS  
**DRAWING NO.:** 9079 DA 1    **ISSUE:** B

**ADD-STYLE HOME ADDITIONS**  
 Upstairs & On Ground Specialists

ADD-STYLE HOME ADDITIONS  
 285 CONDOMINE STREET  
 MANLY VALE 2093  
 FAX: 99079053  
 PAGER: 99079055  
 EMAIL: tim@addstyle.com.au