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NOTES

C2.9	TABLE 3 - TYPE A CONSTRUCTION MINIMUM FRL OF BUILDING ELEMENT BASEMENT FLOORS - B1 AND B2 - 120/120/120
C2.9	TABLE 3 - TYPE A CONSTRUCTION MINIMUM FRL OF BUILDING ELEMENT GROUND FLOOR SLAB - 240/240/240
C2.9	TABLE 3 - TYPE A CONSTRUCTION MINIMUM FRL OF BUILDING ELEMENT ALL RESIDENTIAL FLOOR SLABS - 90/90/90 ACOUSTIC RATING - Rw+Ctr > 50 and Ln.W > 62
C3.11	ALL SOLE OCCUPANCY UNITS TO HAVE A SELF-CLOSING FIRE DOOR WITH MINIMUM FRL OF -/60/30
D1.7	BASEMENT 1 ACCESSIBLE WC TO HAVE A SELF-CLOSING FIRE DOOR WITH MINIMUM FRL OF -/60/30
D3.3	ALL ACCESSIBLE BATHROOMS TO INCLUDE ALL AS1428:1 CIRCULATION - FITTINGS - FIXTURES - CLEARANCES IN THE LIKE FOR FULL COMPLIANCE - INCLUDING SHELVES
E1.3	FIP LOCATED IN RESIDENTIAL LOBBY
E1.3	BOOSTER ASSEMBLY LOCATED ON ROBERTSON ROAD ENTRY
E1.5	SPRINKLERS LOCATED IN ALL BASEMENT LEVELS

CONSULTANTS

SURVEYOR	ADAM CLERKE SURVEYORS PTY LTD	38 KEVIN AVENUE, AVALON 2107	02 9918 4111
LANDSCAPING	SITE IMAGE-LANSCAPE ARCHITECT	LEVEL 1, 3-5 BAPTIST STREET REDFERN NSW 2016	02 8332 5600
STORM WATER & FLOODING	DEMLAKIAN ENGINEERING	5 RIDGE ST, NORTH SYDNEY NSW 2060	02 9955 4485
ASSESSMENT OF TRAFFIC & PARKING IMPLICATIONS	TRANSPORT AND TRAFFIC PLANNING	SUITE 502, L5 282 VICTORIA AVE, CHATSWOOD 2067	02 9411 5660
TRAFFIC & TRANSPORT MANAGEMENT PLAN	SBMG PTY LTD	PO BOX 8136, GLENMORE PARK NSW 2745	0467 370 380
ACCESSIBILITY	ACCESSIBLE BUILDING SOLUTIONS	124 UPPER WASHINGTON DRIVE, BONNET BAY NSW 2226	02 9528 0276
GEOTECHNICAL & SITE INVESTIGATION	ASSET GEOTECHNICAL	SUITE 2.05/56 DELHI RD, NORTH RYDE NSW 2113	0410 325 566
BASIX	DAMIAN OTOOLE TOWN PLANNING PTY	STUDIO 9,L5 35 BUCKINGHAM STREET, SURRY HILL 2010	0413 031 971
PLANNING (SEE)	HAMPTONS PROPERTY SERVICES	SUITE 404, 203-233 NEW SOUTH HEAD ROAD, EDGECLIFF	02 9386 7009
PHOTOMONTAGE & MODELING	ARCHITECTURAL IMAGES	46/6-8 HERBERT STREET, ST LEONARDS NSW 2065	02 9460 8943
PRIVATE CERTIFIER/BCA REPORT	DIX GARDNER GROUP	LEVEL 4, 155 CASTELREAGH ST, SYDNEY NSW 2000	0428 281 188
ARBORIST	DAMIAN GREEN		0450 575 677

UNITS

UNIT	LEVEL	1 BED	2 BED	3 BED	BATH	ENS	ADPT.	UNIT AREA	BALCONY/ COURTYARD AREA	LIFT ACCESS	DIRECT SUNLIGHT	CROSS THROUGH VENTILATION	SINGLE ASPECT	LIVING ROOM WIDTH	PARKING REQUIRED
01	1		■		■	■		93.4m ²	39.85m ²	■	■	■		> 4m	2
02	1		■		■	■		105.3m ²	18.1m ²	■			■	4m	2
03	1		■		■	■		95.0m ²	17.4m ²				■	4m	2
04	1			■	■	■	■	128.4m ²	18.1m ²	■		■		> 4m	2
05	1		■		■	■	■	109.0m ²	15.5m ²	■			■	4m	2
06	1		■		■	■		94.8m ²	9.1m ²	■		■		4m	2
07	1		■		■	■		95.4m ²	45.8m ²		■		■	> 4m	2
08	1		■		■	■		87.6m ²	42.0m ²	■			■	> 4m	2
09	2		■		■	■		130.4m ²	31.8m ²	■	■	■		> 4m	2
10	2			■	■	■		116.6m ²	72.4m ²	■	■	■		4m	2
11	2		■		■	■		92.4m ²	83.4m ²	■	■	■		> 4.0m	2
12	2	■			■		■	67.7m ²	25.7m ²	■	■	■	■	3.6m	1
13	2		■		■	■		81.5m ²	29.3m ²	■	■	■		4.0m	2
TOTAL		1	10	2	13	UNITS	3	1297.5m ²			61.5% (⁸ / ₁₃)	61.5% (⁸ / ₁₃)	53.8% (⁷ / ₁₃)		25

RETAIL

RETAIL SPACE	AREA	STORAGE AREA	PARKING REQUIRED	PARKING PROVIDED
1	48.89m2	19.0m2	1 space per 30m2	
2	46.37m2	10.95m2		
3	46.37m2	10.95m2		
4	46.37m2	10.95m2		
5	49.87m2	15.25m2		
6	90.3m2	-		
7	122.1m2	51.8m2		
8	146.2m2	13.95m2		
TOTAL	596.47m2		19.8 (^{596.47} / ₃₀)	19

PARKING

	UNITS	UNIT VISITOR	RETAIL	TOTAL
REQUIRED	26	5	19	50
PROVIDED	26	5	19	50

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NOMINATED ARCHITECTS
TONY GRAY 5303 & PAUL GOODSELL 6726
P 02 9660 3644 www.crawford.com.au
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CLIENT
DEVELOPMENT LINK

PROJECT
MIXED USE DEVELOPMENT

351-353 BARRENJOEY ROAD, NEWPORT NSW 2106

LOT 65 & 66 SEC 5 DP 6248

TITLE
COVERSHEET
SCHEDULE

SCALE
N/A
APPROVED
DRAWN
CHECKED
DATE
STATUS

PROJECT NUMBER
18057

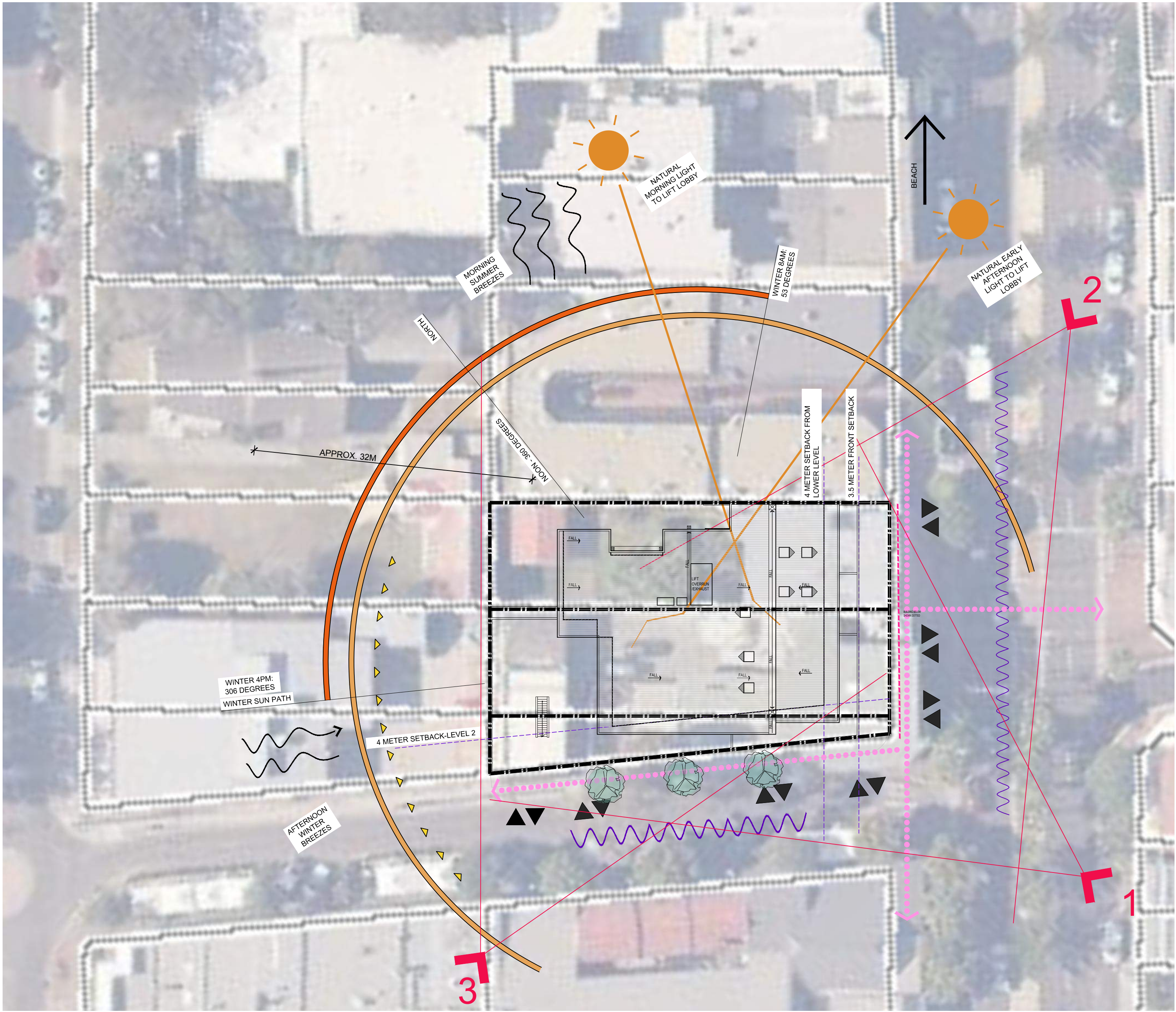
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A001

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02





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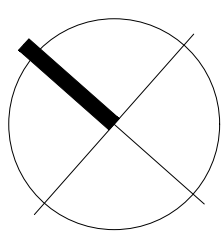
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TITLE
SITE ANALYSIS



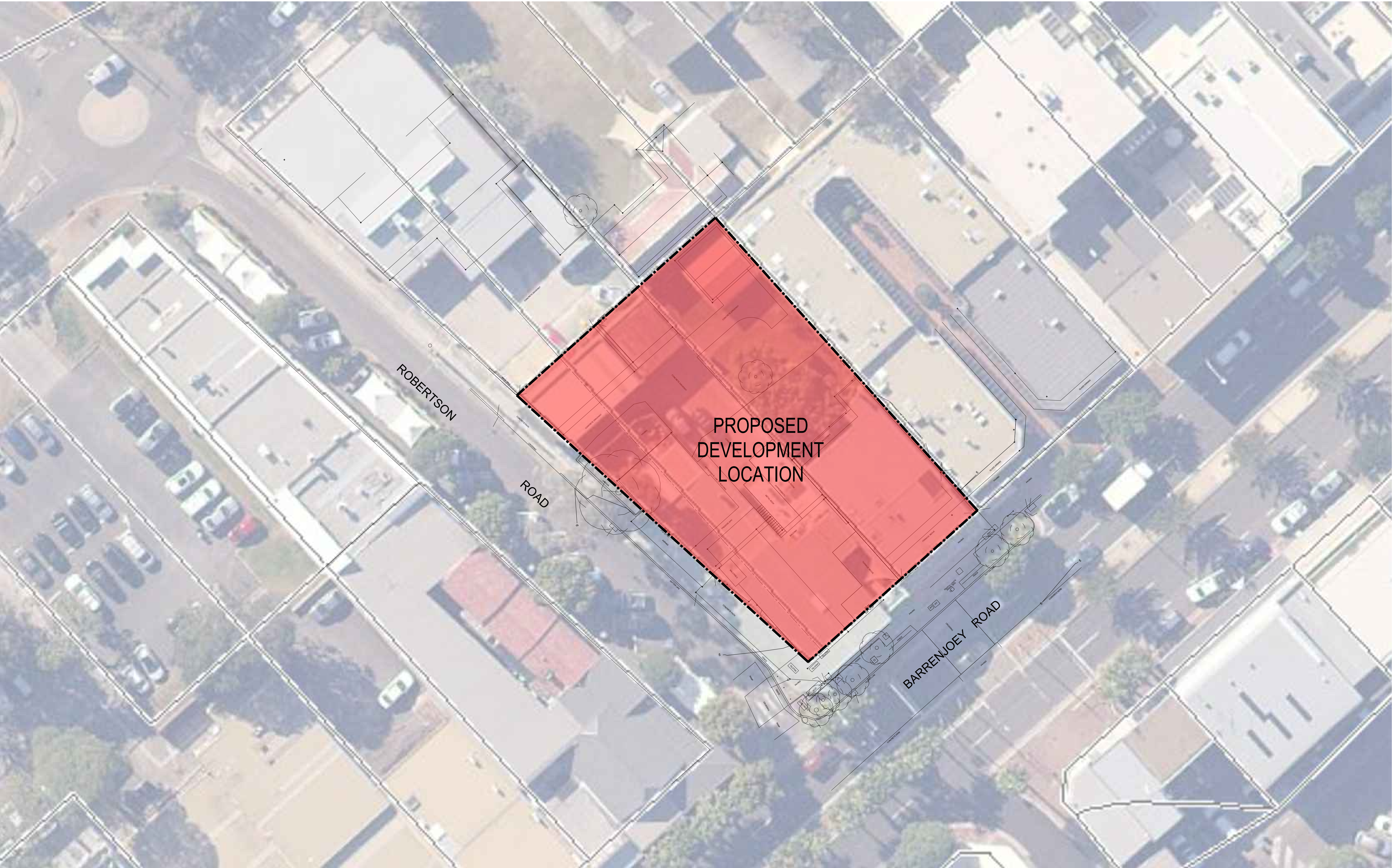
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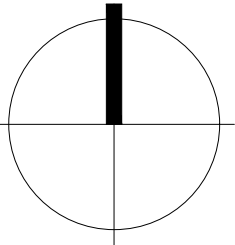
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TITLE
SITE LOCATION
PLAN



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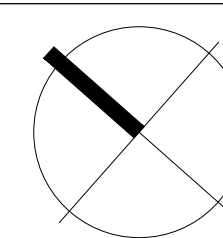


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TITLE
DEMOLITION PLAN



SCALE 1:100 @ A1

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7 **A011**

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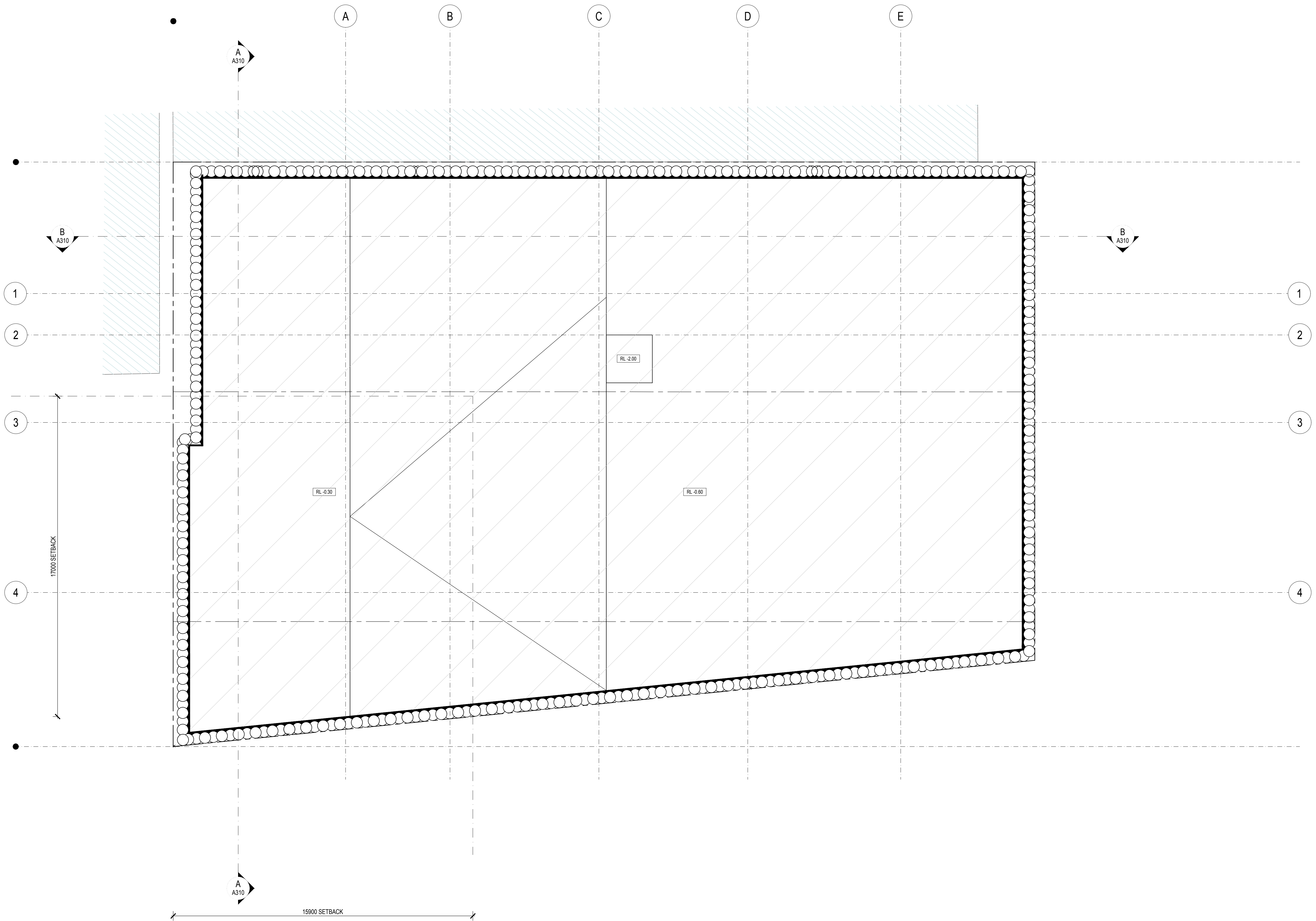
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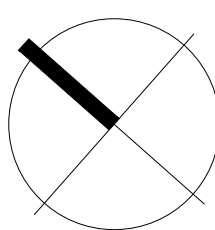
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LOT 65 & 66 SEC 5 DP 6248

EXCAVATION PLAN



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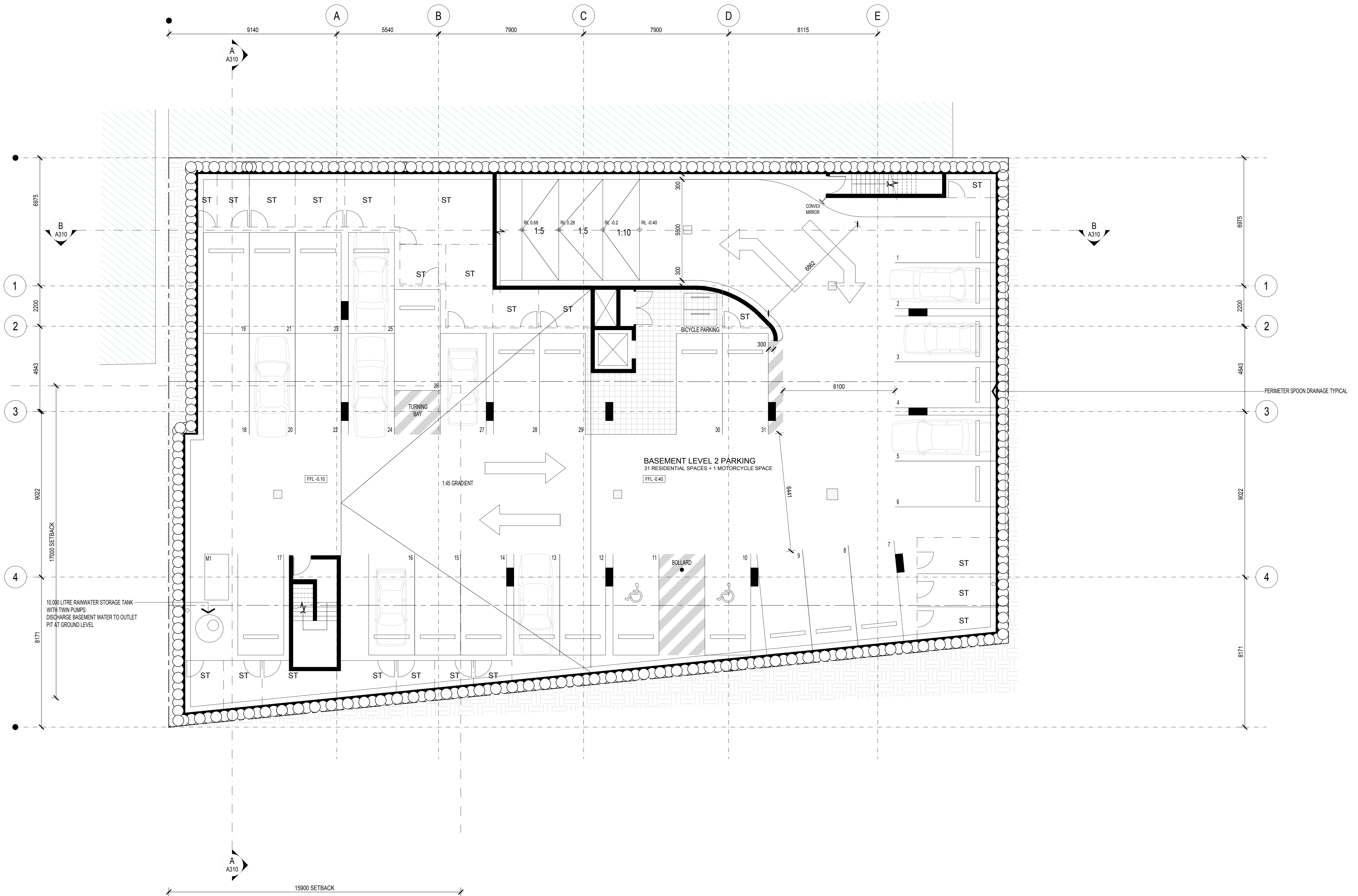
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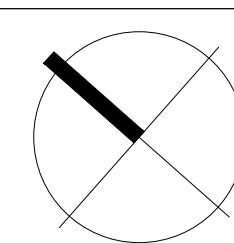
ISSUE	DATE	AMENDMENTS
09	20.06.19	REVISED ISSUED
08	20.04.27	ISSUE TO CONSULTANT
07	20.04.21	STORM WATER ADAPTATION
06	20.03.06	ISSUED TO COUNCIL
05	20.03.06	ISSUED TO CONSULTANT

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PROJECT
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351-353 BARRENJOEY ROAD, NEWPORT NSW 2106
LOT 65 & 66 SEC 5 DP 6248

TITLE
BASEMENT 2 FLOOR PLAN



SCALE 1:100 @ A1

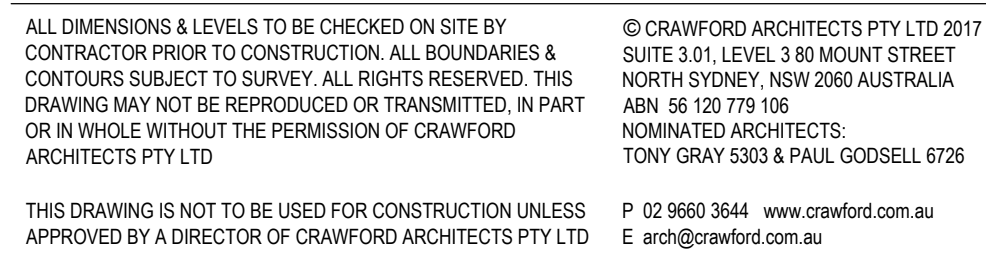
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LOT 65 & 66 SEC 5 DP 6248

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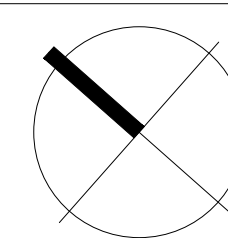
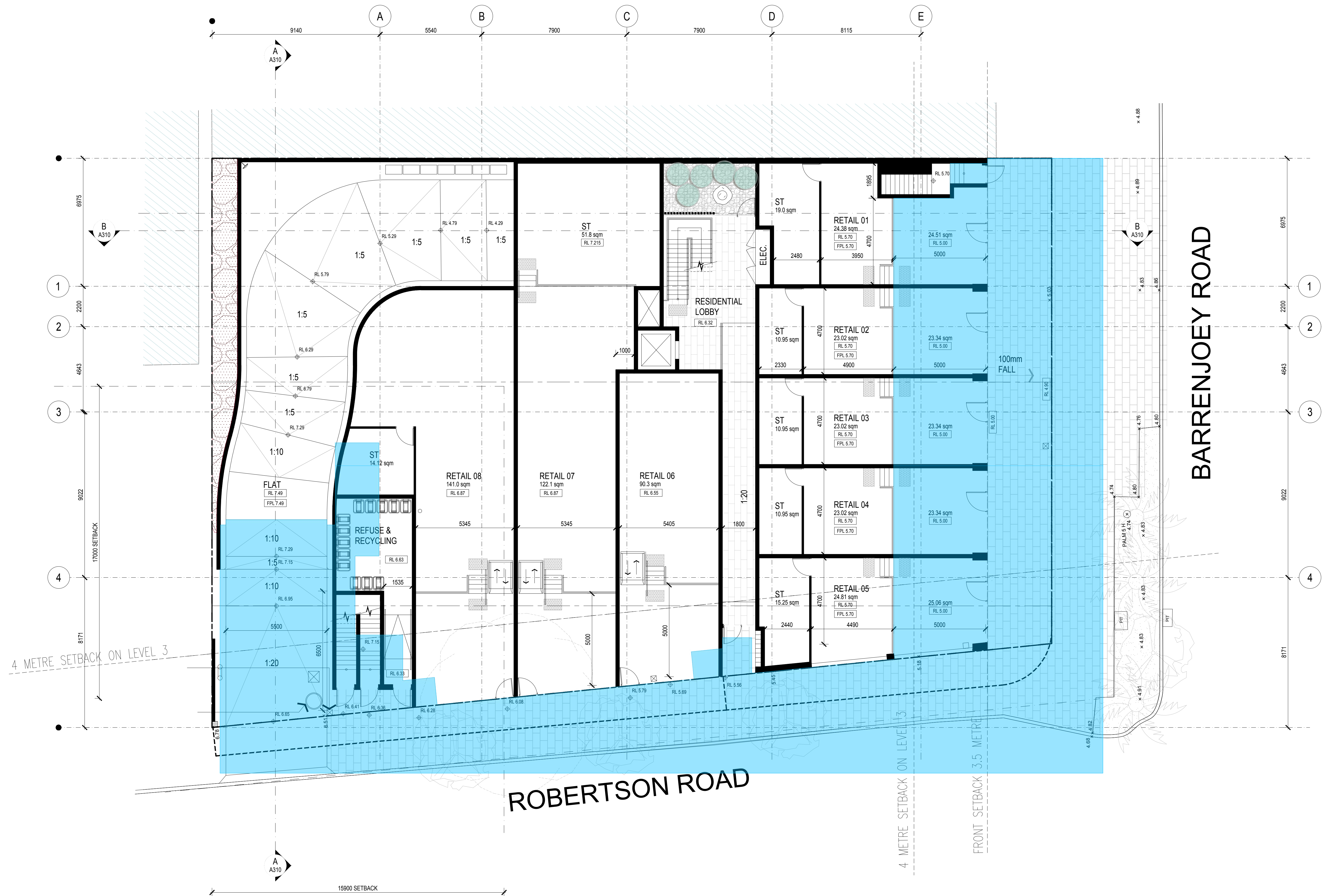
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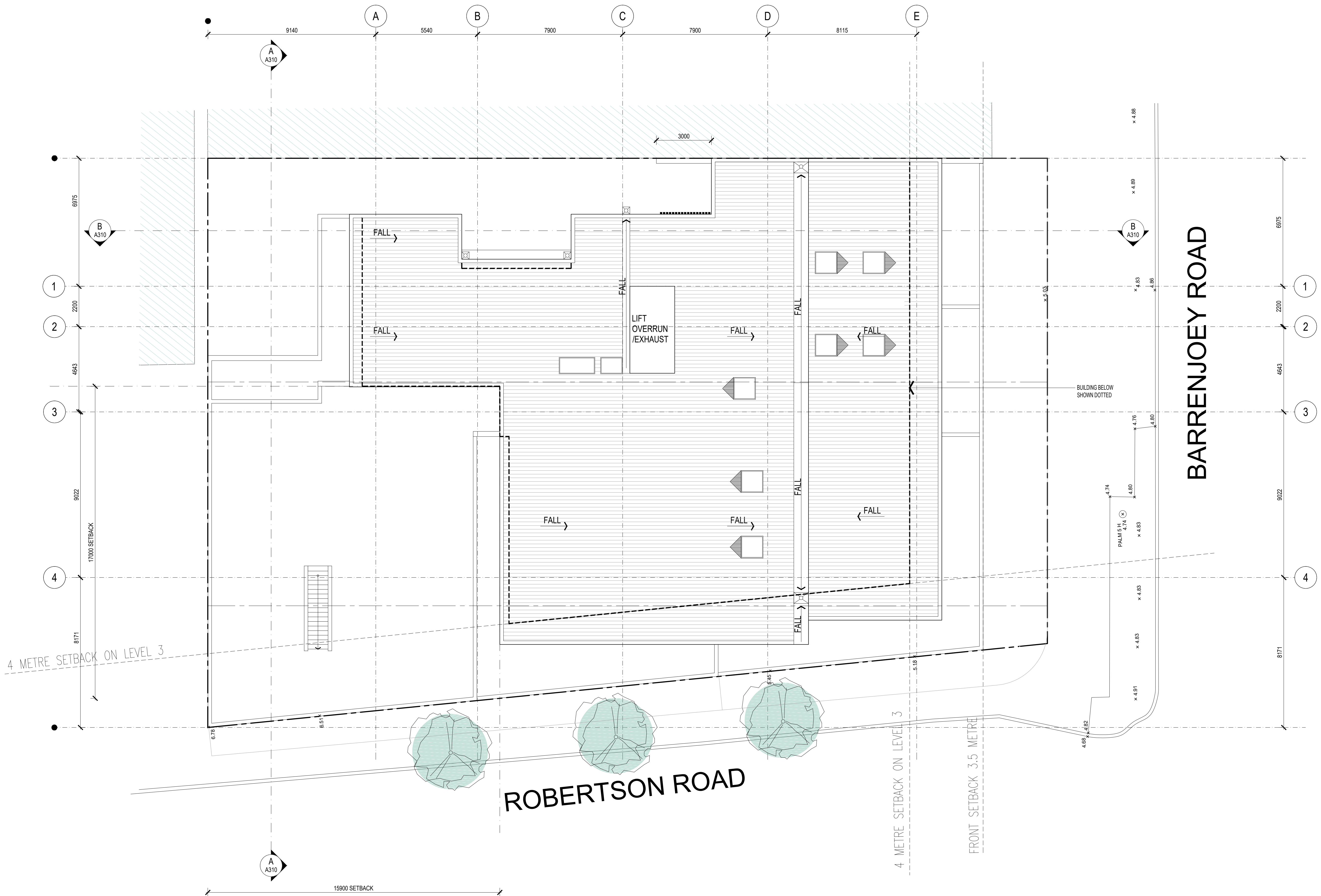
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06	20.03.06	ISSUED TO COUNCIL
05	20.03.06	ISSUED TO CONSULTANT

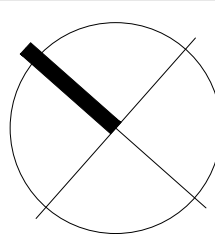
DEVELOPMENT LINK

MIXED USE DEVELOPMENT

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ROOF PLAN



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A105

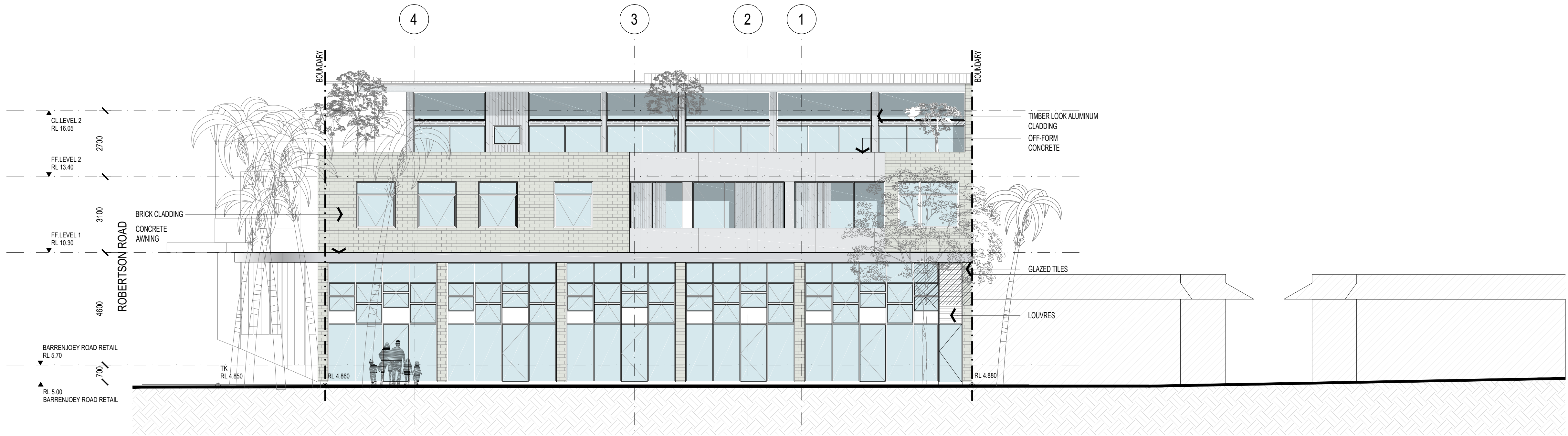
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12

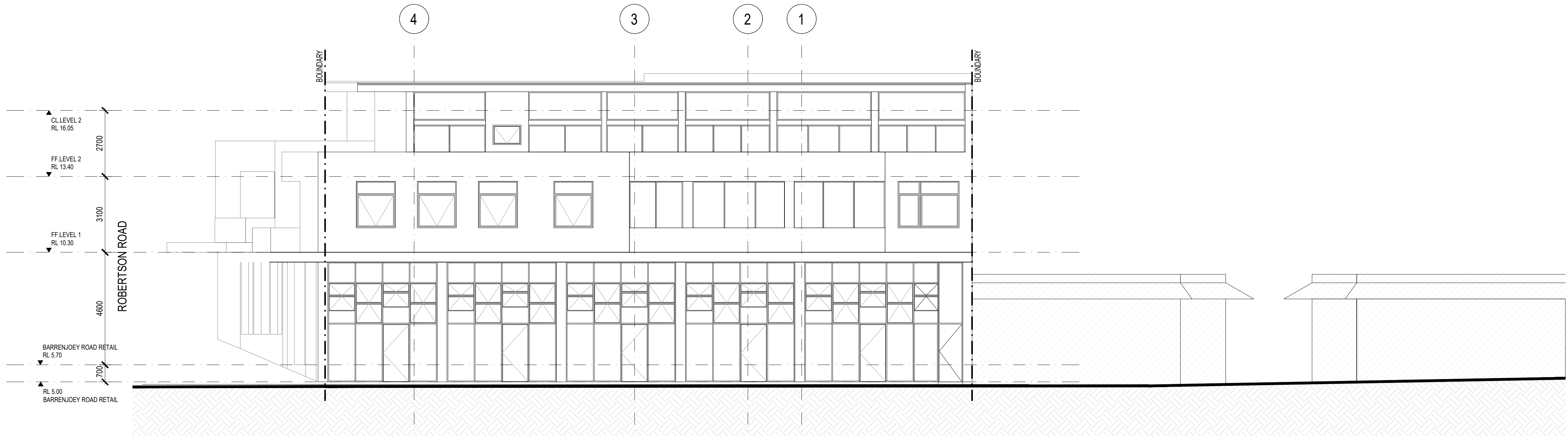
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STREET ELEVATION / BARRENJOEY ROAD



STREET ELEVATION / BARRENJOEY ROAD

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03	20.03.06	ISSUED TO CONSULTANT
02	20.02.20	ISSUED TO CLIENT
01	19.10.15	DA ISSUE
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PROJECT
MIXED USE DEVELOPMENT
351-353 BARRENJOEY ROAD, NEWPORT NSW 2106
LOT 65 & 66 SEC 5 DP 6248

TITLE
EAST ELEVATION

SCALE
1:100 @ A1

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DATE
JAN 2019

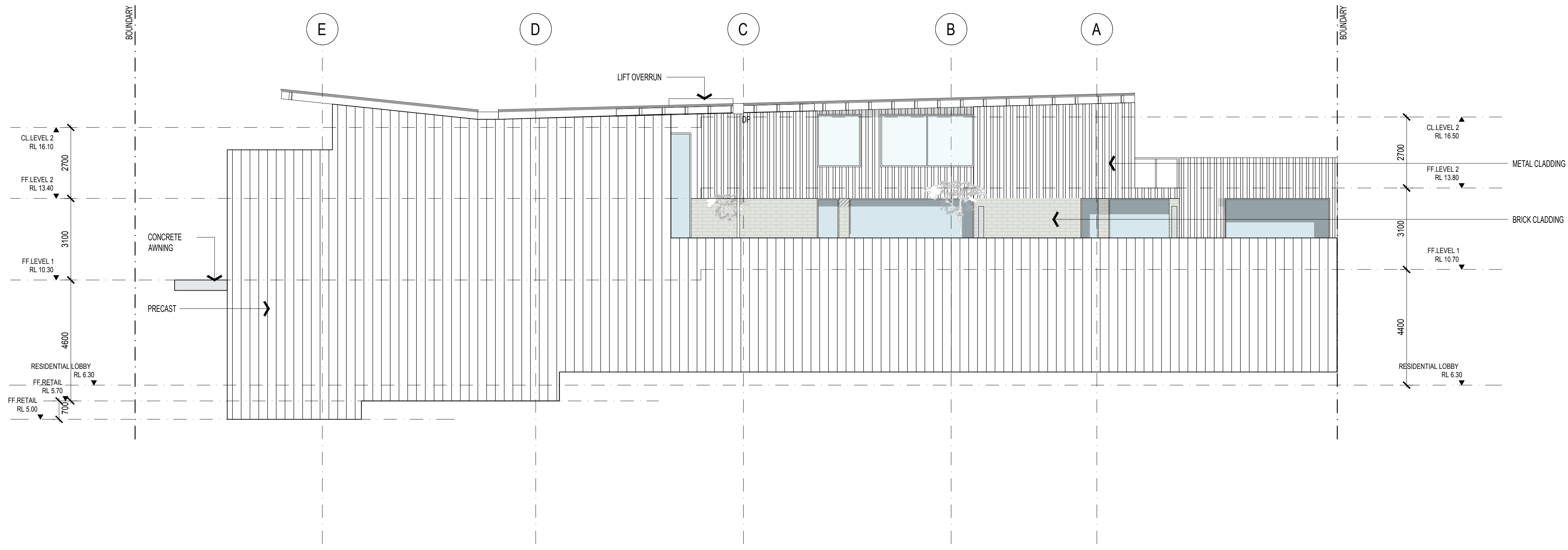
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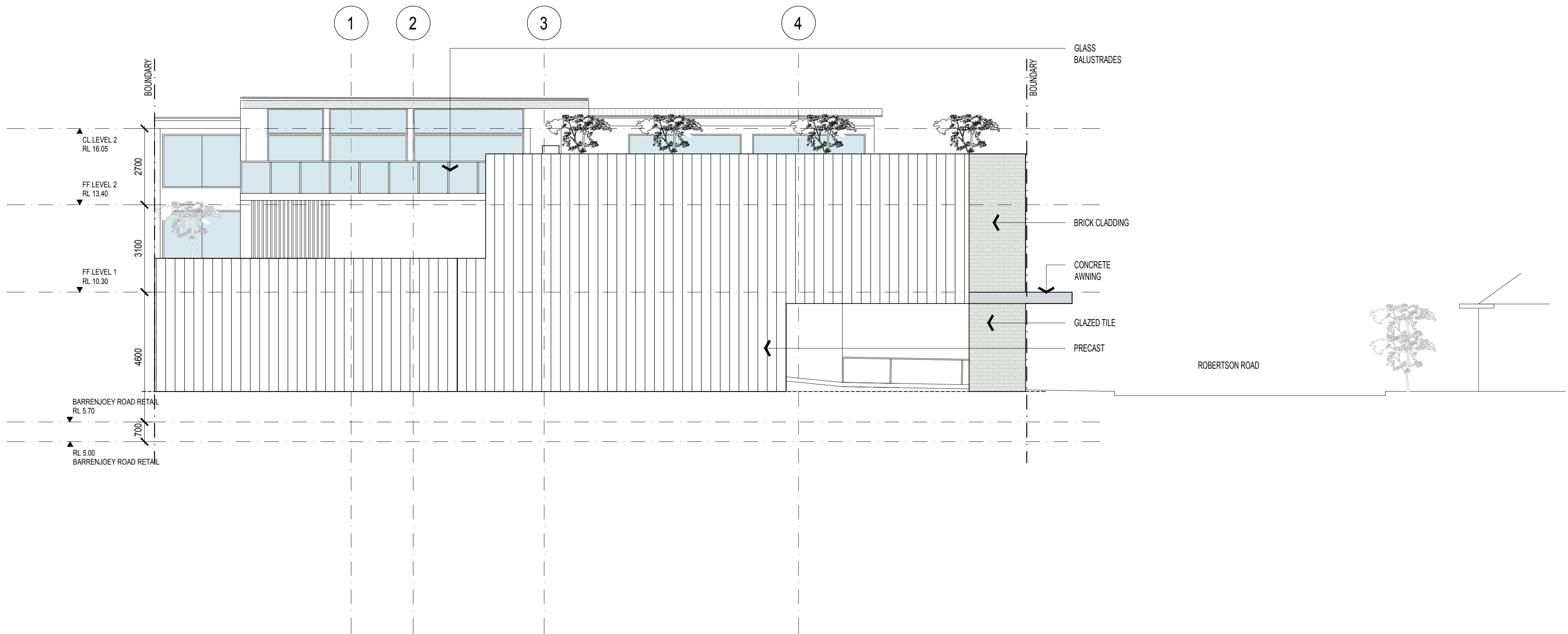
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NORTH ELEVATION



WEST ELEVATION

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DEVELOPMENT LINK

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MIXED USE DEVELOPMENT
351-353 BARRENJOEY ROAD, NEWPORT NSW 2106
LOT 65 & 66 SEC 5 DP 6248

TITLE
NORTH AND WEST
ELEVATIONS

SCALE: 1:100 @ A1
APPROVED: MN
DRAWN: PG
CHECKED: PG
DATE: JAN 2019
STATUS: DA

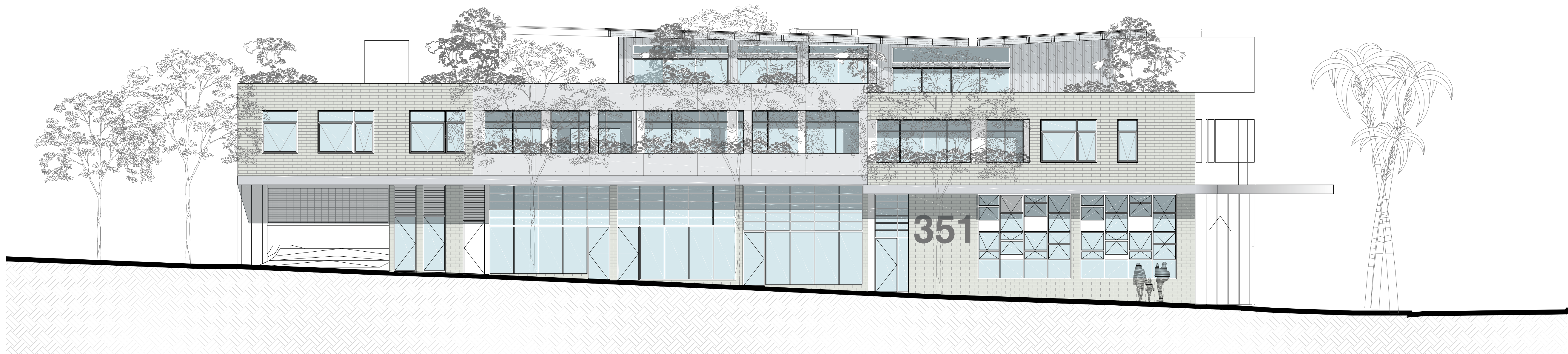
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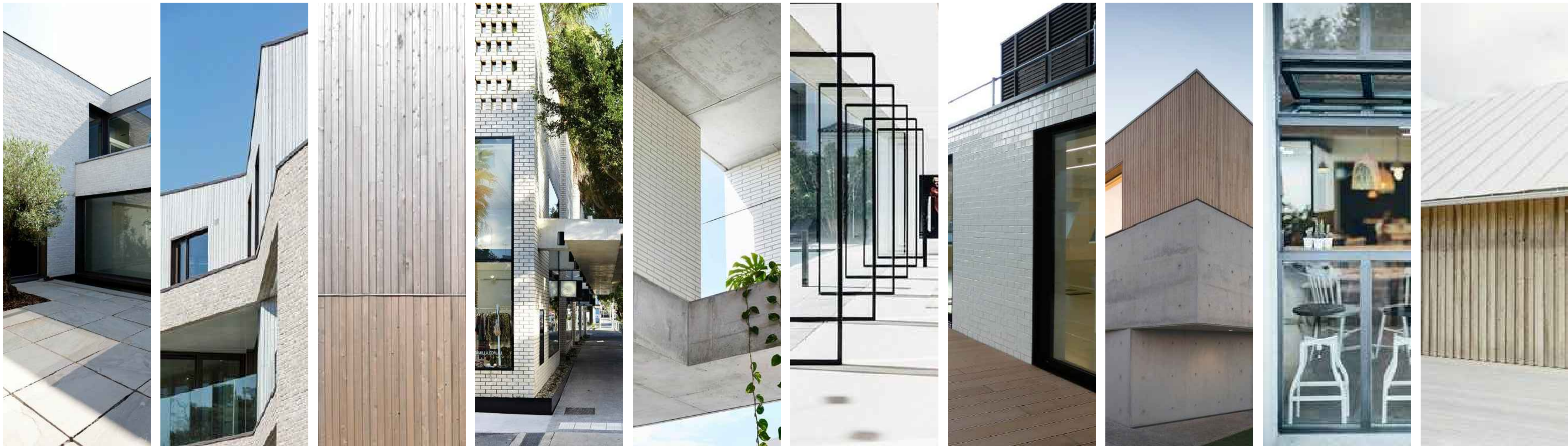
A302

ISSUE
08

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FRONT ELEVATION / ROBERTSON ROAD



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ABN 56 120 779 106
NOMINATED ARCHITECTS
TONY GRAY 5303 & PAUL GOOSELL 6726
P 02 9660 3644 www.crawford.com.au
E arch@crawford.com.au

ISSUE	DATE	AMENDMENTS
04	20.07.02	REVISED ISSUE
03	20.06.19	REVISED ISSUE
02	20.05.01	REVISED ISSUE
01	19.10.15	DA ISSUE

CLIENT
DEVELOPMENT LINK

PROJECT
MIXED USE DEVELOPMENT
351-353 BARRENJOEY ROAD, NEWPORT NSW 2106
LOT 65 & 66 SEC 5 DP 6248

TITLE
MATERIAL AND FINISHES

SCALE 1:100 @ A1
APPROVED HH
DRAWN PG
CHECKED PG
DATE JAN 2019
STATUS DA

PROJECT NUMBER
18057

DRAWING NUMBER
A320

ISSUE
04

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BEFORE



AFTER

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P 02 9660 3644 www.crawford.com.au
E arch@crawford.com.au

03	20.06.19	REVISED ISSUED
02	20.05.04	REVISED DA ISSUE
01	19.10.15	DA ISSUE
ISSUE	DATE	AMENDMENTS

CLIENT
DEVELOPMENT LINK

PROJECT
MIXED USE DEVELOPMENT
351-353 BARRENJOEY ROAD, NEWPORT NSW 2106
LOT 65 & 66 SEC 5 DP 6248

TITLE
BEFORE & AFTER
PHOTOMONTAGE

SCALE -
APPROVED HH
DRAWN PG
CHECKED
DATE JAN 2019
STATUS DA

PROJECT NUMBER
18057

DRAWING NUMBER
A321

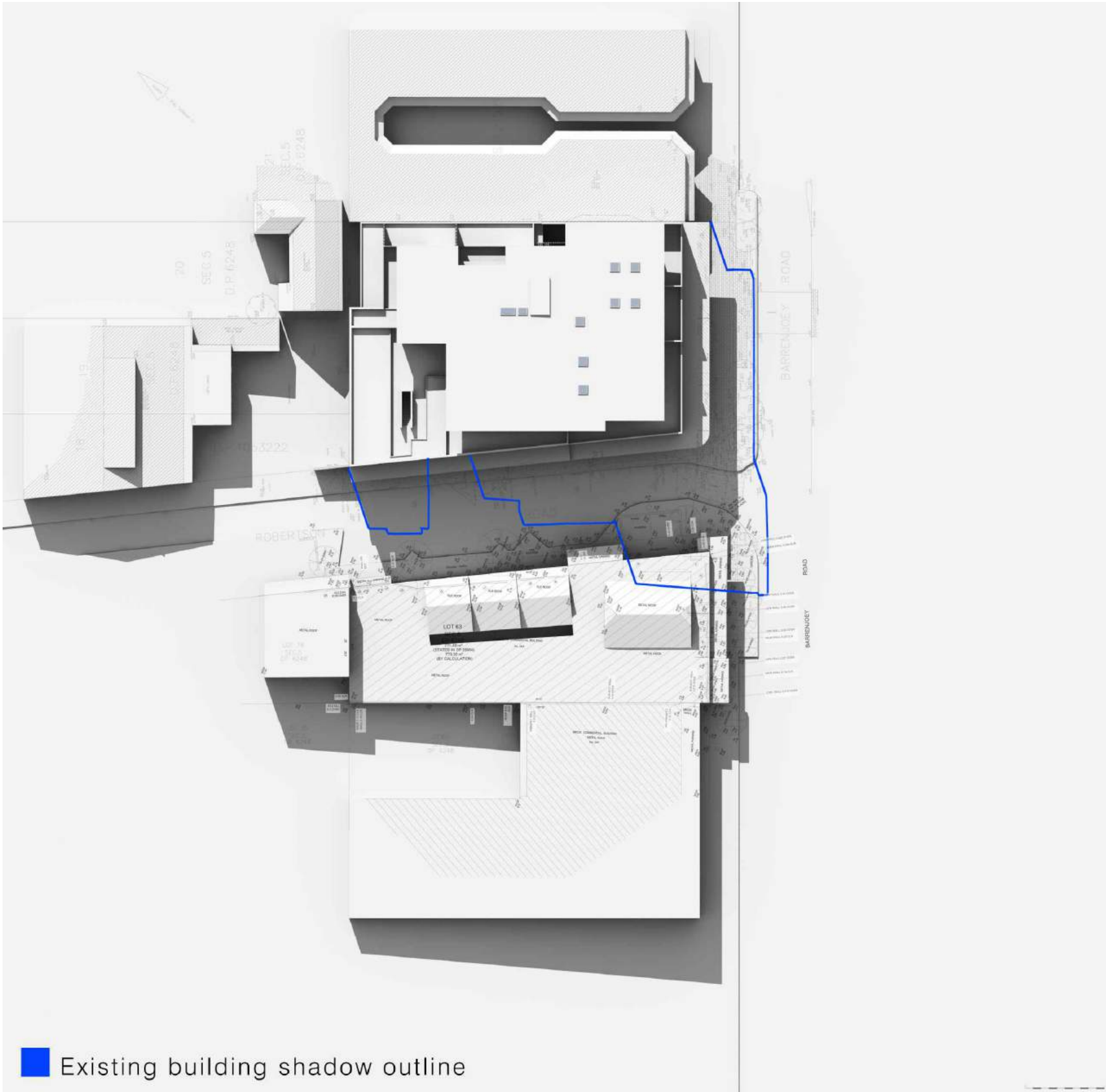
ISSUE
03





Existing building shadow outline

9:00am
21th JUNE



Existing building shadow outline

10:00am
21th JUNE



Existing building shadow outline

11:00am
21th JUNE

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03	20.06.19	REVISED ISSUED
02	20.05.04	REVISED DA ISSUE
01	19.10.15	DA ISSUE
ISSUE	DATE	AMENDMENTS

DEVELOPMENT LINK

MIXED USE DEVELOPMENT

351-353 BARRENJOEY ROAD, NEWPORT NSW 2106
LOT 65 & 66 SEC 5 DP 6248

SHADOW DIAGRAMS
SHEET 01

SCALE NTS
APPROVED
DRAWN
CHECKED PG
DATE JAN 2019
STATUS DA

PROJECT NUMBER
18057

DRAWING NUMBER
A400

ISSUE
03

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Existing building shadow outline

12:00pm
21th JUNE



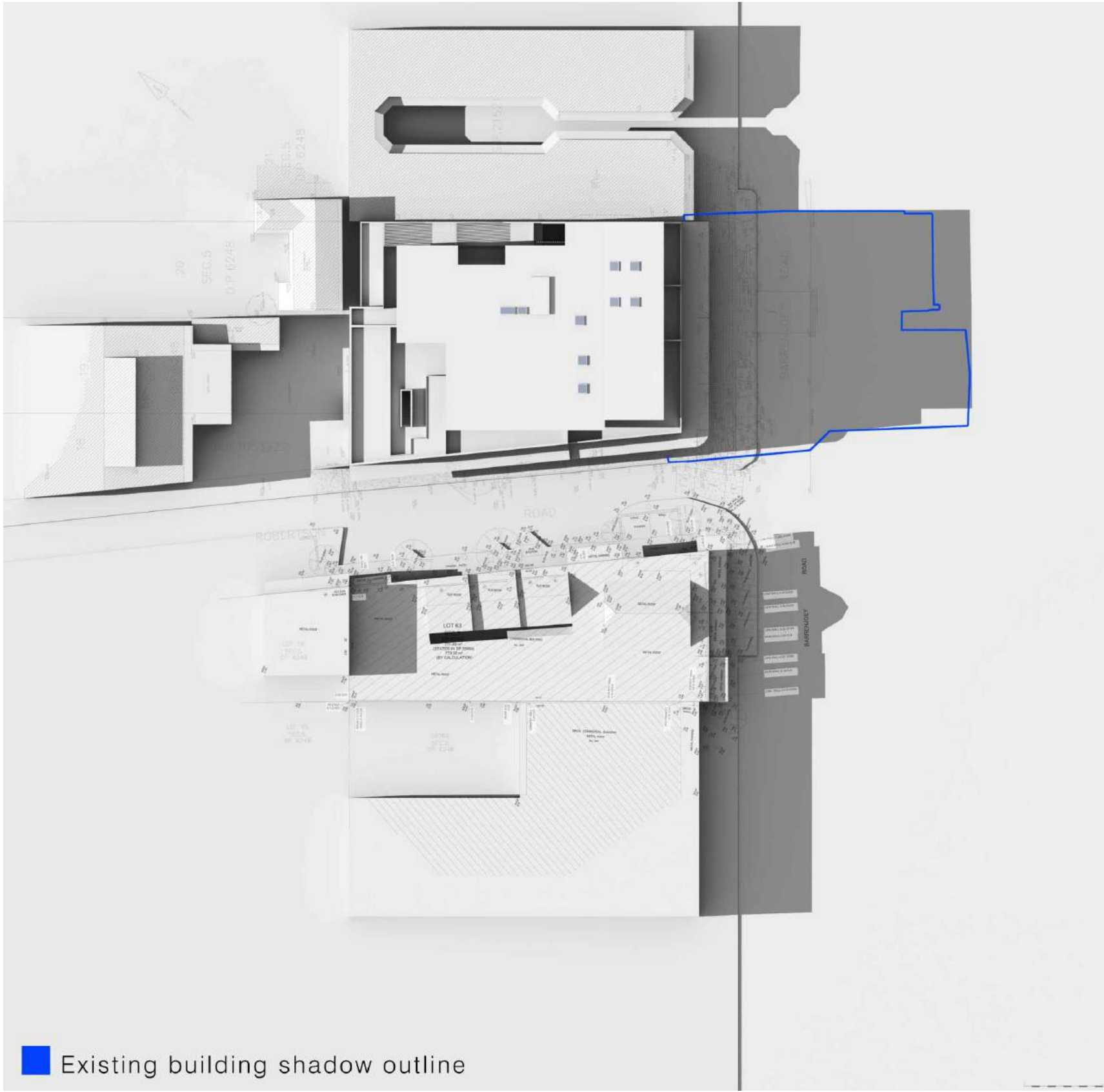
Existing building shadow outline

1:00pm
21th JUNE



Existing building shadow outline

2:00pm
21th JUNE



Existing building shadow outline

3:00pm
21th JUNE

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03	20.06.19	REVISED ISSUED
02	20.05.04	REVISED DA ISSUE
01	19.10.15	DA ISSUE
ISSUE	DATE	AMENDMENTS

DEVELOPMENT LINK

MIXED USE DEVELOPMENT

351-353 BARRENJOEY ROAD, NEWPORT NSW 2106

LOT 65 & 66 SEC 5 DP 6248

SHADOW DIAGRAMS
SHEET 02

SCALE NTS
APPROVED
DRAWN
CHECKED PG
DATE JAN 2019
STATUS DA

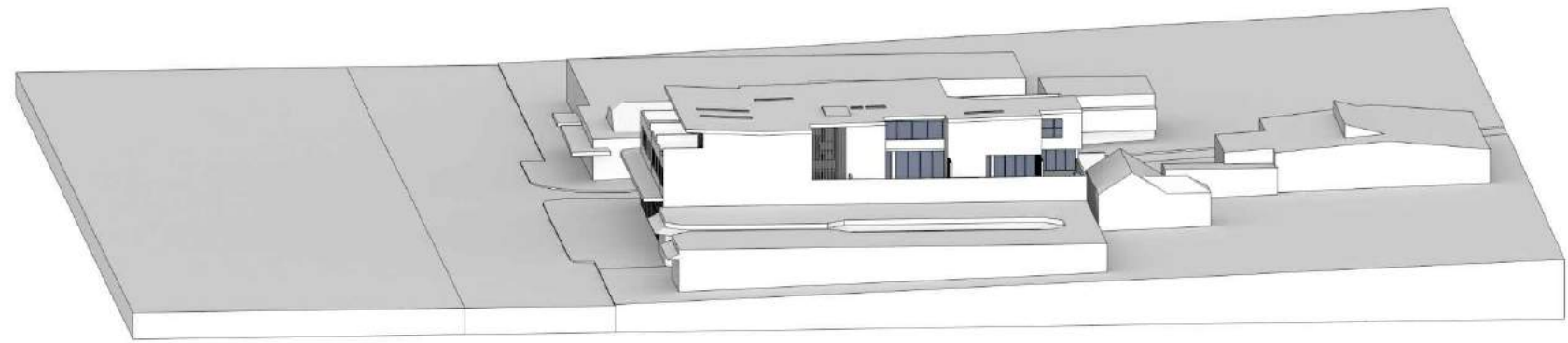
PROJECT NUMBER
18057

DRAWING NUMBER

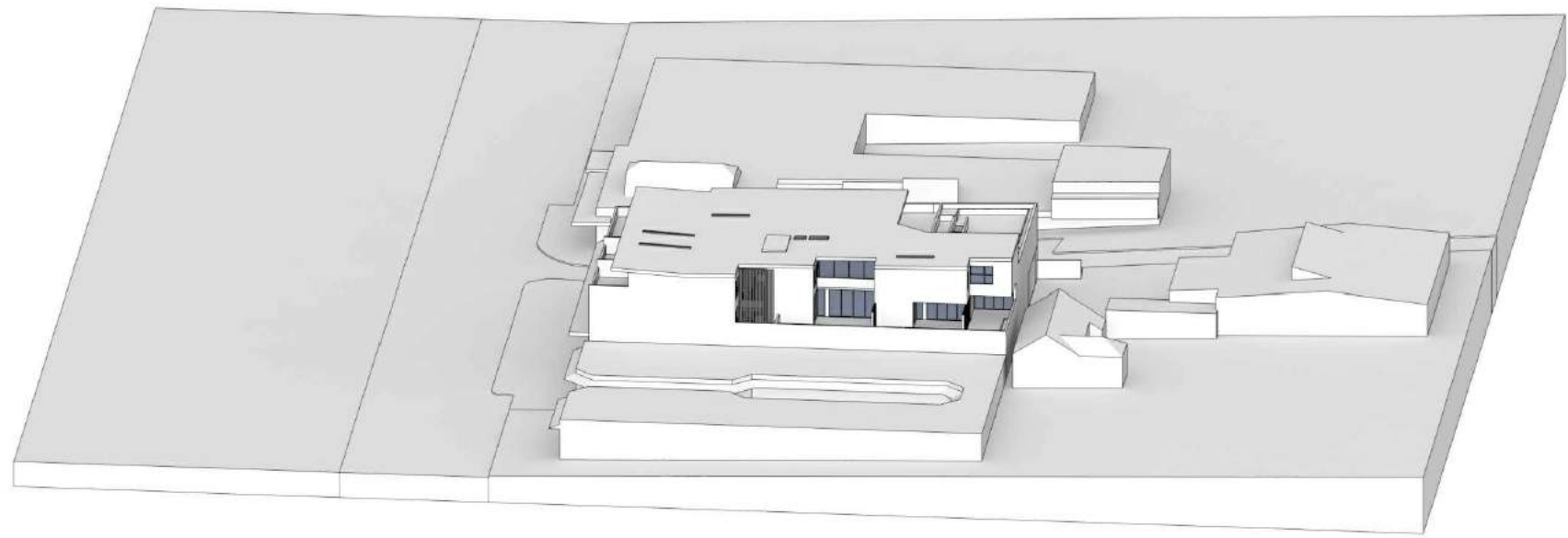
A401

ISSUE
03

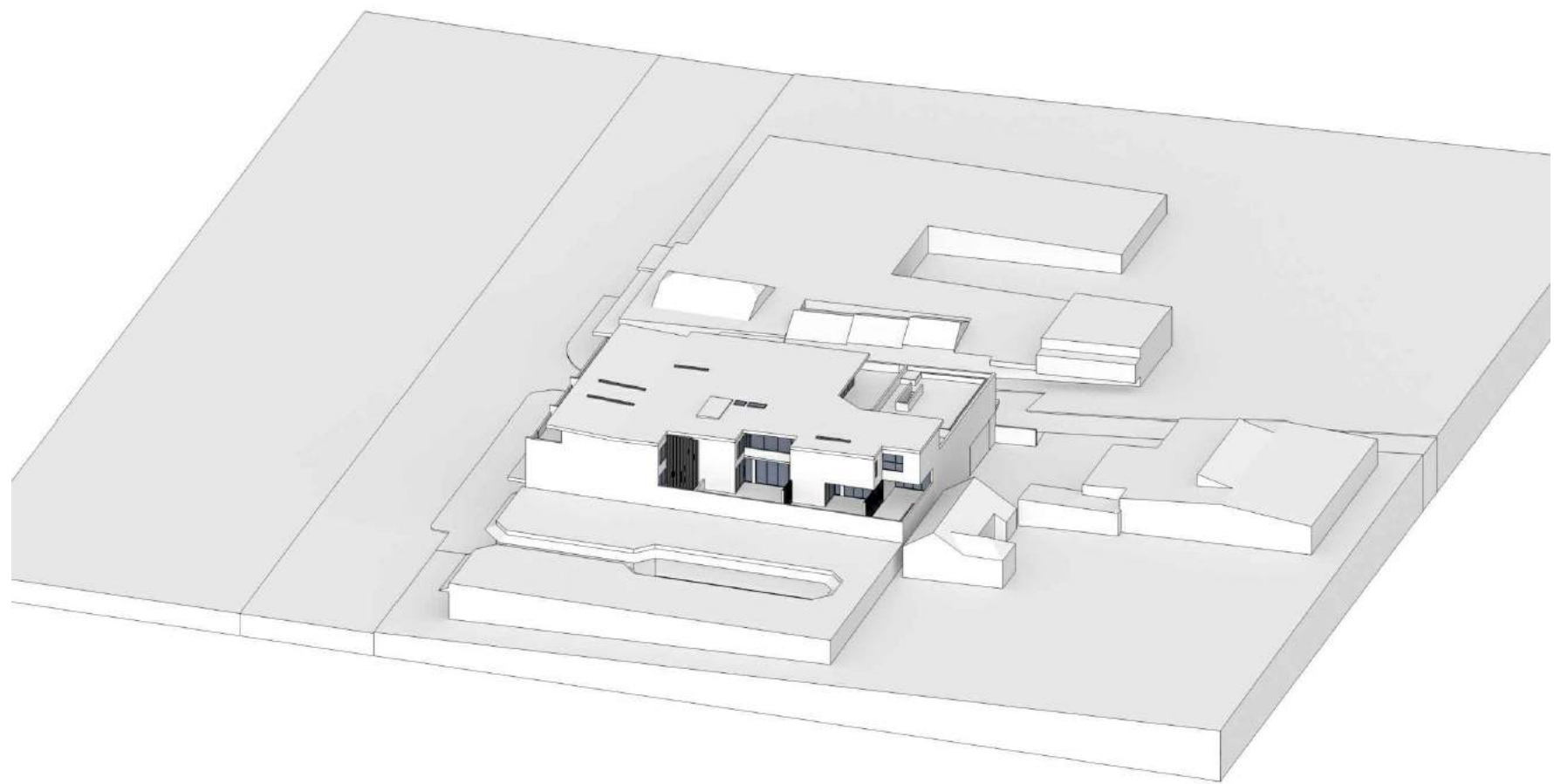
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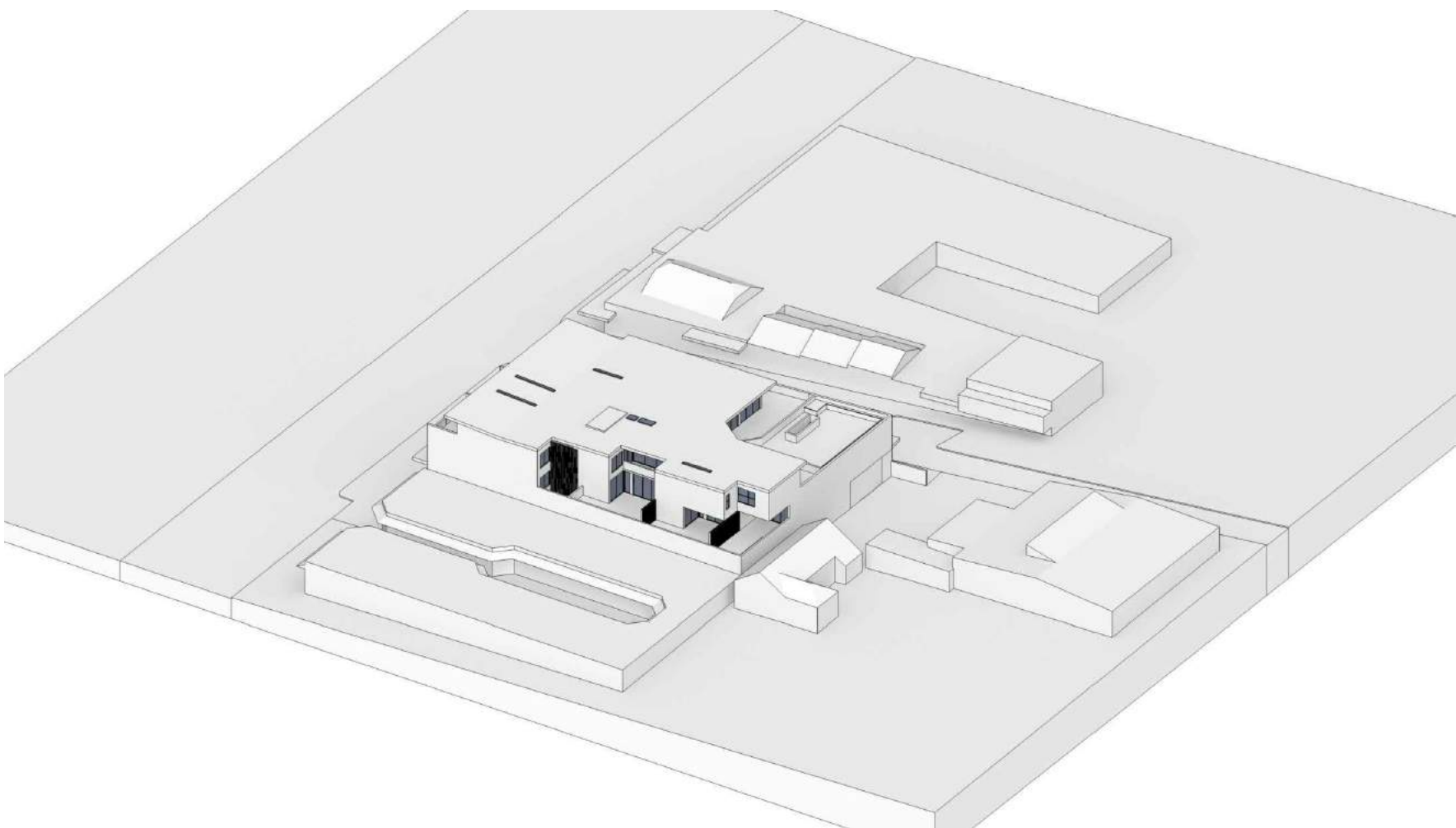
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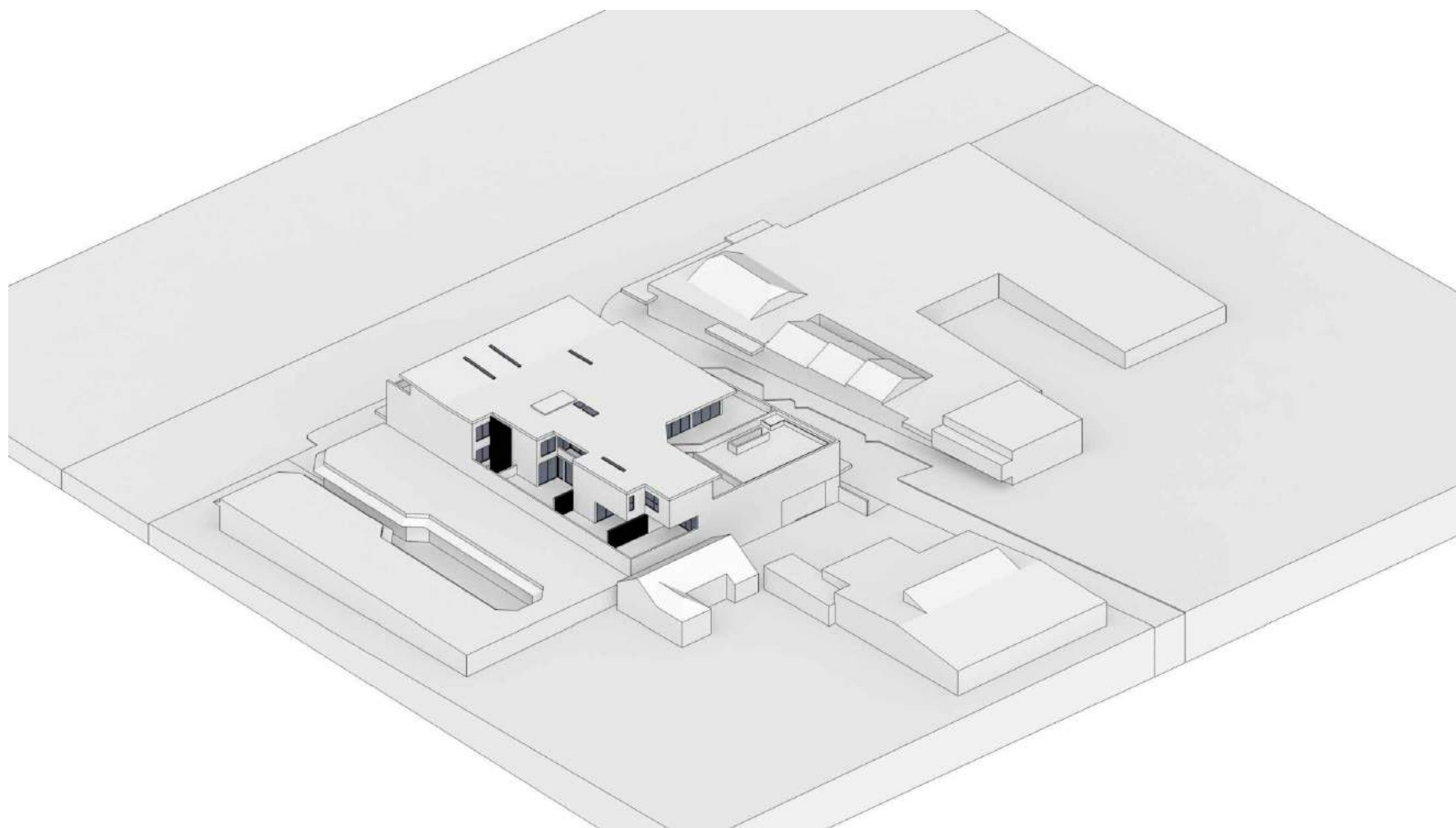
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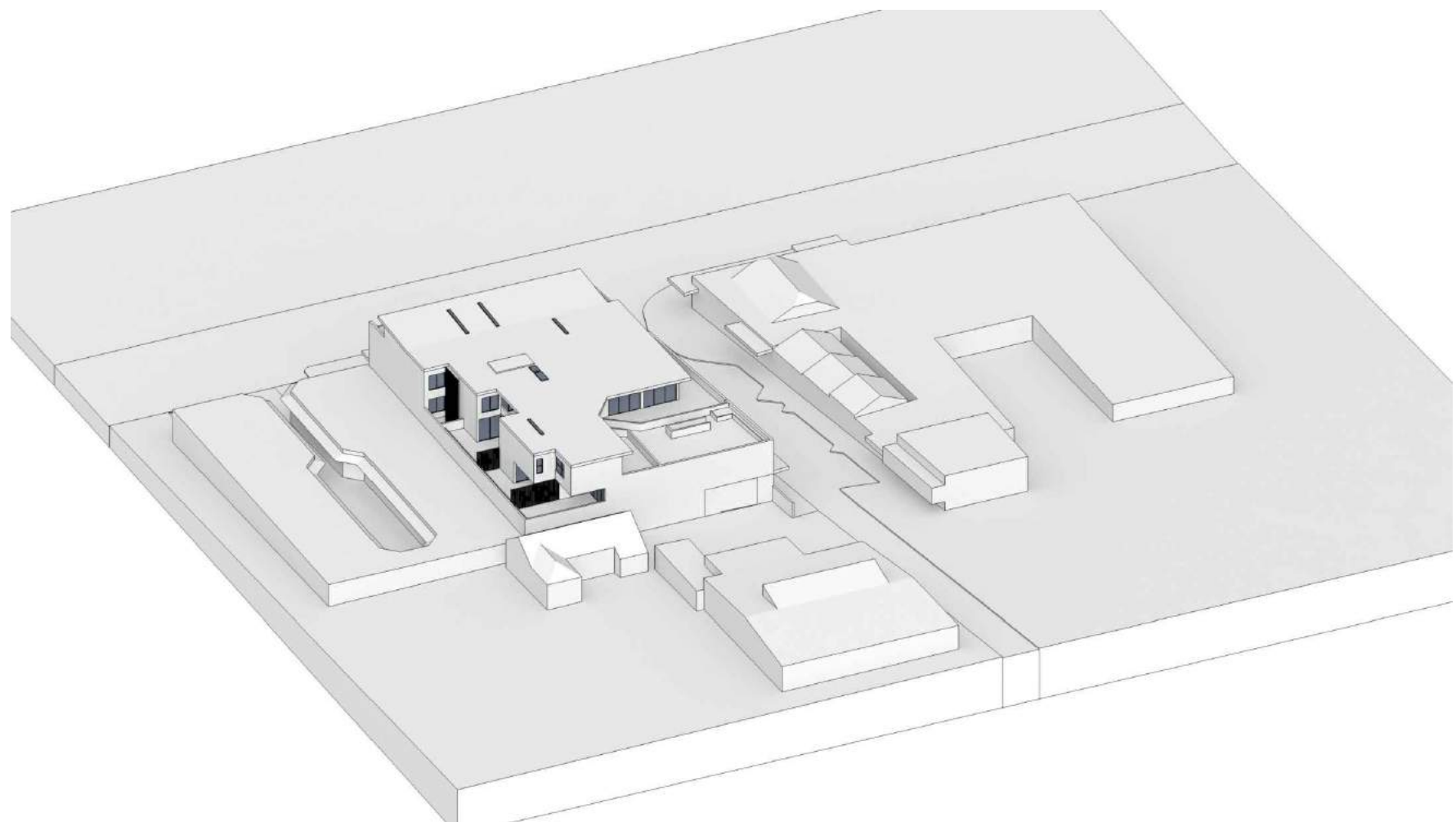
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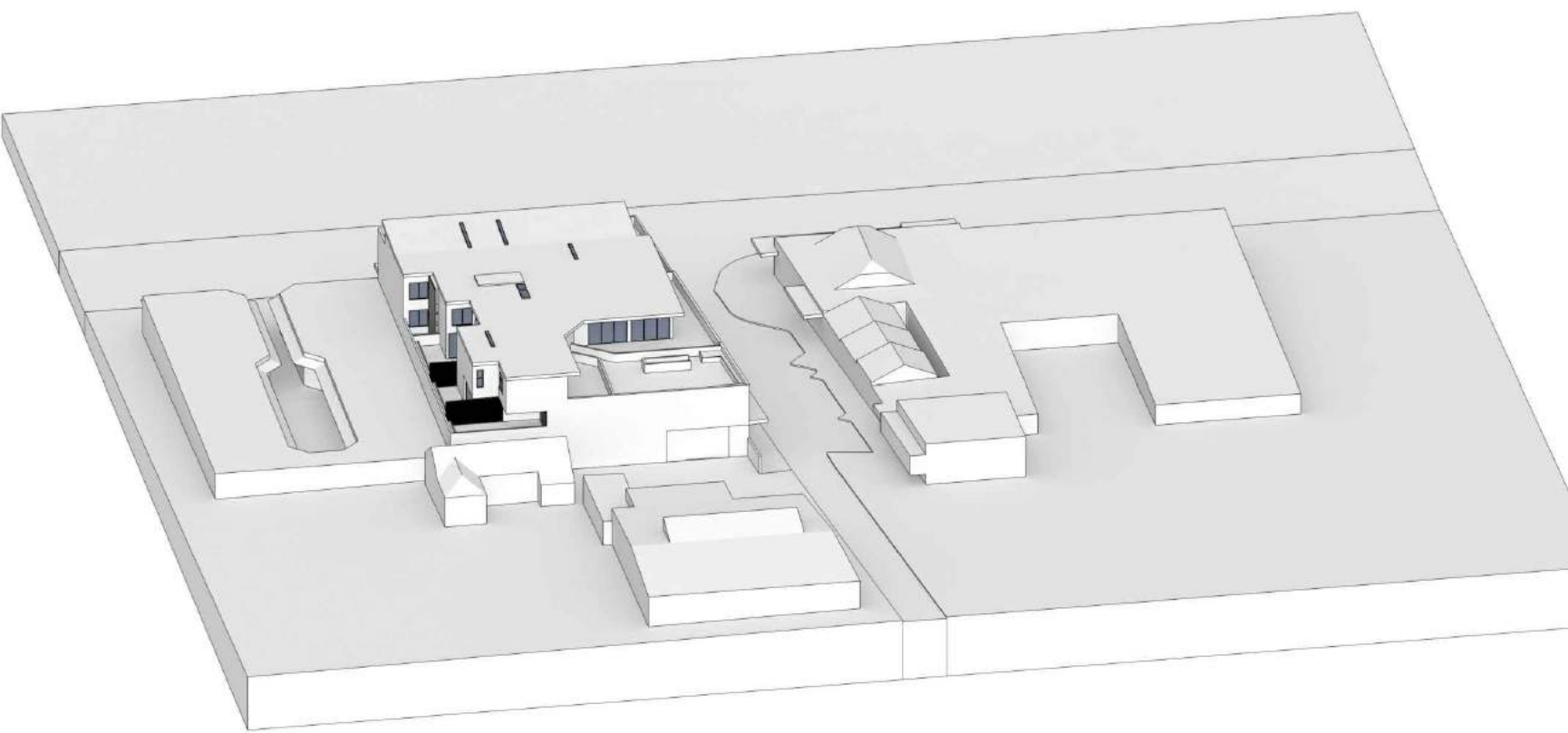
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12:00pm



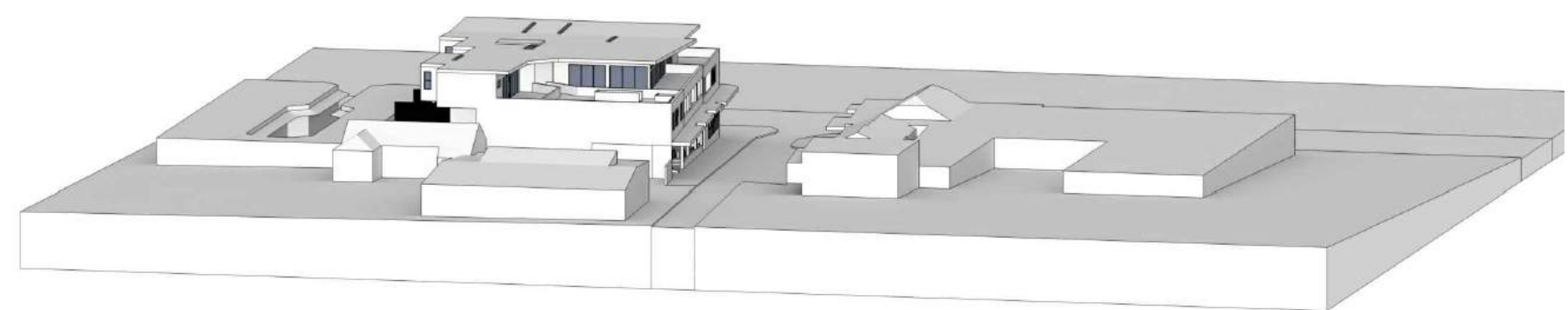
1:00pm



2:00pm



3:00pm



4:00pm

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02	20.06.19	REVISED ISSUED
01	19.10.15	DA ISSUE
ISSUE	DATE	AMENDMENTS

CLIENT
DEVELOPMENT LINK

PROJECT
MIXED USE DEVELOPMENT
351-353 BARRENJOEY ROAD, NEWPORT NSW 2106
LOT 65 & 66 SEC 5 DP 6248

TITLE
SOLAR STUDIES

SCALE
NTS
APPROVED
DRAWN
CHECKED
DATE
STATUS

PG
JAN 2019
DA

PROJECT NUMBER
18057

DRAWING NUMBER
A405

ISSUE
02



MIXED USE DEVELOPMENT

351-353 Barrenjoey Road, Newport NSW 2106

Development Application

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The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.

Drawing Schedule

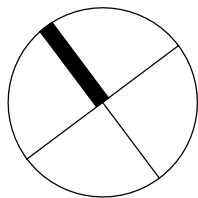
Drawing Number	Drawing Title	Scale
000	Landscape Coversheet	N/A
101	Landscape Plan - Ground Floor & Level 1	1:100
102	Landscape Plan - Level 2	1:100
501	Landscape Details	AS SHOWN

PLANT SCHEDULE

Botanic Name		Common Name	Mature Size	Pot Size	Density	Qty
GROUND FLOOR						
STREET TREES						
TL	Tristaniopsis 'Luscious'	Water Gum	9 x 7	75L	As Shown	3
SHRUBS & ACCENTS						
Ae	Aspidista elatior	Cast Iron Plant	.7 x .7	300mm	As Shown	6
PX	Philodendron 'Xanadu'	Xanadu Philodendron	1 x 1	300mm	As Shown	4
Ss	Spathiphyllum 'Sensation'	Peace Lily	1 x 1	300mm	As Shown	8
GRASSES & GROUND COVERS						
DSF	Dichondra Silver Falls	Silver Falls	.1 x .7	300mm	4/lm	36
LEVEL 1						
TREES						
TL	Tristaniopsis 'Luscious'	Water Gum	9 x 7	75L	As Shown	3
SHRUBS & ACCENTS						
AsM	Acmena smithii var. Minor	Dwarf Lilly Pilly	3 x 2	300mm	As Shown	41
Mc	Macrozamia communis	Cycad	2 x 2	300mm	As Shown	6
Wf	Westringia fruticosa 'Aussie Box'	Aussie Box	0.9 x 0.9	300mm	As shown	16
GRASSES & GROUND COVERS						
TJ	Trachelospermum jasminoides	Star Jasmine	0.4 x 1.5	150mm	4/lm	135
LEVEL 2						
TREES						
TL	Tristaniopsis 'Luscious'	Water Gum	9 x 7	75L	As Shown	4
SHRUBS & ACCENTS						
Aa	Agave attenuata	Agave	1 x 1	300mm	As Shown	5
AI	Alcantarea imperialis 'Rubra'	Imperial Bromeliad	1 x 1	300mm	As shown	11
AsM	Acmena smithii var. Minor	Dwarf Lilly Pilly	3 x 2	300mm	As Shown	53
Ri	Raphiolepis indica 'Oriental Pearl'	Indian Hawthorne	1 x 1	300mm	As shown	19
GRASSES & GROUND COVERS						
Cg	Carpobrotus glaucascens	Pig Face	0.2 x 1	150mm	4/lm	122
LEG	Lirope muscari 'Evergreen Giant'	Lirope	0.6 x 0.5	150mm	5/m2	7
LT	Lomandra 'Tanika'	Spiny-head mat-rush	0.5 x 1	150mm	5/m2	10

C	STREET TREES ADDED	JM	NM	24.09.2019
B	FOR COMMENT	SM	NM	29.08.2019
A	FOR COMMENT	SM	NM	29.08.2019
Issue	Revision Description	Drawn	Check	Date

LEGEND



Client:
DEVELOPMENT LINK

Project:
Mixed Use Development
351-353 Barrenjoey Road
Newport NSW 2106

S I T E I M A G E

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Redfern NSW 2016
Australia

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DEVELOPMENT APPLICATION

Drawing Name:
Landscape Coversheet

Scale:
Job Number:
Drawing Number:
Issue:

SS19-4170

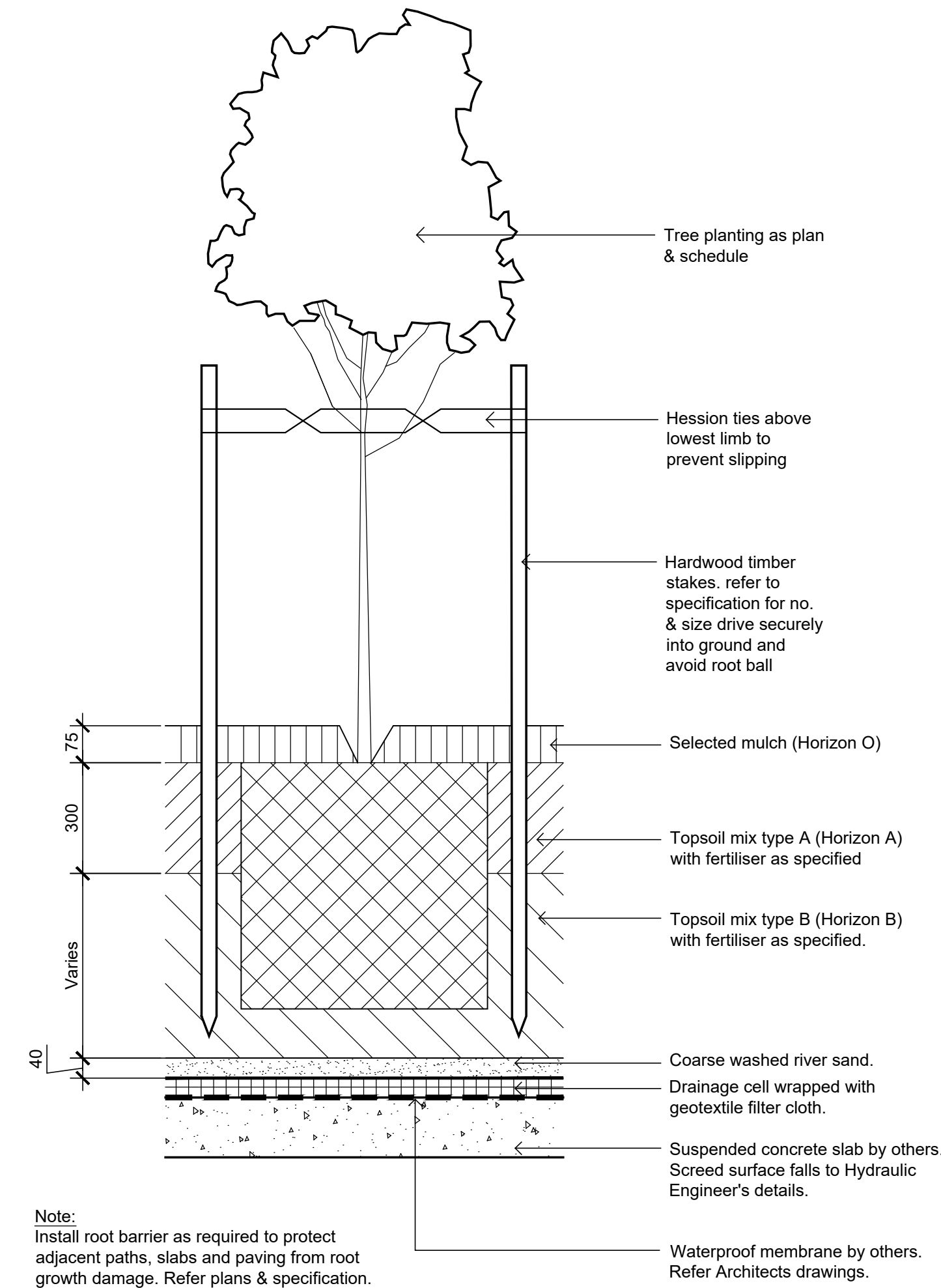
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NOT FOR CONSTRUCTION

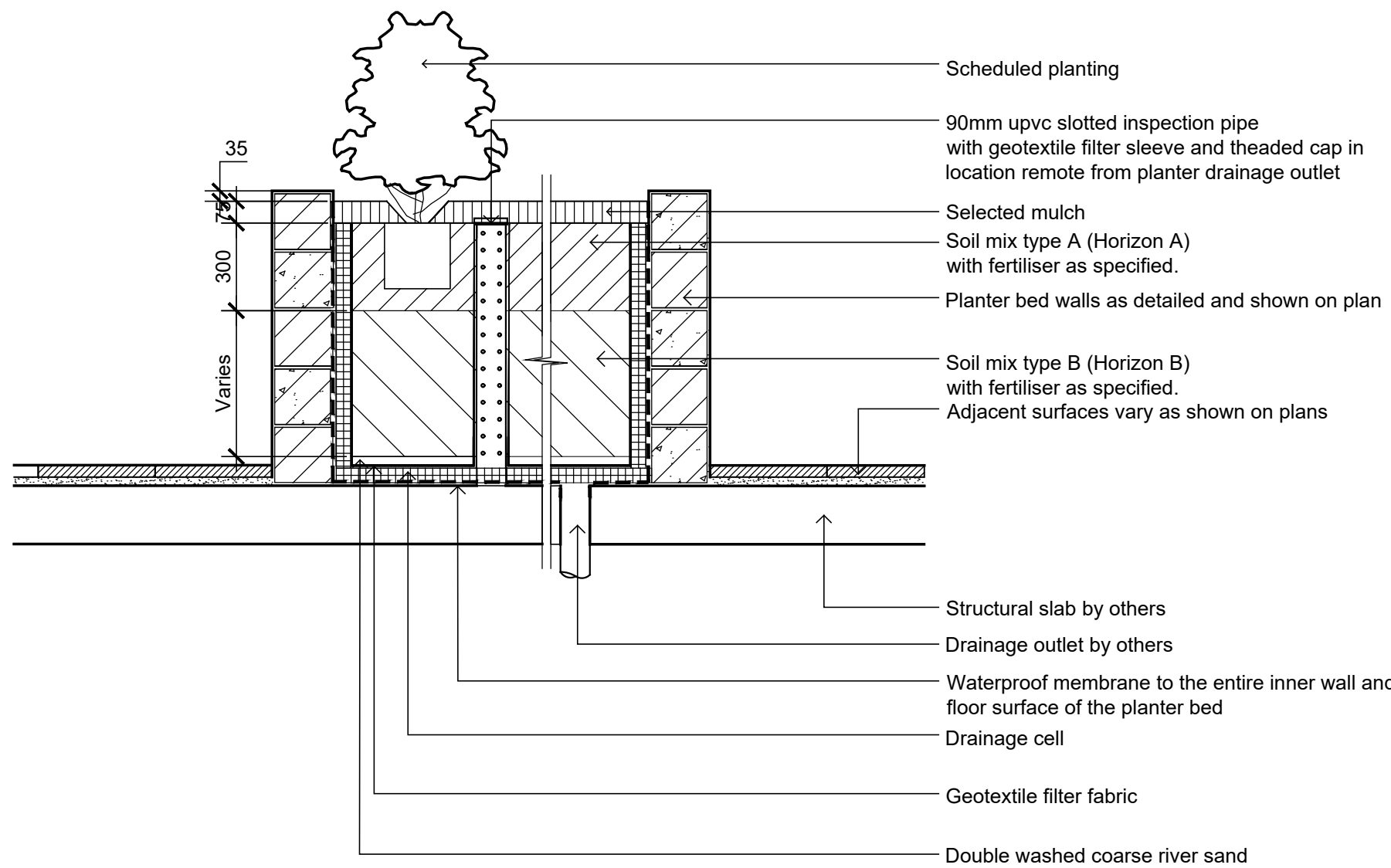
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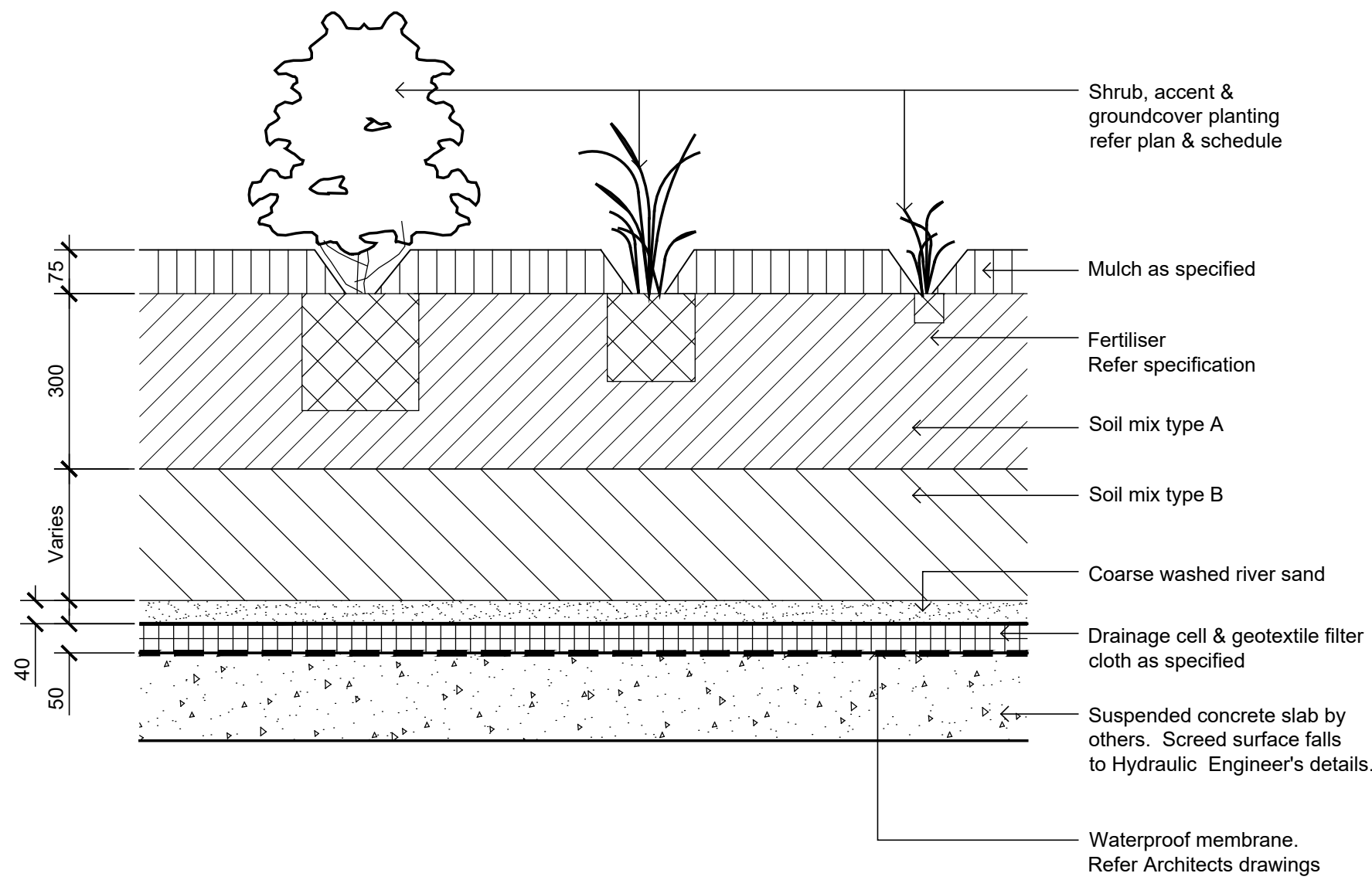
LEGEND



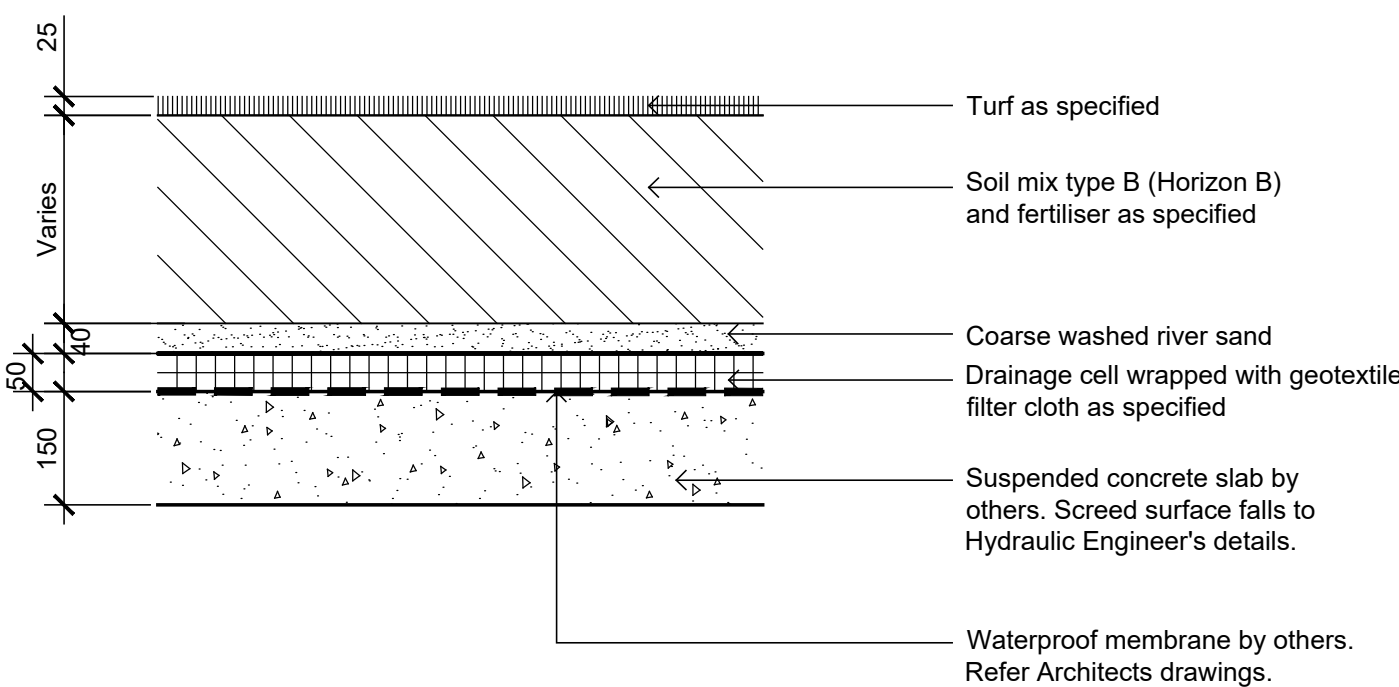
Detail 75-200L Tree Planting on Structure
1:10



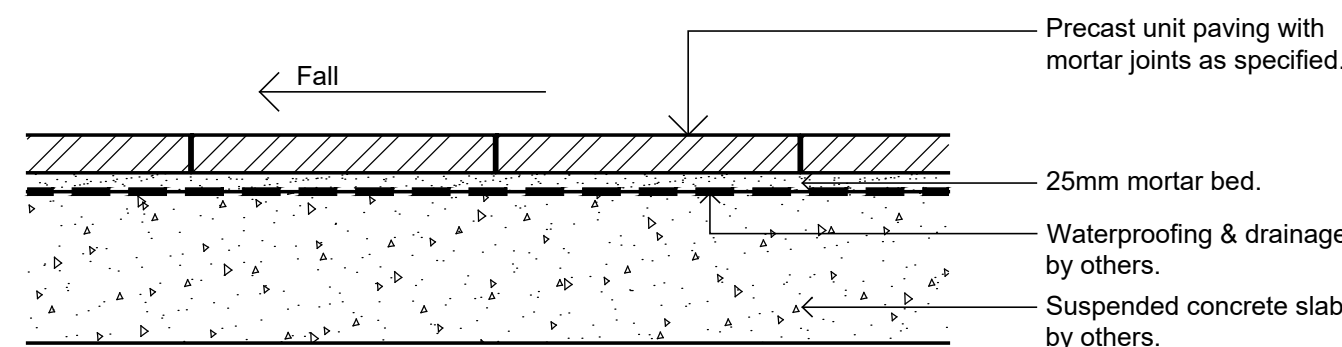
Section - Typical Raised Planter Bed on Structure
1:20
Inspection riser pipe



Detail Shrub Accent & Groundcover Planting on Structure
1:10



Detail Turf on Suspended Structure
1:10



Precast Unit Pavers on Suspended Slab
SCALE 1:10

Client:
DEVELOPMENT LINK

Project:
Mixed Use Development
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Newport NSW 2106

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SITE IMAGE



DEVELOPMENT APPLICATION

Drawing Name:
Landscape Details

Scale: AS SHOWN
Job Number: Drawing Number: Issue:

SS19-4170

501 C