

FITZGERALD BUILDING CERTIFIERS PTY. LTD.

199 Pennant Hills Road
Thornleigh NSW 2120
ph: 9980 2155
fax: 9980 2166
admin@fitzgeralds.com.au
ABN: 63 119 997 590

CONSTRUCTION CERTIFICATE

PCA ENGAGEMENT - page 2

NOTICE OF COMMENCEMENT- page 2

Construction Certificate Number CC 2007/476 **Approval Date:** 17.07.07

Issued in accordance with the provisions of the Environmental & Assessment Act 1979 under Sections 109C(1)(b) and 109F

Date Application Received: 11.07.07

Council: PITTWATER COUNCIL

DEVELOPMENT CONSENT NO: NO724/06

APPROVAL DATE: 18.04.07

Name of Certifying Authority:

Fitzgerald Building Certifiers Pty. Limited

Name of Accredited Certifier:

Paul Fitzgerald - No. BPB0119

Accreditation Body:

DIPNR, 20 Lee Street, Sydney 2000.

Applicant: Emma and Daniel Moran
Address: 183 Barrenjoey Road, Newport
Contact Number: 9940 0990

Owner: As Applicant
Address: As Applicant

Subject Land: Lot DP (No. 183) Barrenjoey Road, Newport
Description of Development – covered timber deck
Building Code of Australia Classification: 10a **Value of Work:** \$20,000

Builder Details

Name: **Owner Builder Permit Number:** 322150P
Licence Number: **Issued:** 04.07.2007
Address:
Contact Number:

Approved Plans: Plans prepared by JJ Drafting, Drawing Nos. DA1A, DA2A, DA3A, DA4A, DA5A & DA6A, dated Nov 2006.
Engineers details prepared by Leigh Bachmann, Drawing No. Rev. B sheets 1, 2 & 3, dated 06.06.07.

\$30.00.
R.219129.

CERTIFICATION:

I, Paul Fitzgerald, as the certifying authority am satisfied that;

- (a) The requirements of the regulations referred to in s81A (5) have been complied with. That is, work completed in accordance with the documentation accompanying the application for this certificate (with such modifications verified by the certifying authority as may be shown on that documentation) will comply with the requirements of the Regulation as referred to in section 81A (5) of the Act, and
- (b) Long Service Levy has been paid where required under s34 of the Building and Construction Industry Long Service Payments Act 1986.

Signed:

DATED: 17.07.07

PRINCIPLE CERTIFYING AUTHORITY:

Name of Certifying Authority	Fitzgerald Building Certifiers Pty. Limited
Name of Accredited Certifier	Paul Fitzgerald
Accreditation Number	BPB0119
Contact Number	9980 2155
Address	199 Pennant Hills Rd, Thornleigh 2120

MANDATORY CRITICAL STAGE INSPECTIONS: Class 1 & 10 Buildings

- 1) Commencement of Building Work
- 2) Piers prior to pour
- 3) Footings prior to pouring of reinforced concrete
- 4) Timber frame prior to lining
- 5) Waterproofing of wet areas
- 6) Stormwater pipes prior to backfilling
- 7) Final Inspection - issue of Occupation Certificate
- 8) PCA to state any additional inspections: _____

SIGNED:

DATED: 17.07.07

NOTICE OF COMMENCEMENT: Earliest Date Building Work Can Commence: 19.07.07

SIGNED:

DATED: 17.07.07

Right of appeal - under S109K where the Certifying Authority is a Council an applicant may appeal to the Land & Environment Court against the refusal to issue a Construction Certificate within 12 months of the date of issue.



EMMA KATHERINE LLEWELLYN MORAN
183 BARRENJOEY ROAD
NEWPORT 2106

HOME BUILDING ACT 1989

OWNER BUILDER PERMIT

Permit :322150P
Receipt:AA2406198

Issued:04/07/2007
Amount:\$135.00

Building Site:

183 BARRENJOEY ROAD, NEWPORT 2106

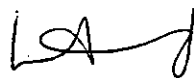
Authorised Building Work:

DA NO.: 724/06
ISSUED BY PITTWATER COUNCIL

Should the property be sold within 6 years of completion of the work it will be necessary to obtain Home Warranty Insurance from approved insurers if the value of the work was greater than \$12,000. A certificate of insurance must be attached to any contract for sale.

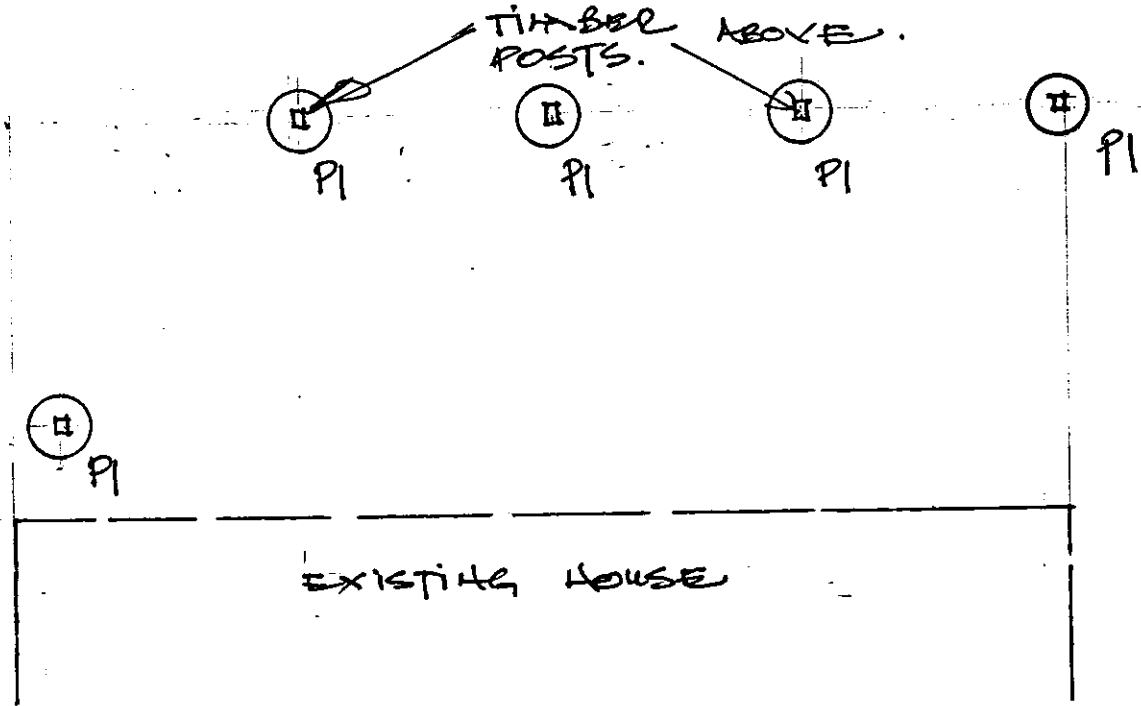
You should obtain professional advice from general insurers regarding public liability and property damage cover, etc.

Note: This permit is only valid when an official receipt has been imprinted. If payment is made by cheque, the permit is conditional on the cheque being met at presentation.



Issuing Officer

***** END OF PERMIT *****



FOOTING PLAN

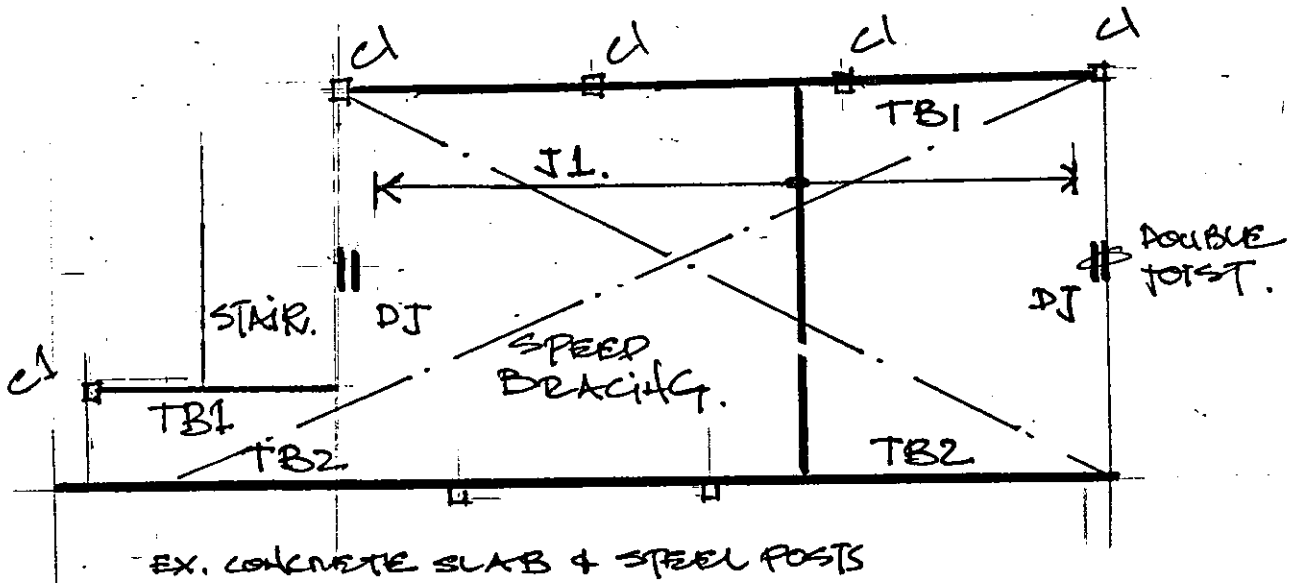
PI - PIER FOOTING ϕ 400 FOUNDED ON ROCK OR EXTEND 750mm DEEP OF FIRM NATURAL MATERIAL. PROVIDE CAST-IN GAL STIRRUP TO SUPPORT TIMBER COLUMNS.

This is the plan/spec. referred to in
Fitzgerald Certifiers Certificate
Cert. No: 2007/476
17.7.07
Paul Fitzgerald Accreditation No BPB 0119

183 BARREN JOEY ROAD NEWPORT

TIMBER DECK. SHEET 1 of 3

REV B
L.C. Bach 06/06/07.



DECK FRAMING PLAN

MEMBER SCHEDULE.

- CL - 125mm SQUARE TIMBER COLUMNS - CONTINUOUS TO ROOF
- TBI - 250 x 75 BEARER - NOTCH POST & BOLT
- TB2 - 250 x 50 LEDGER PLATE - FIX TO CONG. SLAB EDGE MAX at 900 c/s PLUS ANGLE BRACKETS WELDED TO EX. POSTS.
- JL. - 250 x 50 JOISTS AT 450 c/s. - 2 LIPS BLOCKING
- DJ - DOUBLE JOIST. TO SUPPORT HANDRAILS. JOIST HANGER CONNECTION.

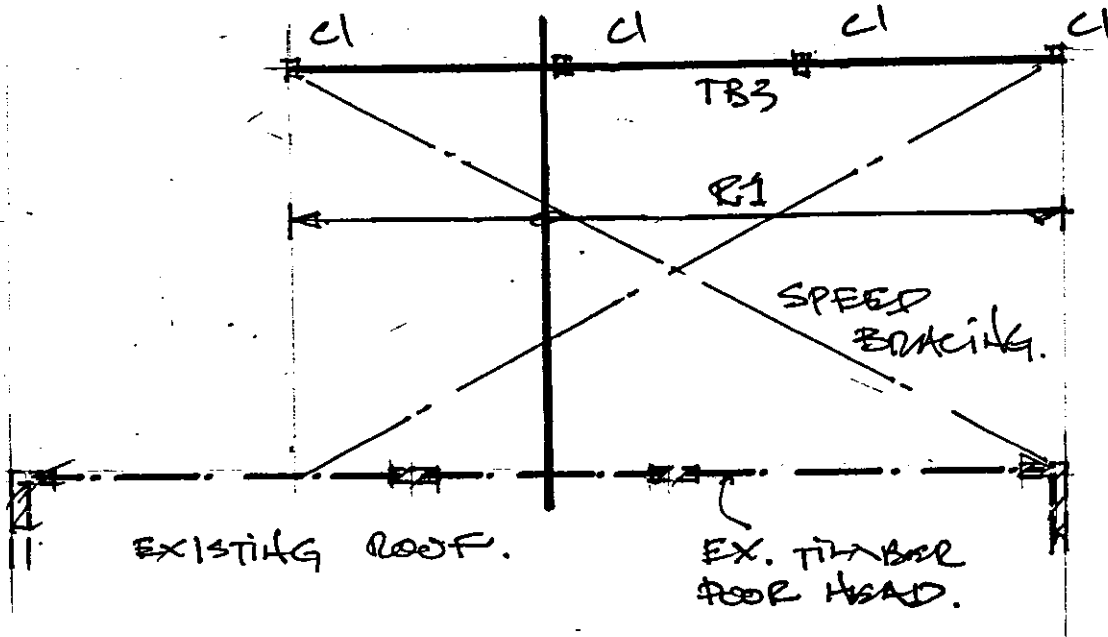
TIMBER TO BE PRIMED/TREATED PINE
 DURABILITY CLASS H2 - SUITABLE FOR EXTERNAL USE
 MINIMUM STRESS GRADE ~~FB~~ OR EQUIVALENT.

This plan forms part of the approved
 Certificate as issued by
 Fitzgerald Building Certifiers Pty Limited

183 BARREN JOEY ROAD NEWPORT

TIMBER DECK. SHEET 2 of 3

REV. B.
 L.C. Bach dd/dd/07



ROOF FRAMING PLAN

MEMBER SCHEDULE.

T83 - 200 x 75 VERANDA BEAM.

R1 - 150 x 50 RAFTERS AT 600 CTS

REFER SHEET 2 FOR TIMBER SPEC.

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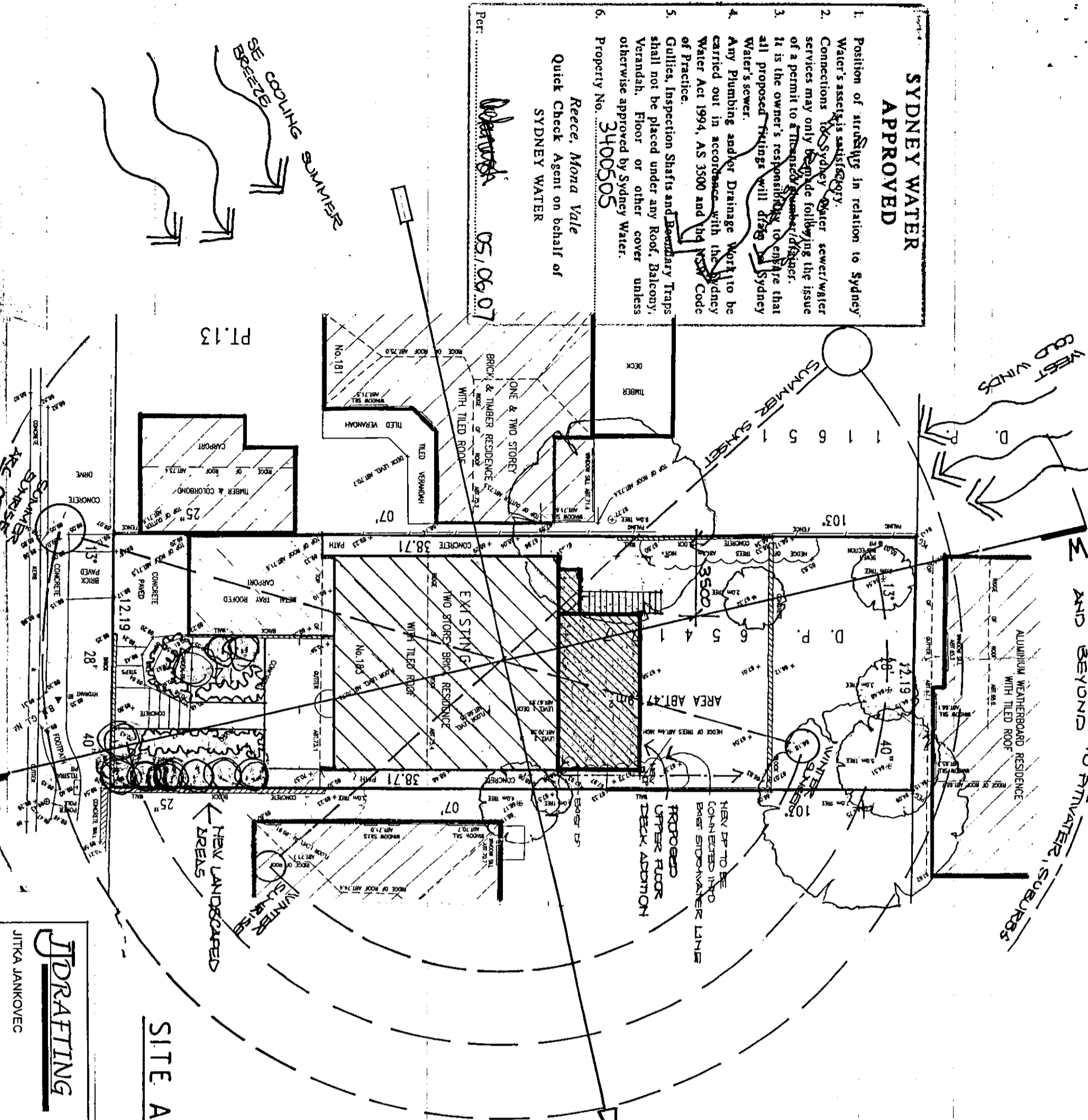
183 BARREN JOEY ROAD NEWPORT
TIMBER DECK. SHEET 3 of 3

LEX B.
26/06/07
L. Bach

SYDNEY WATER APPROVED

1. Position of structures in relation to Sydney Water's assets is satisfactory.
2. Connections to Sydney Water sewer/water services may only be made following the issue of a permit to a licensed plumber/drafter. It is the owner's responsibility to ensure that all proposed fittings will draw from Sydney Water's sewer.
3. Any Plumbing and/or Drainage Work to be carried out in accordance with the Sydney Water Act 1994, AS 3500 and the NSW Code of Practice.
4. Gullies, Inspection Shafts and Boundary Traps shall not be placed under any Roof, Balcony, Verandah, Floor or other cover unless otherwise approved by Sydney Water.
5. Property No. **3400505**
6. **Reece, Mona Vale**
Quick Check Agent on behalf of
SYDNEY WATER

Per: *Robert* 05/06/07



- NOTES**
- All structure including stormwater & drainage to engineers details
 - Do not obtain dimensions by scaling drawings
 - All dimensions are to be checked on site prior to starting work.
 - These drawings are to be read in conjunction with all other consultants drawings & specifications
 - All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the relevant SAA Codes of Practice, the Building Code of Australia & local Council requirements
 - New materials are to be used throughout unless otherwise noted
 - For concrete footings & any structural beams or any other structural members are to be designed & endorsed by a practising engineer.

CALCULATIONS

SITE AREA 471.9sqm
 EXISTING LOWER GROUND FLOOR AREA 84.78sqm
 EXISTING GROUND FLOOR PLAN 111.24sqm
 NEW UPPER FLOOR DECK ADDITION

PROPOSED DECK AREA 31.69m²
 REINSTATED LANDSCAPED AREA 30.12m²
 BUILT UPON AREA (Requirement not more than 40%)
 EXISTING BUILT UPON AREA 240.454sqm
 (THERE WILL BE NO CHANGE)
 THERE WILL BE NO CHANGE TO THE EXISTING LANDSCAPED OPEN SPACE 208.449sqm

This is the plan/spec. referred to in
 Fitzgerald Certifiers Certificate
 Cert. No: 2007/476
 Paul Fitzgerald Accreditation No. B/PB 0119

AMENDMENTS:
 1. 3.0% FIT PLANS
 2. NEW LANDSCAPED AREA PROVIDED.
 APPROVED DEVELOPMENT WITH AMENDMENTS

SITE ANALYSIS PLAN 1:200 MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF CONVEYANCE

JDRRAFTING

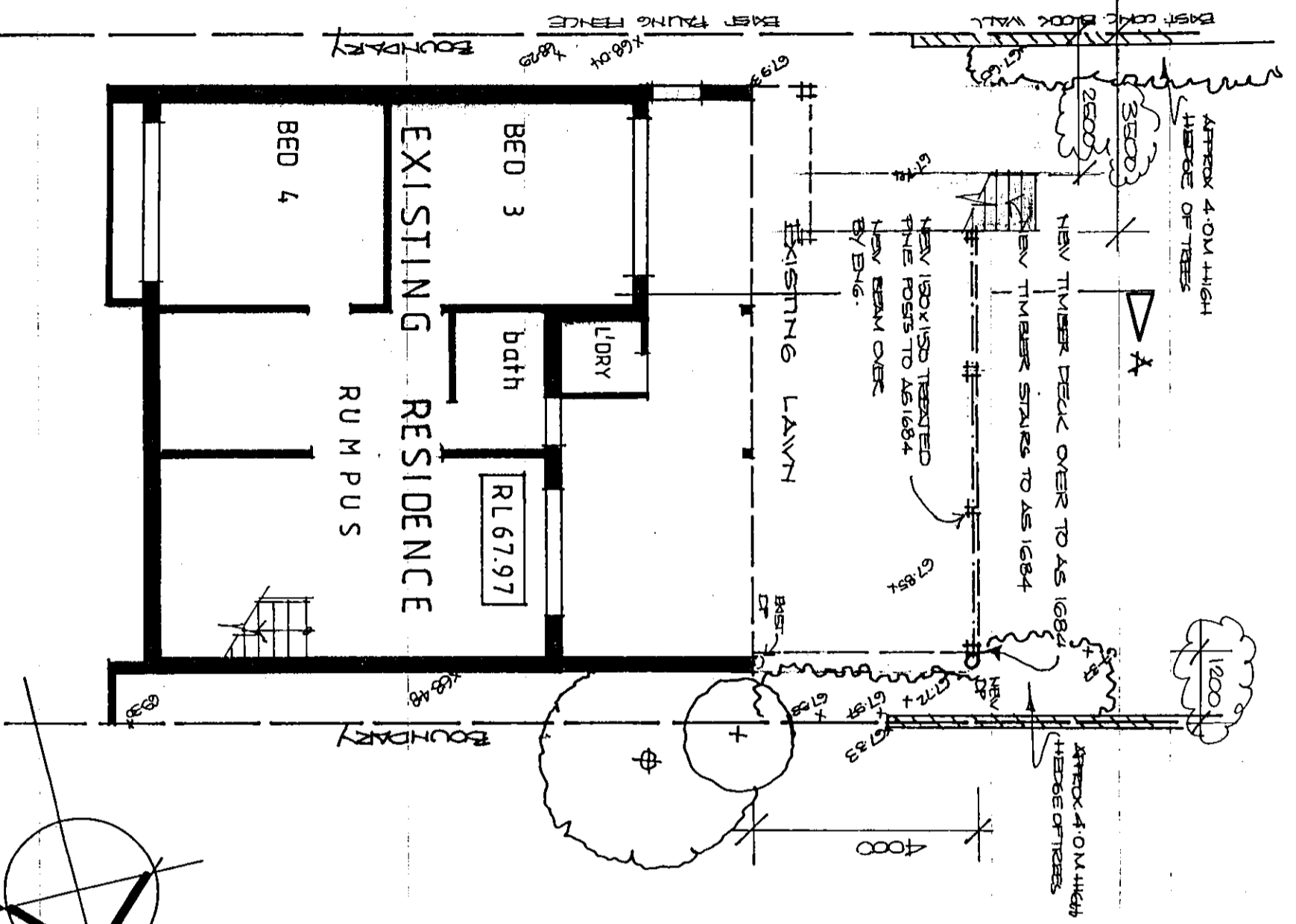
JITKA JANKOVIC
 7/85 Pacific Parade Dee Why 2099
 Tel: 9971 4353 Mob: 0414717541
 Fax: 99716611 ABN 37 427 224 361
 Email: jidraft@ipg.com.au

Client: MR and MRS. D. MORAWEL	Scale: 1:200	Date: Nov. 2006
Project: PROPOSED NEW COVERED TIMBER DECK TO AN EXISTING RESIDENCE AT 183 BARENJOEY ROAD, NEWPORT	Job No. 239	Drawing No. DA 1A
Title: SITE ANALYSIS		

BARENJOEY ROAD
 OCEAN VIEWS
 NOISE

WEST COOL WINDS
 EAST WINDS
 ARC OF VIEWS TO PLYMOUTH SUBURBS
 ALUMINIUM WEATHERBOARD RESIDENCE WITH TILED ROOF

EXISTING LOWER GROUND FLOOR PLAN 1:100



AMENDMENT:
 15-3-07 'A'
 DECK REDUCED NEW
 SIDE GETBACK DIMENSIONS.

NOTES

- TIMBER DECK**
 - Well seasoned hardwood decking with rounded edge and 3mm gaps.
- BALUSTRADE**
 - 1000mm high balustrade as indicated on drawings
- ROOFING**
 - Colorbond Kliplok roof 1deg roof pitch (slate grey)
- INSULATION**
 - Provide (R2.5) insulation to underside of roof sheeting
- STORMWATER**
 - New downpipes are to be connected into exist. stormwater line
- GUTTERS AND DOWNPIPES**
 - Gutters and downpipes to match new roof sheeting
 - Minimum slope of eaves and gutters 1:200
- FLASHING AND CAPPINGS**
 - Selection and installation of metal rainwater goods refer to AS 2180
 - Flash projections above the roof with two part flashings consisting of an apron flashing & over flashing, with at least 100mm overlap.
 - Provide for independent movement between roof and projection.
- TERMITE CONTROL**
 - To AS 3660.1
- TIMBER FRAMING**
 - Use treated timber where required for durability
 - Do not use timber unsuitable for exposure to moisture in exposed location
 - All workmanship & materials shall be in accordance with AS 1684 and 1720 as applicable
 - Provide structure bracing in accordance with AS 1684
 - Provide structure tie down in accordance with AS 1684 use galvanised fixings where exposed to weather.
- CONCRETE**
 - All workmanship & materials shall be in accordance with current editions of the AS 3600
- WASTE MANAGEMENT**
 - All waste shall be taken away to a suitable landfill or recycle depot.
 - All waste shall be covered during transportation.

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NOTES

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- New materials are to be used unless otherwise noted
- For concrete footing & any structural beams or any other structural members are to be designed & endorsed by a practising engineer.

JDRRAFTING

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 7/85 Pacific Parade Dee Why 2099
 Tel: 9971 4353 Mob: 0414717541
 Fax: 99716611 ABN 37 427 224 361
 Email: jidraft@jdg.com.au

Client: MR and MRS. D.M. BARNES

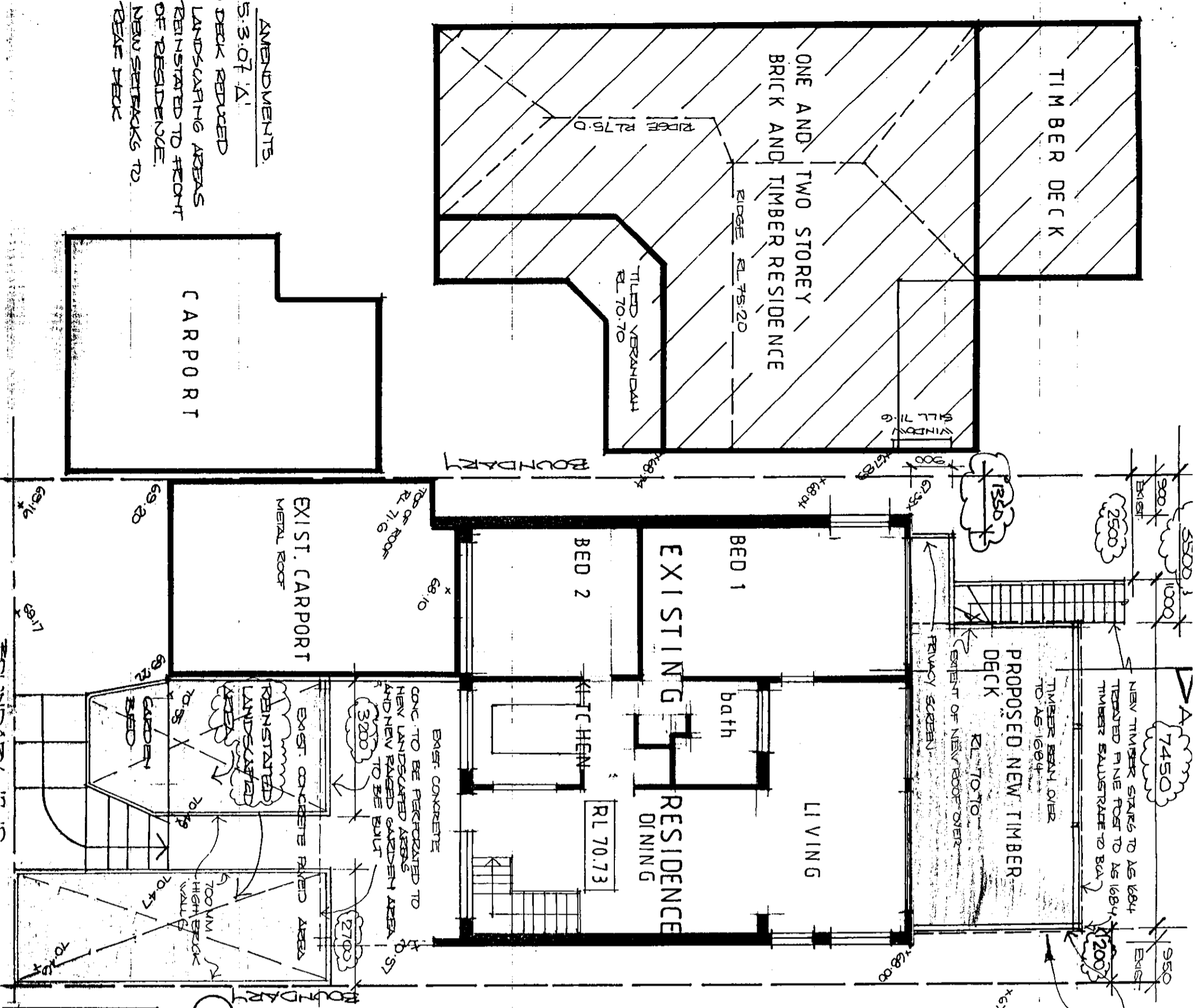
Scale: 1:100

Date: Nov. 2006

Project: PROPOSED NEW COVERED TIMBER DECK TO AN EXISTING RESIDENCE AT 183 BARENJOEY ROAD, NEWPORT
 Title: LOWER GROUND FLOOR PLAN

Job No. 239
 Drawing No. DA 2A

CONJUNCTION WITH DEVELOPMENT



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Fax: 99716611 ABN 37 427 224 361
Email: jidrafi@tpg.com.au

Project: PROPOSED NEW COVERED TIMBER DECK TO AN EXISTING RESIDENCE AT 183 BARENJOEY ROAD, NEWPORT
Client: MR and MRS D. MORAN
Title: GROUND FLOOR PLAN

Scale: 1:100
Date: Nov. 200

Job No. 239
Drawing No. DA 3A

GROUND FLOOR PLAN

NOTE: THESE CONDITIONS MUST BE REVISION CONJUNCTION WITH THE CONDITIONS OF

AMENDMENTS.

15.3.07 'A'

DECK REDUCED

LANDSCAPING AREAS REINSTATE TO FRONT OF RESIDENCE.

NEW SETBACKS TO REAR DECK

NOTES

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EXIST. RIDGE LEVEL ∇ RL 75.40

NEW RAISED GARDEN AREA 700MM HIGH

EXIST. FCL ∇ RL 73.18

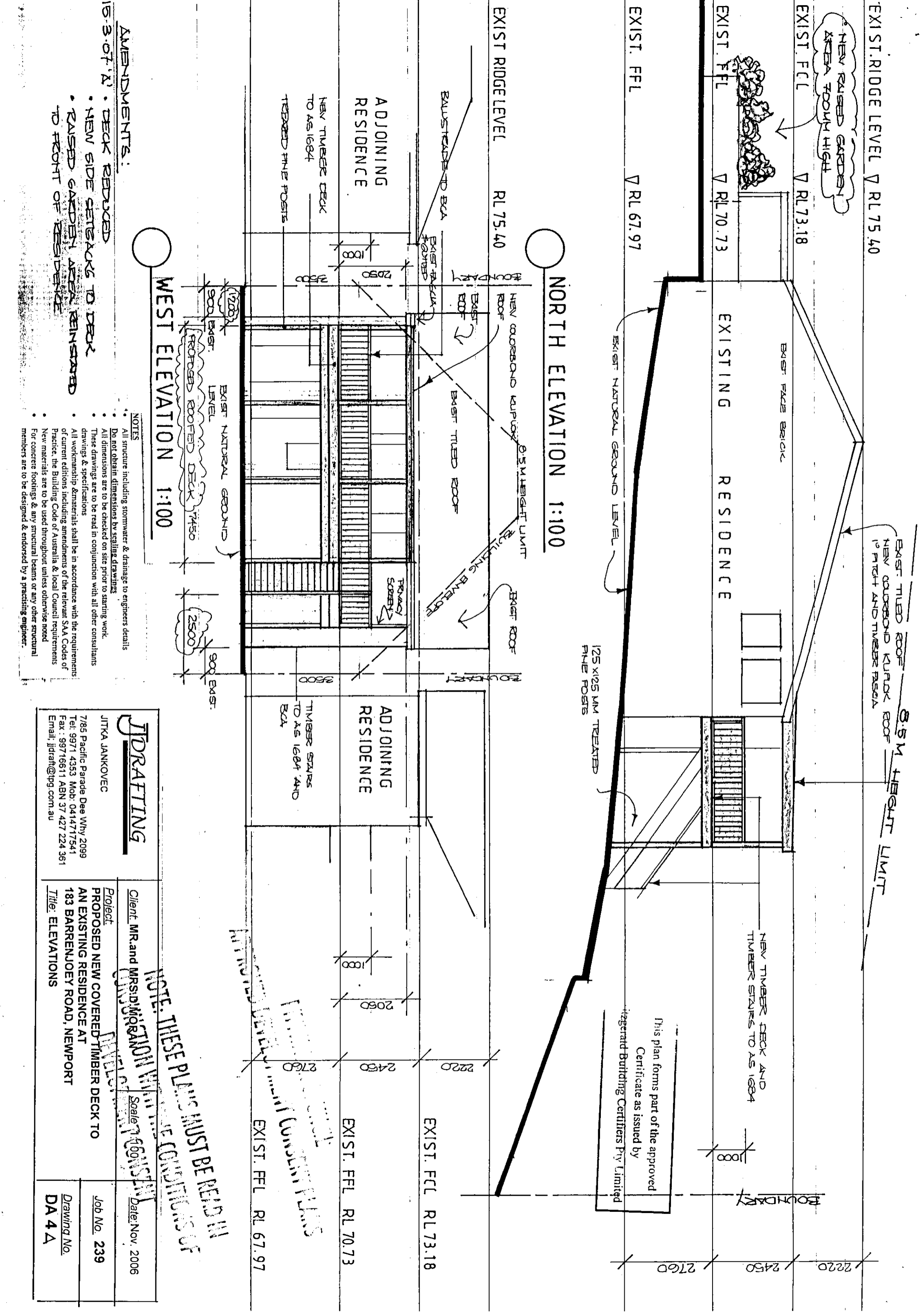
EXIST. FFL ∇ RL 70.73

EXIST. FFL ∇ RL 67.97

EXIST RIDGE LEVEL RL 75.40

NORTH ELEVATION 1:100

WEST ELEVATION 1:100



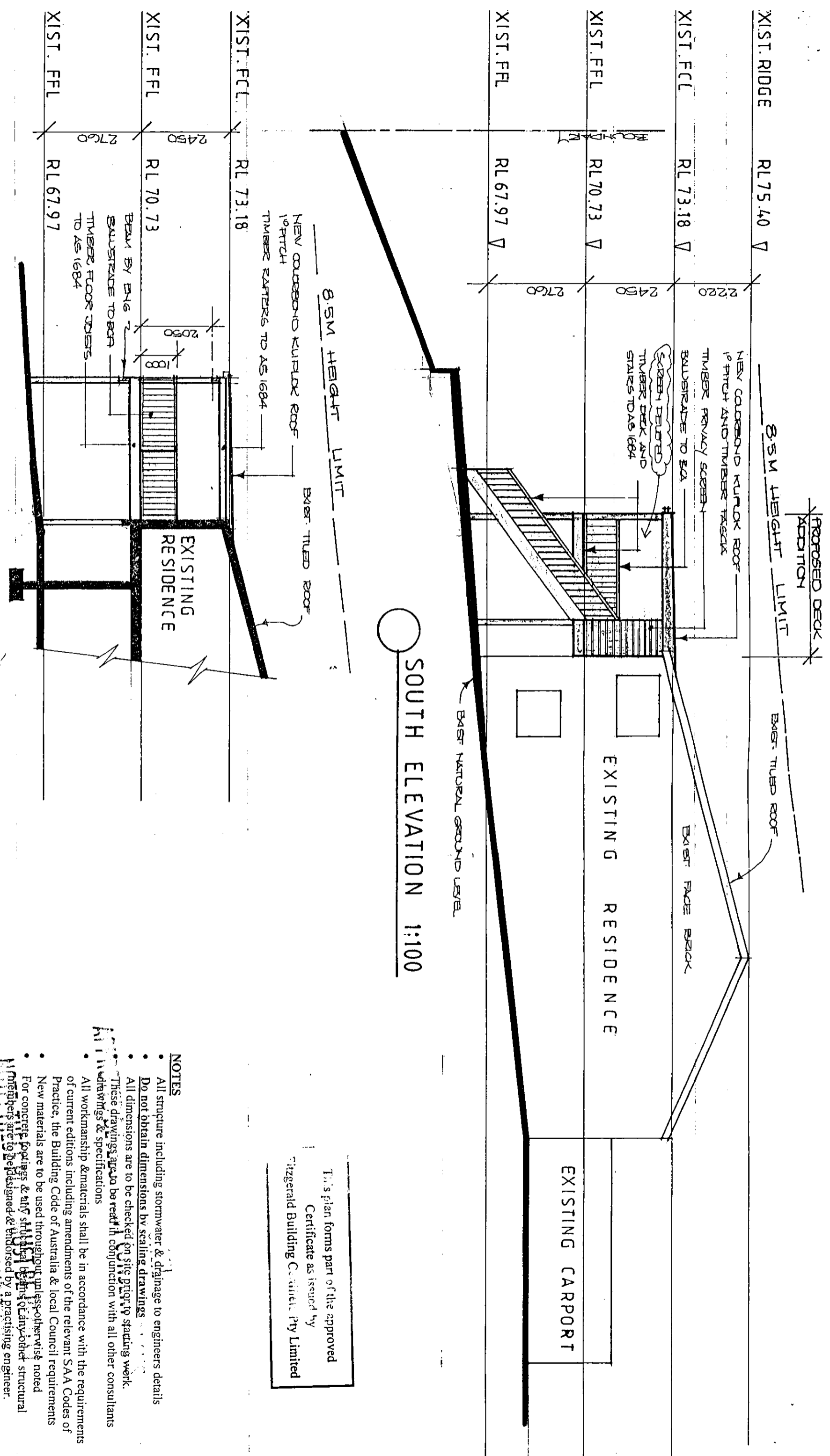
- NOTES**
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- AMENDMENTS:**
- 15.3.07 'A' DECK REDUCED
 - NEW SIDE SETBACKS TO DECK
 - RAISED GARDEN AREA REINSTATED TO FRONT OF RESIDENCE

This plan forms part of the approved Certificate as issued by Vegetat Building Certifiers Pty Limited

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONSTRUCTION PLANS

<p>JDRRAFTING</p> <p>JITKA JANKOVEC</p> <p>7/85 Pacific Parade Dee Why 2099 Tel: 9971 4353 Mob: 0414717541 Fax: 99716611 ABN 37 427 224 361 Email: jidraft@jdp.com.au</p>		<p>Client: MR. and MRS. MORGAN</p> <p>Project: PROPOSED NEW COVERED TIMBER DECK TO AN EXISTING RESIDENCE AT 183 BARRENJOEY ROAD, NEWPORT</p> <p>Title: ELEVATIONS</p>	<p>Date: Nov. 2006</p> <p>Scale: 1:100</p> <p>Job No. 239</p> <p>Drawing No. DA 4 A</p>
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SECTION A-A 1:100

SOUTH ELEVATION 1:100

AMENDMENT:
IS 03 OF 'A'

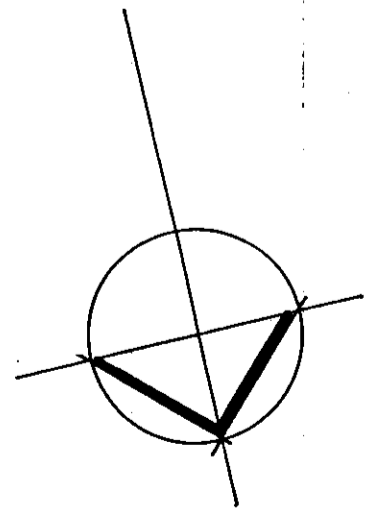
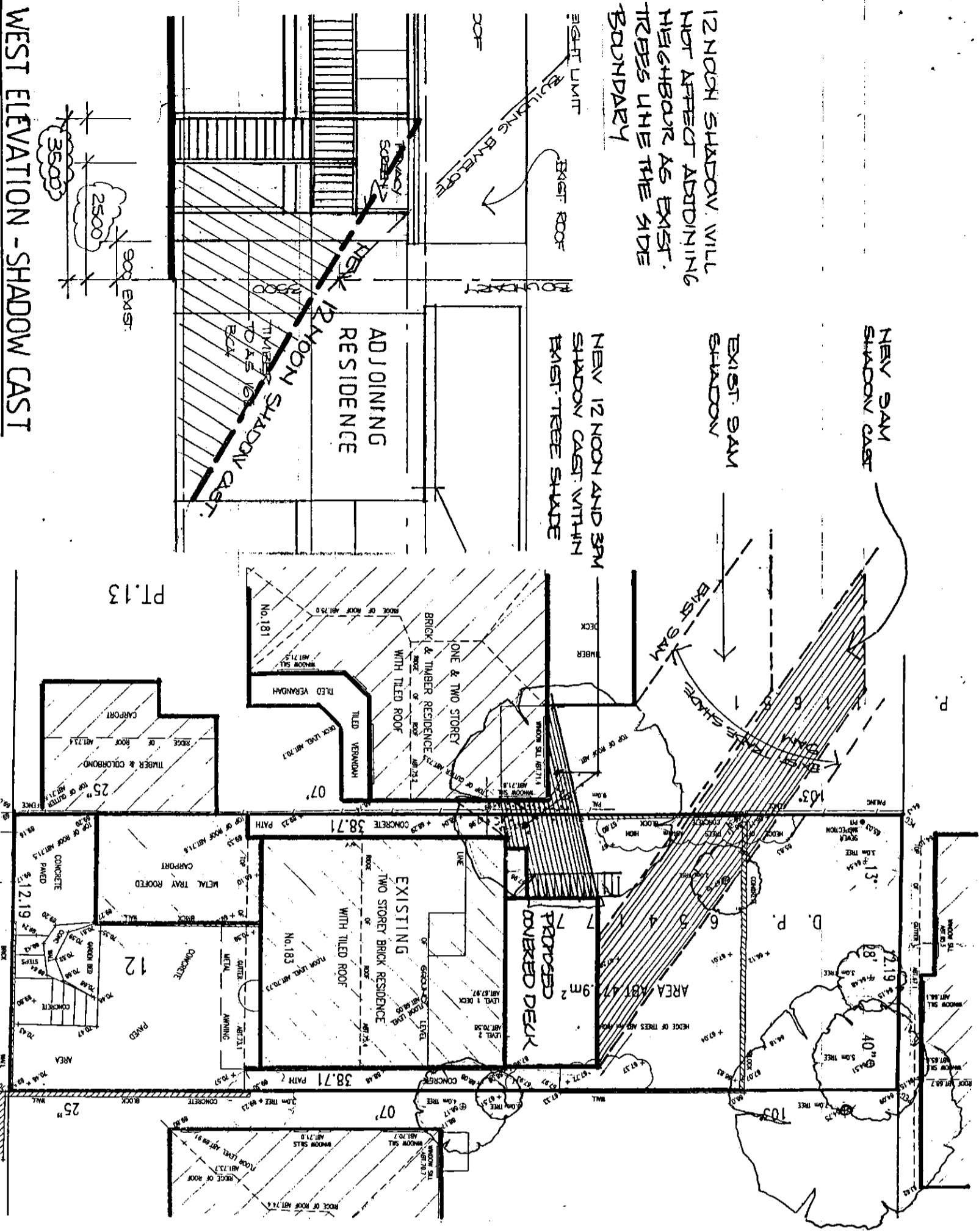
SCREEN DELETED TO
DECK.

		JITKA JANKOVEC 7/85 Pacific Parade Dee Why 2099 Tel: 9971 4353 Mob: 0414717541 Fax: 99716611 ABN 37 427 224 361 Email: jidraft@ipg.com.au	
Client: MR and MRS. D. GERRALD Schedule: 1100	Date: Nov. 2006	Project: PROPOSED NEW COVERED TIMBER DECK TO AN EXISTING RESIDENCE AT 183 BARRENJOEY ROAD, NEWPORT Title: ELEVATION AND SECTION	Job No. 239 Drawing No. DA 5 A

This plan forms part of the approved
Certificate as issued by
T Fitzgerald Building Consultant Pty Limited

- NOTES**
- All structure including stormwater & drainage to engineers details
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 - All dimensions are to be checked on site prior to starting work.
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 - New materials are to be used throughout unless otherwise noted
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- NOTE: THIS DRAWING MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF CONSTRUCTION WITH THE CONDITIONS OF**

12 NOON SHADOW WILL NOT AFFECT ADJOINING NEIGHBOUR AS EXIST. TREES USE THE SIDE BOUNDARY



This plan forms part of the approved Certificate as issued by Fitzgerald Building Certifiers Pty Limited

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NOTE: THESE PLANS MUST BE REVISIONED

WEST ELEVATION - SHADOW CAST
SHADOW PLAN - JUNE 21 - 1:200

- AMENDMENTS:
15.3.07 'A'
- DECK REDUCED
 - SHADOW CAST ELEVATION INCLUDED.
 - 12 NOON SHADOW DECREASED.

DRAFTING	
JITKA JANKOVIC	
7/85 Pacific Parade Dee Why 2099 Tel: 9971 4353 Mob: 0414717541 Fax: 99716611 ABN 37 427 224 361 Email: jidrafr@ipg.com.au	
Client: MR & MRS J. WOODMAN	Date: Nov. 2006
Project: PROPOSED NEW COVERED TIMBER DECK TO AN EXISTING RESIDENCE AT 183 BARRENJOEY ROAD, NEWPORT	Job No. 239
Title: SHADOW PLAN	Drawing No. DA 6 A