

Rapid Plans www.rapidplans.com.au

P.O. Box 6193 Frenchs Forest DC NSW 2086

Fax: (02) 9905-8865 Mobile: 0414-945-024

Email: gregg@rapidplans.com.au



**BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA**



**ACCREDITED
BUILDING DESIGNER**

DRAWING No.	DESCRIPTION	REV	ISSUED DATE
DA1000	Cover Sheet	-	- 15/9/20
DA1001	A4 NOTIFICATION PLAN	-	- 15/9/20
DA1002	SITE SURVEY	-	- 15/9/20
DA1003	SITE SURVEY 2	-	- 15/9/20
DA1004	SITE PLAN	-	- 15/9/20
DA1005	Existing Lower Ground Floor Plan	-	- 15/9/20
DA1006	Existing Lower Ground Floor Plan 2	-	- 15/9/20
DA1007	Existing Ground Floor Plan	-	- 15/9/20
DA1008	Existing First Floor Plan	-	- 15/9/20
DA1009	Demolition Lower Ground Floor Plan	-	- 15/9/20
DA1010	Demolition Lower Ground Floor Plan 2	-	- 15/9/20
DA1011	Demolition Ground Floor Plan	-	- 15/9/20
DA1012	Demolition First Floor Plan	-	- 15/9/20
DA1013	Excavation & Fill Plan	-	- 15/9/20
DA1014	Landscape Open Space Plan Existing	-	- 15/9/20
DA1015	Landscape Open Space Plan Proposed	-	- 15/9/20
DA1016	Landscape Plan	-	- 15/9/20
DA1017	Sediment & Erosion Plan	-	- 15/9/20
DA1018	Waste Management Plan	-	- 15/9/20
DA1019	Stormwater Plan	-	- 15/9/20
DA2001	LOWER GROUND FLOOR	-	- 15/9/20
DA2002	LOWER GROUND FLOOR 2	-	- 15/9/20
DA2003	GROUND FLOOR	-	- 15/9/20
DA2004	FIRST FLOOR	-	- 15/9/20
DA2005	ROOF	-	- 15/9/20
DA3000	SECTION 1	-	- 15/9/20
DA3001	SECTION 2	-	- 15/9/20
DA3002	SECTION GARAGE	-	- 15/9/20
DA3003	SECTION Studio	-	- 15/9/20
DA4000	ELEVATIONS 1	-	- 15/9/20
DA4001	ELEVATIONS 2	-	- 15/9/20
DA4002	ELEVATIONS 3	-	- 15/9/20
DA4003	ELEVATIONS 4	-	- 15/9/20
DA5000	PERSPECTIVE FRONT	-	- 15/9/20
DA5001	PERSPECTIVE REAR	-	- 15/9/20
DA5002	MATERIAL & COLOUR SAMPLE BOARD	-	- 15/9/20
DA5003	SHADOW PLAN 21st June 9am	-	- 15/9/20
DA5004	SHADOW PLAN 21st June 12pm	-	- 15/9/20
DA5005	SHADOW PLAN 21st June 3pm	-	- 15/9/20
DA5006	WALL ELEVATION SHADOWS	-	- 15/9/20

DEVELOPMENT APPLICATION

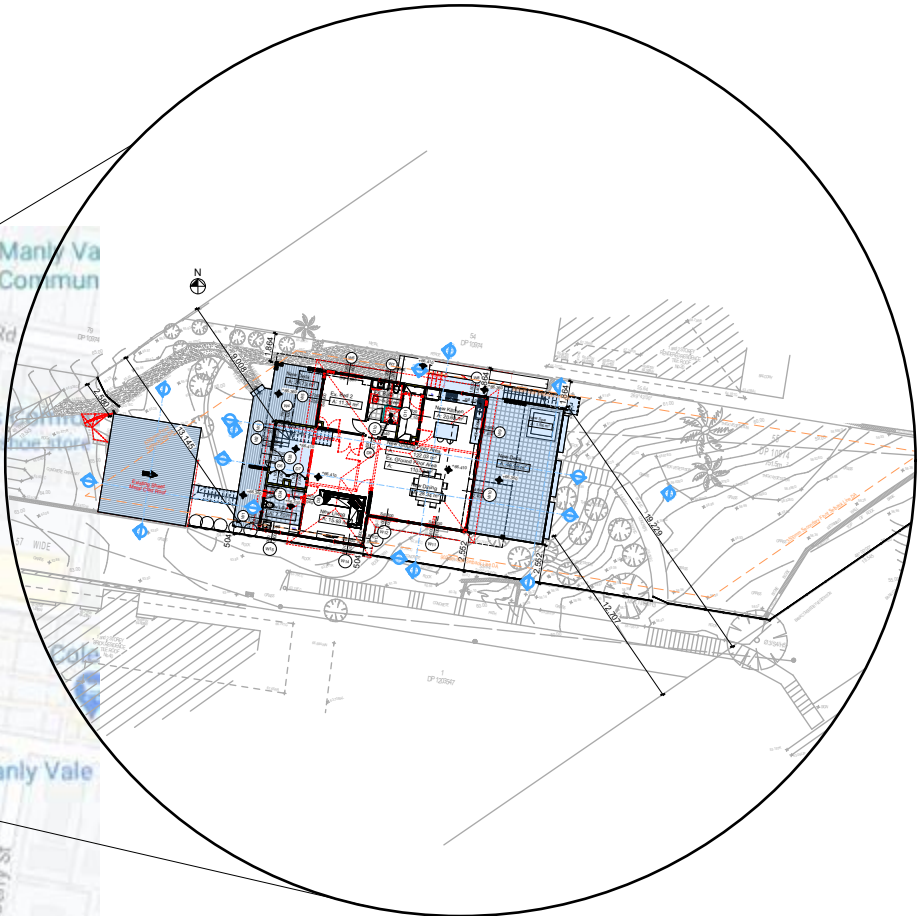
Alterations & Additions To Existing Residence

For Sohuh Gandhi

38 Mildred Avenue Manly Vale

Lot 55 D.P.10974

Project Number: RP0620GAN



BASIX®Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A389349

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Friday, 11, September 2020
To be valid, this certificate must be lodged within 3 months of the date of issue.



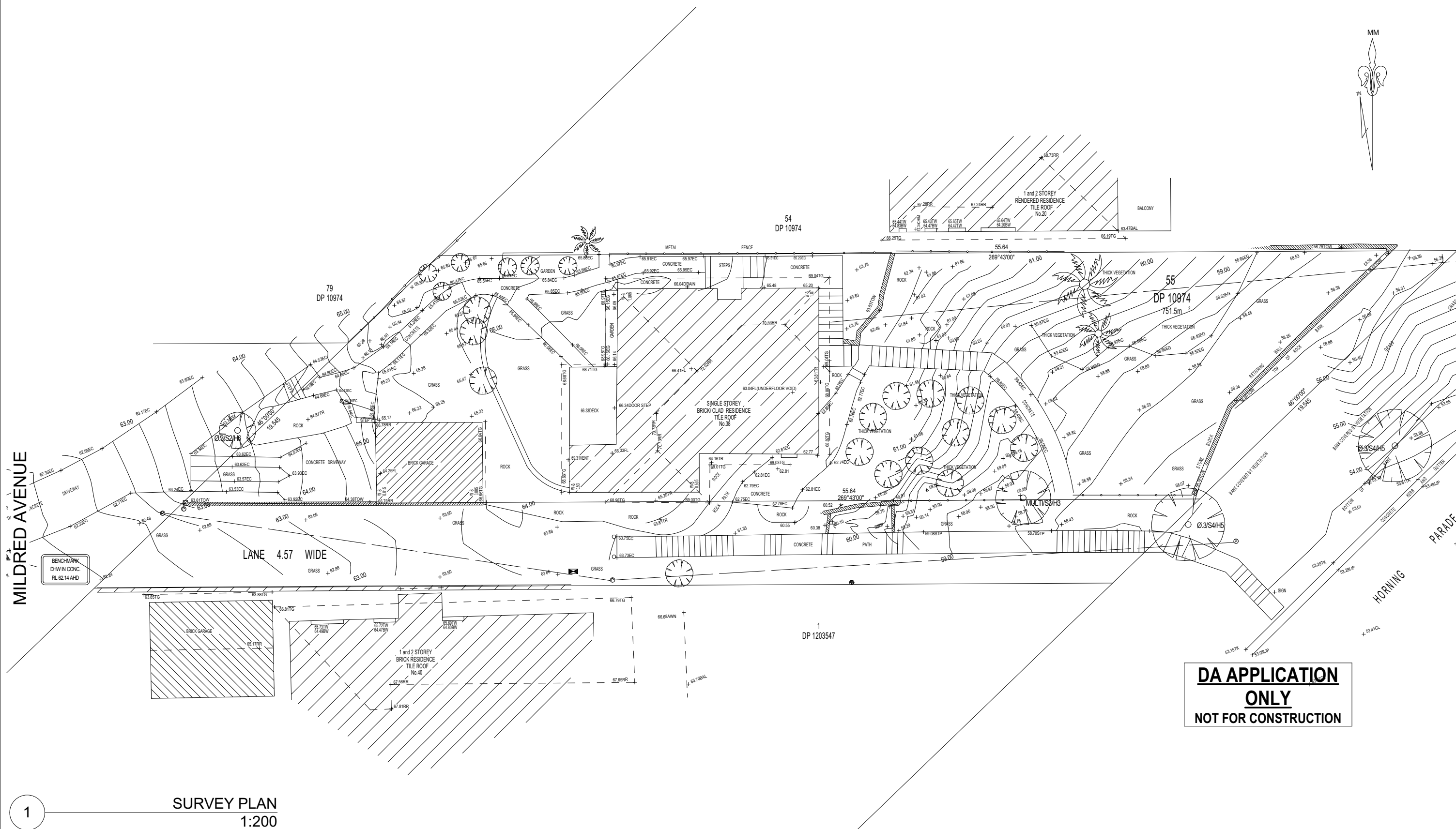
Description of project

Project address	
Project name	38 Mildred R2
Street address	38 Mildred Avenue Manly Vale 2093
Local Government Area	Warringah Council
Plan type and number	Deposited Plan 10974
Lot number	55
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

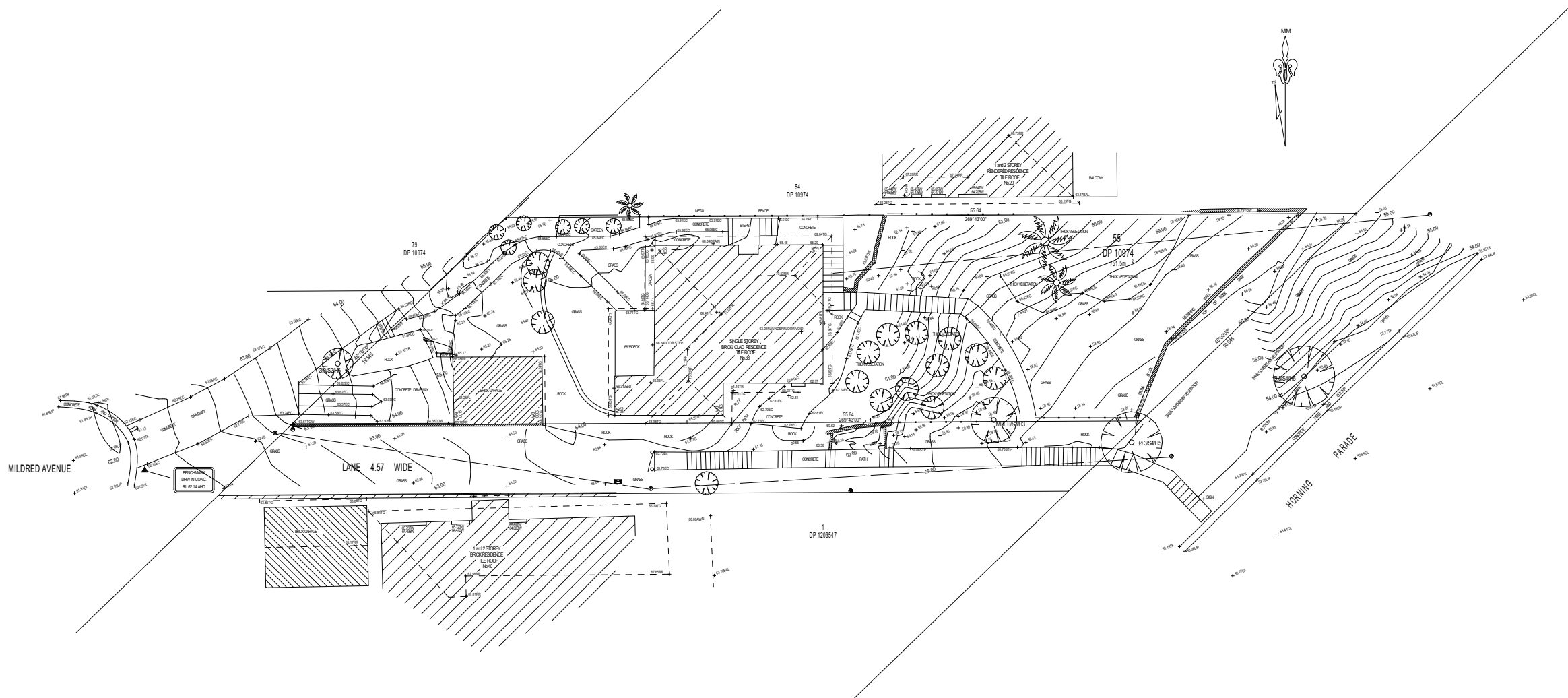
Certificate Prepared by (please complete before submitting to Council or PCA)

Name / Company Name: Sohuh Gandhi

ABN (if applicable): N/A



BOUNDARIES HAVE BEEN DETERMINED BY SURVEY ON 26/05/2020.
PRIOR TO ANY CONSTRUCTION WORK, SURVEY MARKS SHOULD BE PLACED TO DEFINE THE PROPERTY BOUNDARIES.
SERVICES SHOWN ARE INDICATIVE ONLY. POSITIONS ARE BASED ON SURFACE INDICATORS LOCATED DURING FIELD SURVEY. CONFIRMATION OF THE EXACT POSITION SHOULD BE MADE PRIOR TO ANY EXCAVATION WORK. OTHER SERVICES MAY EXIST WHICH ARE NOT SHOWN.
LEVELS ARE BASED ON AUSTRALIAN HEIGHT DATUM (AHD) USING GNSS OBSERVATION TO A BENCH MARK PLACED ON SITE.
RIDGE & GUTTER HEIGHTS HAVE BEEN OBTAINED BY INDIRECT METHOD AND ARE ACCURATE TO ±0.05m.
CONTOURS SHOWN DEPICT THE TOPOGRAPHY, EXCEPT AT SPOT LEVELS SHOWN THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. THE SPOT LEVELS ARE TRUE FOR THEIR POSITION, AND ARE INTENDED TO BE USEFUL TO REPRESENT THE GENERAL TERRAIN. CARE SHOULD BE TAKEN IF EXTRAPOLATING.
RESERVATIONS AND CONDITIONS IN THE CROWN GRANTS



LEGEND	
BENCH MARK	▲
TELSTRA PIT	▲
ELECTRIC LIGHT POLE	▲
POWER POLE	▲
SIGN POST	▲
SEWER INSPECTION PIT	▲
SEWER VENT	▲
MANHOLE	▲
SEWER MANHOLE	▲
STOP VALVE	▲
WATER HYDRANT	▲
WATER METER	▲
GAS METER	▲
STATE SURVEY MARK	▲

1

SURVEY PLAN
1:333.17

SURVEY PLAN SCALED TO FIT TITLEBLOCK

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

Paul Johnston
Registered Surveyor
N° 5878

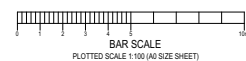


TSS TOTAL SURVEYING
SOLUTIONS
LANE COVE | CAMDEN | MANLY VALE | CENTRAL COAST

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REVISION No.	REVISION DATE:	COMMENT:

LEGEND:
EB - EDGE OF BITUMEN
EC - EDGE OF CONCRETE
TB - TOP OF BANK
BB - BOTTOM OF BANK
TW - TOP OF WINDOW
BW - BOTTOM OF WINDOW



PLAN SHOWING DETAIL & LEVELS OVER LOT 55 IN DP 10974		JOB No.: 200838	LGANORTHERN BEACHES
CLIENT: SOHUM GANDHI	PLAN No.: 200838-1	DATE: 27/05/20	DATUM: AHD
PROJECT: MANLY VALE	DRAWN: FS	SCALE: 1:100@A0	CONT. INTERVAL: 0.25m
ADDRESS: 38 MILDRED AVENUE, MANLY VALE	CHK: GS	SHEET 1 OF 1	



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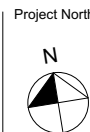
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bdaa
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

bdaa
ACCREDITED
BUILDING DESIGNER

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Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Checked
Plot Date:
Project NO.
Project Status

GBJ
17/09/2020
RP0620GAN
DA

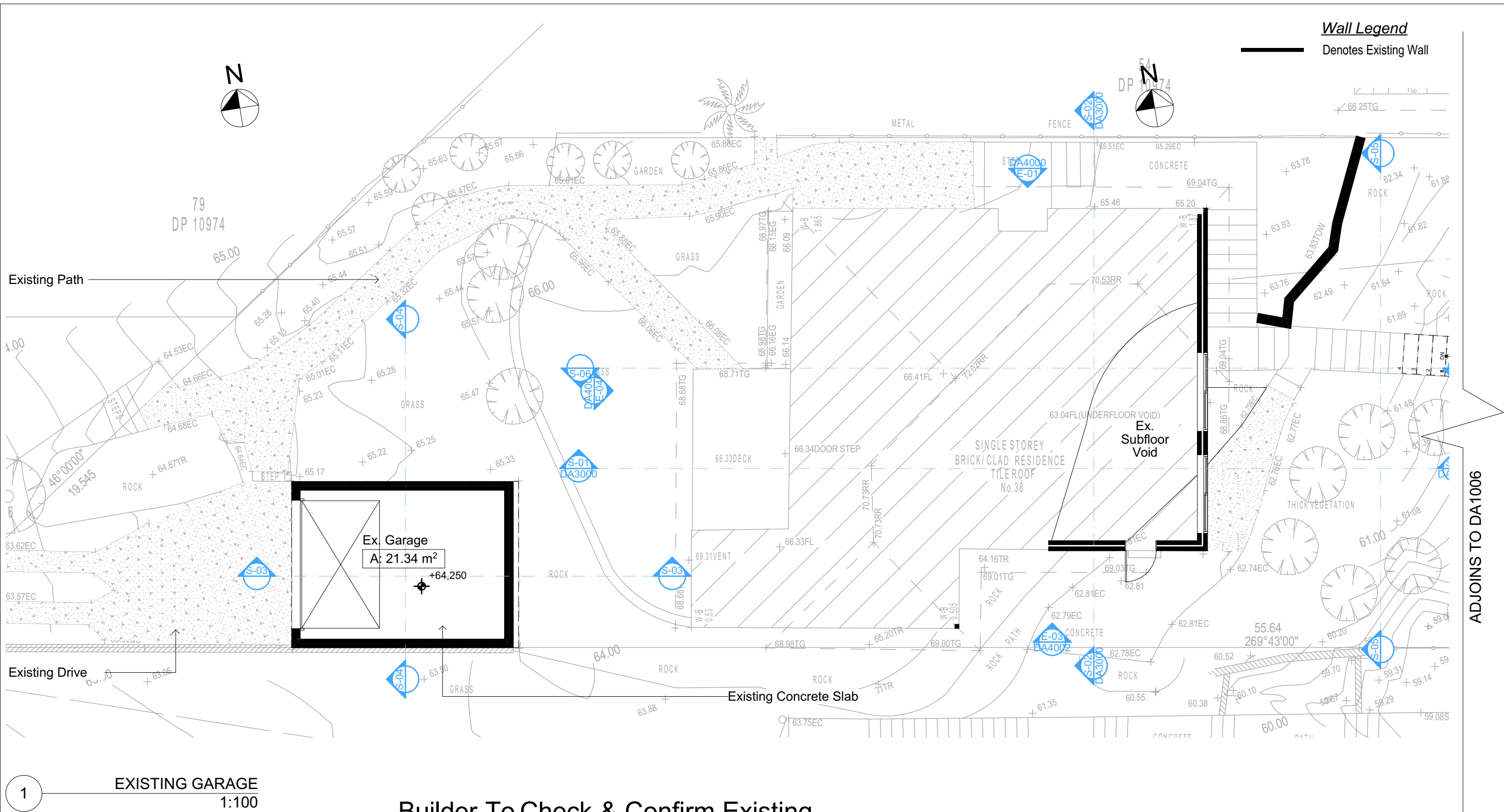
Client
Site:
Sohum Gandhi
38 Mildred Avenue Manly Vale

Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
SITE SURVEY 2

PROJECT NAME :
Alterations & Additions

REVISION NO.
-
DATE:
15/9/20
DRAWING NO.
DA1003



Builder To Check & Confirm Existing Measurements Prior to Commencement

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES

38 Mildred Avenue Manly Vale is zoned R2 Low Density Res.
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
38 Mildred Avenue Manly Vale is not considered a heritage item

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Framed, Framed Walls
Roof Framed to have R1.82 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A389601

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²
b) insulation specified is not required for parts of altered construction where insulation already exists.

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For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	751.5m ²	Yes	Building envelope	4m@45Deg	Variable
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	46%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variable	Impervious area (m ²)	54%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variable	Maximum cut into grd (m)	1046mm	Yes
Front Setback (Min.)	6.5m/3.5m	Variable	Maximum depth of fill (m)	2210mm	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variable			



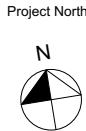
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Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Checked
Plot Date:
Project NO.
Project Status

GBJ
17/09/2020
RP0620GAN
DA

Client
Site:

Sohum Gandhi
38 Mildred Avenue Manly Vale

Sheet Size: A3

DRAWING TITLE :

SITE AND LOCATION
Existing Lower Ground Floor Plan

PROJECT NAME :

Alterations & Additions

REVISION NO.

DATE:

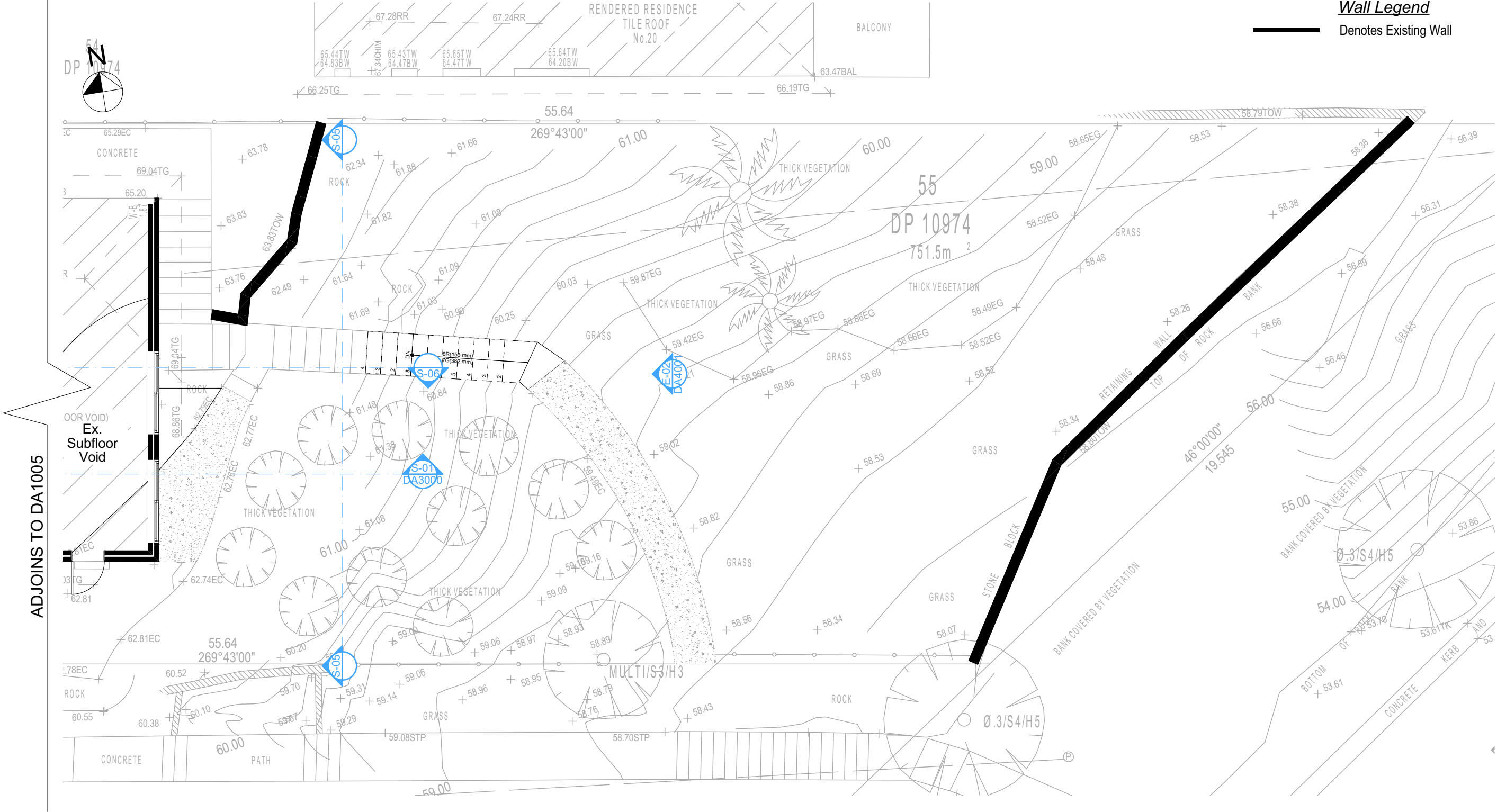
15/9/20

DRAWING NO.

DA1005



Wall Legend
Denotes Existing Wall



1 EXISTING GARAGE
1:100

Builder To Check & Confirm Existing Measurements Prior to Commencement

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NOT FOR CONSTRUCTION

NOTES
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All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
38 Mildred Avenue Manly Vale is not considered a heritage item

Certifying
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Construction
Framed, Framed Walls
Roof Framed to have R1.82 Insulation
Insulation to External Framed Walls R1.70
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Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A389601
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Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	751.5m ²	Yes	Building envelope	4m@45Deg	Variable
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	46%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variable	Impervious area (m ²)	54%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variable	Maximum cut into gnd (m)	1046mm	Yes
Front Setback (Min.)	6.5m/3.5m	Variable	Maximum depth of fill (m)	2210mm	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variable			

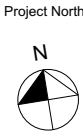


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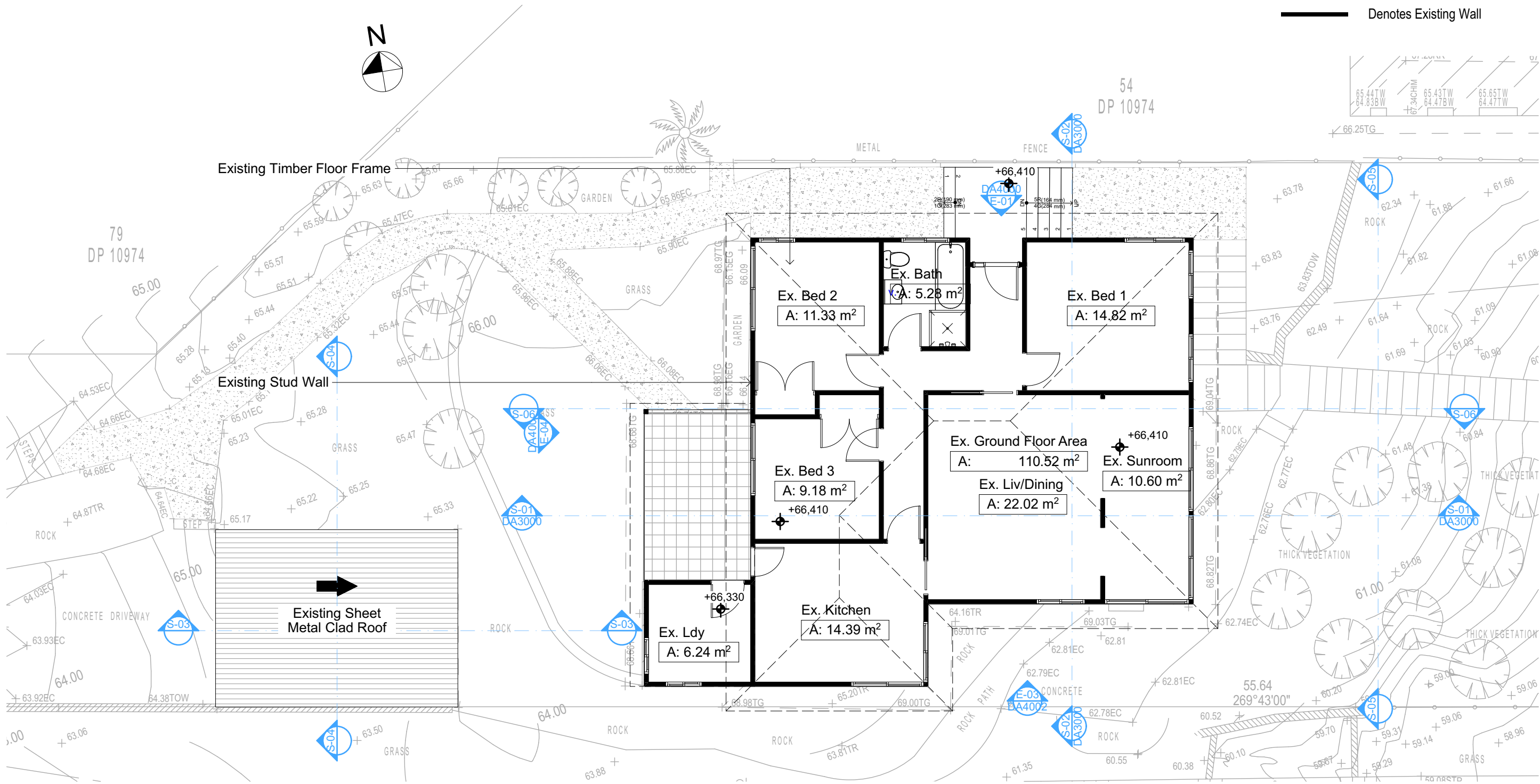
Checked
Plot Date:
Project NO.
Project Status
Client
Site:
Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
Existing Lower Ground
Floor Plan 2
PROJECT NAME :
Alterations & Additions

REVISION NO.
DATE:
15/9/20
DRAWING NO.
DA1006

Wall Legend

Denotes Existing Wall



2

EXISTING GROUND FLOOR
1:100

Builder To Check & Confirm Existing Measurements Prior to Commencement

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NOT FOR CONSTRUCTION

NOTES

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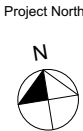
Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
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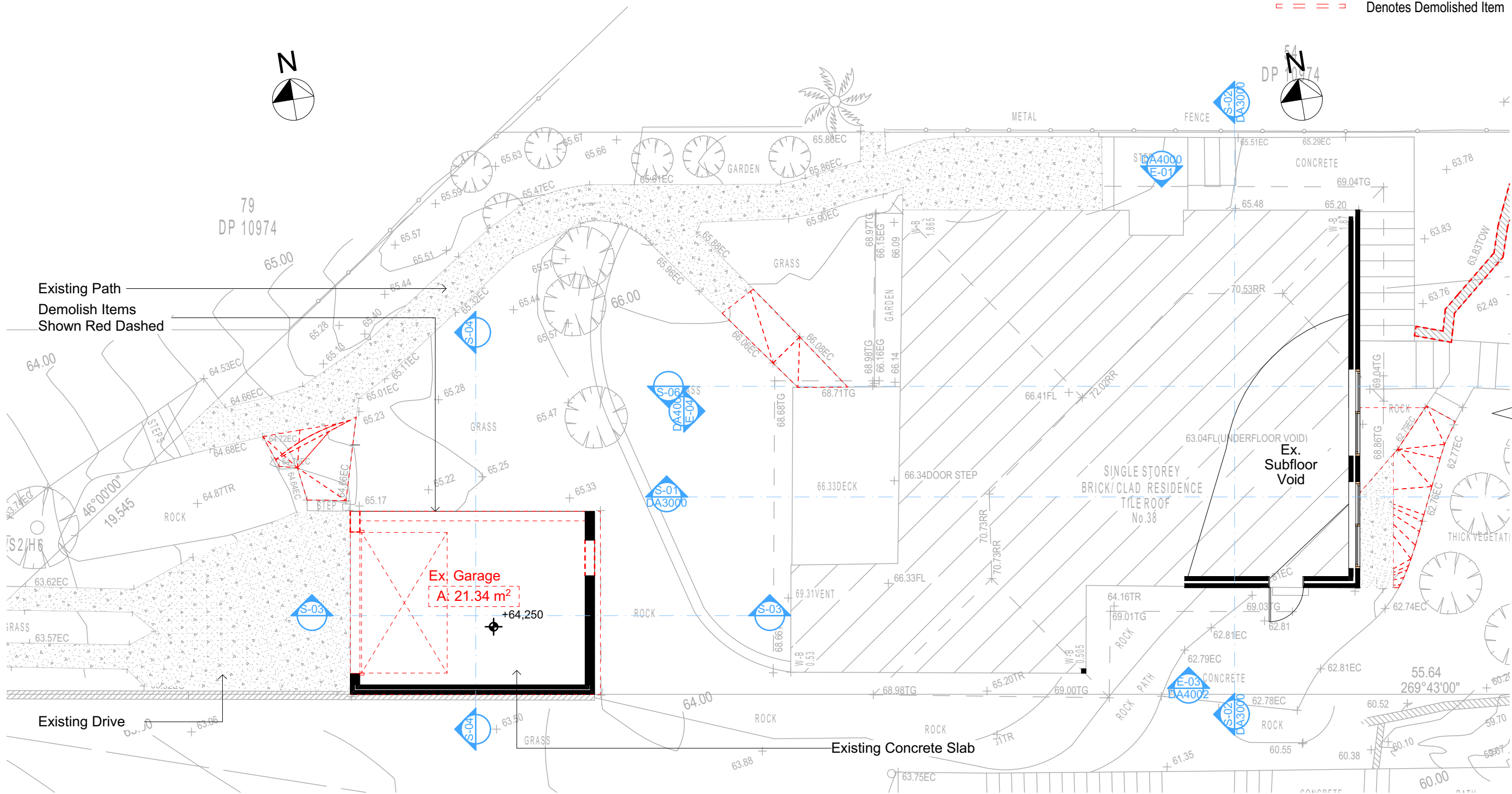
Project North
Checked
Plot Date: 17/09/2020
Project NO: RP0620GAN
Project Status: DA
Client: Sohum Gandhi
Site: 38 Mildred Avenue Manly Vale
Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
Existing Ground Floor Plan
PROJECT NAME :
Alterations & Additions

REVISION NO.
DATE: 15/9/20
DRAWING NO.
DA1007

Wall Legend

- Denotes Existing Wall
Denotes Demolished Item



1

DEMOLITION GARAGE
1:100

All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

NOTES
38 Mildred Avenue Manly Vale is zoned R2 Low Density Res.
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
38 Mildred Avenue Manly Vale is not considered a heritage item

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Construction
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Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

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Basix Certificate Number A389601
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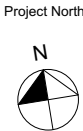


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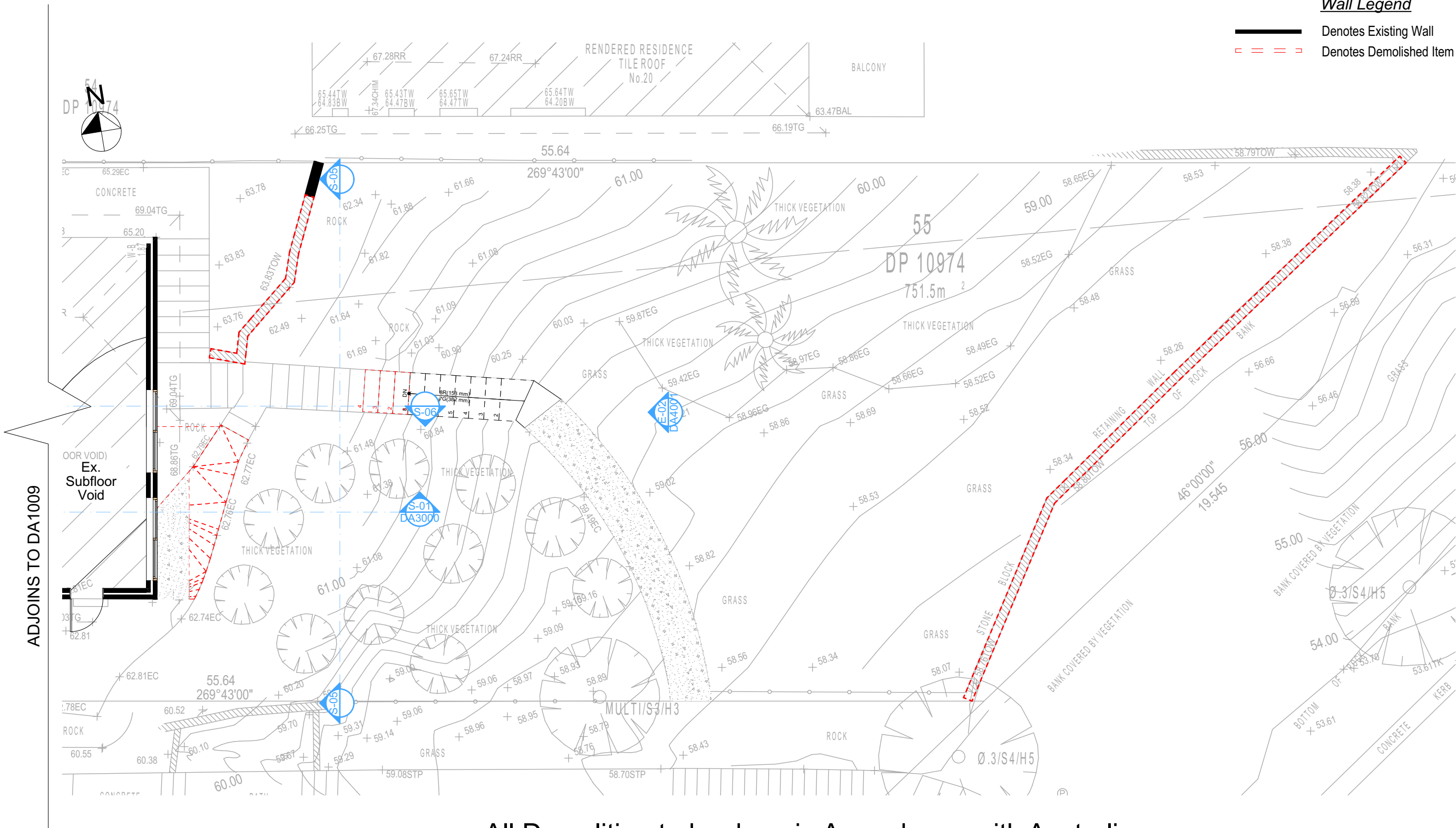
Project North
Checked
Plot Date: 17/09/2020
Project NO: RP0620GAN
Project Status: DA
Client: Sohum Gandhi
Site: 38 Mildred Avenue Manly Vale
Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
Demolition Lower Ground
Floor Plan
PROJECT NAME :
Alterations & Additions

REVISION NO.
DATE: 15/9/20
DRAWING NO.
DA1009

Wall Legend

Denotes Existing Wall
Denotes Demolished Item



All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

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Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	751.5m ²	Yes	Building envelope	4m@45Deg	Variable
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	46%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variable	Impervious area (m ²)	54%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variable	Maximum cut into gnd (m)	1046mm	Yes
Front Setback (Min.)	6.5m/3.5m	Variable	Maximum depth of fill (m)	2210mm	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variable			

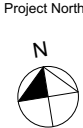


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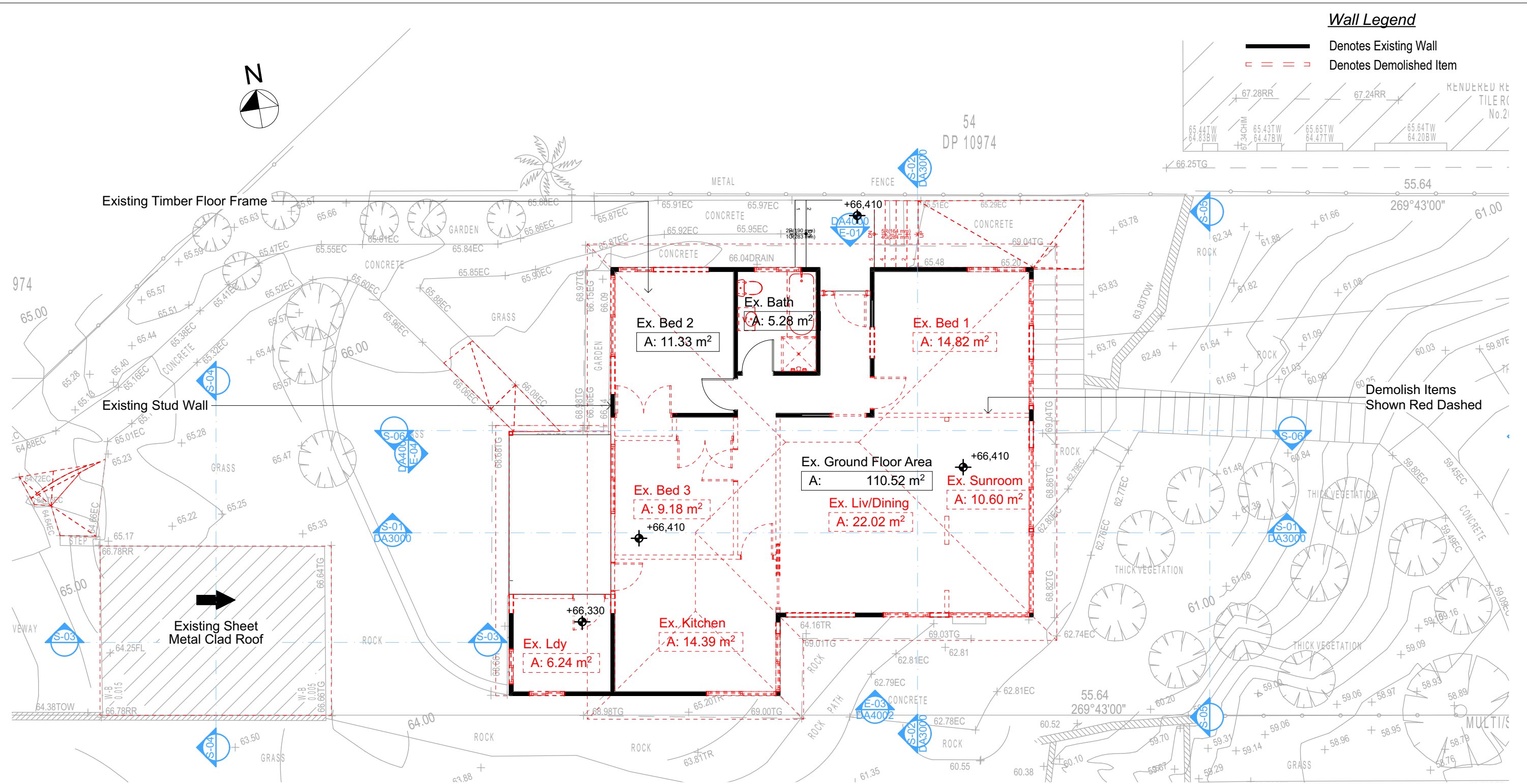
Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Checked
Plot Date: 17/09/2020
Project NO: RP0620GAN
Project Status: DA
Client: Sohum Gandhi
Site: 38 Mildred Avenue Manly Vale
Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
Demolition Lower Ground
Floor Plan 2
PROJECT NAME :
Alterations & Additions

REVISION NO.
DATE: 15/9/20
DRAWING NO.
DA1010



2

DEMOLITION GROUND FLOOR
1:100

All Demolition to be done in Accordance with Australian
Standards, BCA and Workcover Regulations

**DA APPLICATION
ONLY**
NOT FOR CONSTRUCTION

NOTES
38 Mildred Avenue Manly Vale is zoned R2 Low Density Res.
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
38 Mildred Avenue Manly Vale is not considered a heritage item

Certifying
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Construction
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Insulation to External Framed Walls R1.70
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Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A389601
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Min. side bdy setback (Min.)	0.9m	Variable			

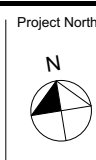


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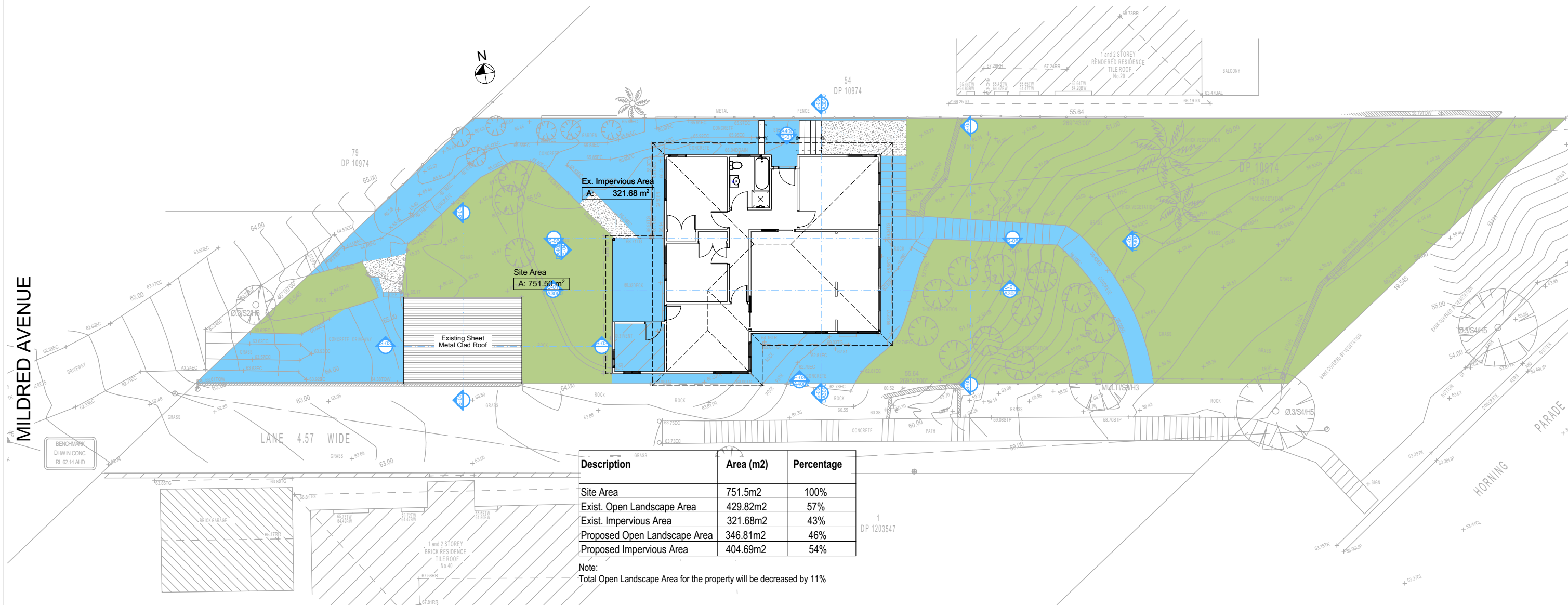
Checked
Plot Date: 17/09/2020
Project NO: RP0620GAN
Project Status: DA
Client: Sohum Gandhi
Site: 38 Mildred Avenue Manly Vale
Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
Demolition Ground Floor
Plan
PROJECT NAME :
Alterations & Additions

REVISION NO.
DATE: 15/9/20
DRAWING NO.
DA1011

Denotes Impervious Area

Denotes Pervious Area



2

LANDSCAPE OPEN SPACE EXISTING
1:200

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

NOTES
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Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variable			

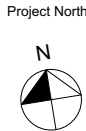


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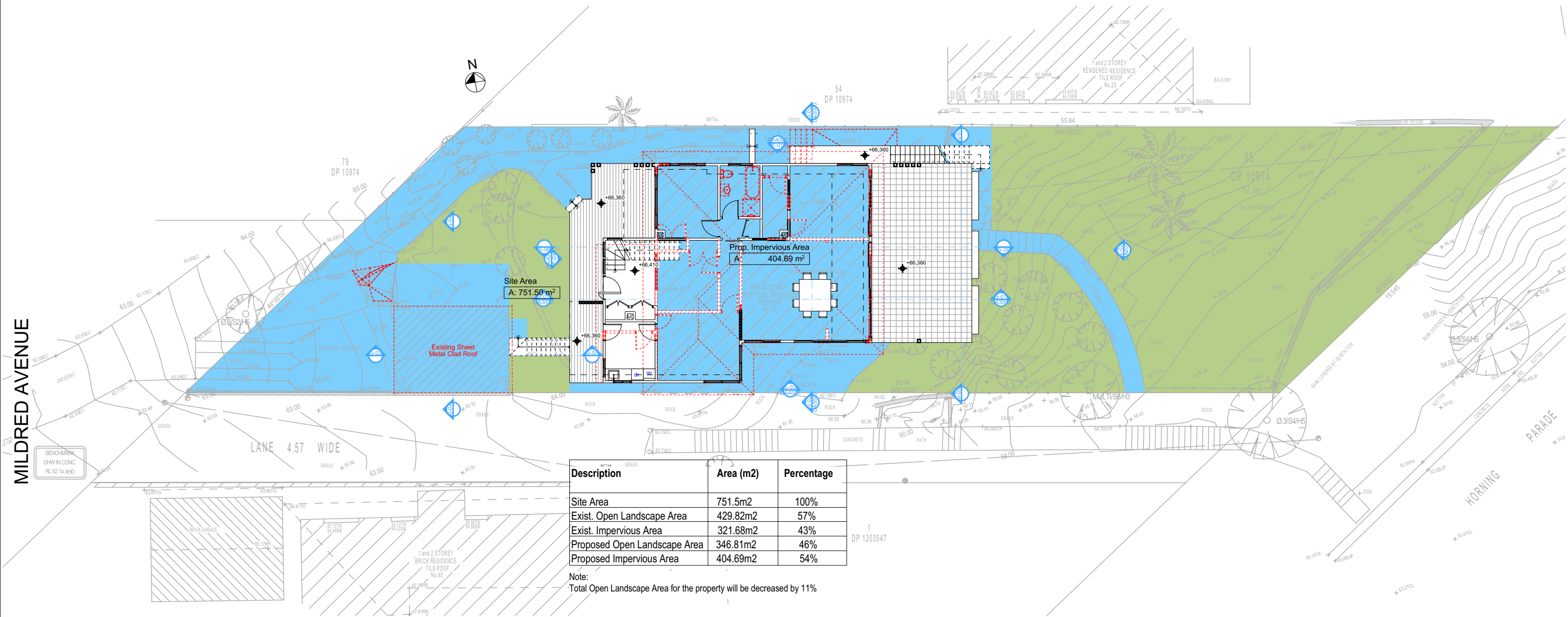
Project North
Checked
Plot Date: 17/09/2020
Project NO: RP0620GAN
Project Status: DA
Client: Sohun Gandhi
Site: 38 Mildred Avenue Manly Vale
Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
Landscape Open Space Plan
Existing
PROJECT NAME :
Alterations & Additions

REVISION NO.
-
DATE: 15/9/20
DRAWING NO.
DA1014

Denotes Impervious Area

Denotes Pervious Area



Description	Area (m2)	Percentage
Site Area	751.5m2	100%
Exist. Open Landscape Area	429.82m2	57%
Exist. Impervious Area	321.68m2	43%
Proposed Open Landscape Area	346.81m2	46%
Proposed Impervious Area	404.69m2	54%

Note:
Total Open Landscape Area for the property will be decreased by 11%

2 LANDSCAPE OPEN SPACE PROPOSED 1:200

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES
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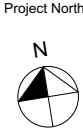


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Plot Date:
Project NO.
Project Status

GBJ
17/09/2020
RP0620GAN
DA

Client
Site:

Sohum Gandhi
38 Mildred Avenue Manly Vale

Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
Landscape Open Space Plan
Proposed

PROJECT NAME :
Alterations & Additions

REVISION NO.
-
DATE:
15/9/20
DRAWING NO.
DA1015

MILDRED AVENUE



Landscape Legend

Planting Schedule	Symbol	Botanical Name	Common Name	Mature Height
		Malus loensis "Plena"	Crab Apple	H= 6000mm W= 4500mm
		Stenotaphrum Secundatum	Sir Walter Buffalo Turf	N/A
		Existing Grass To Remain		
		Existing Garden To Remain		
		Existing Vegetation To Remain		
		Vegetation To Be Removed		

Landscape Legend

Ground Covers Schedule	
	Tiling
	Timber Deck
	New Concrete Drive
	Existing Concrete Drive
	New Masonry Retaining Wall

2

LANDSCAPE PLAN

1:200

**DA APPLICATION
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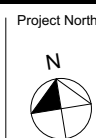


Rapid Plans
www.rapidplans.com.au
PO Box 6193 Frenchs Forest
NSW 2086
Fax: (02) 9905-8865
Mobile: 0414-945-024
Email: greg@rapidplans.com.au

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Project North

Checked
Plot Date:
Project NO.
Project Status

Client
Site:

Sheet Size: A3

GBJ
17/09/2020
RP0620GAN
DA

DRAWING TITLE :

SITE AND LOCATION
Landscape Plan

PROJECT NAME :

Alterations & Additions

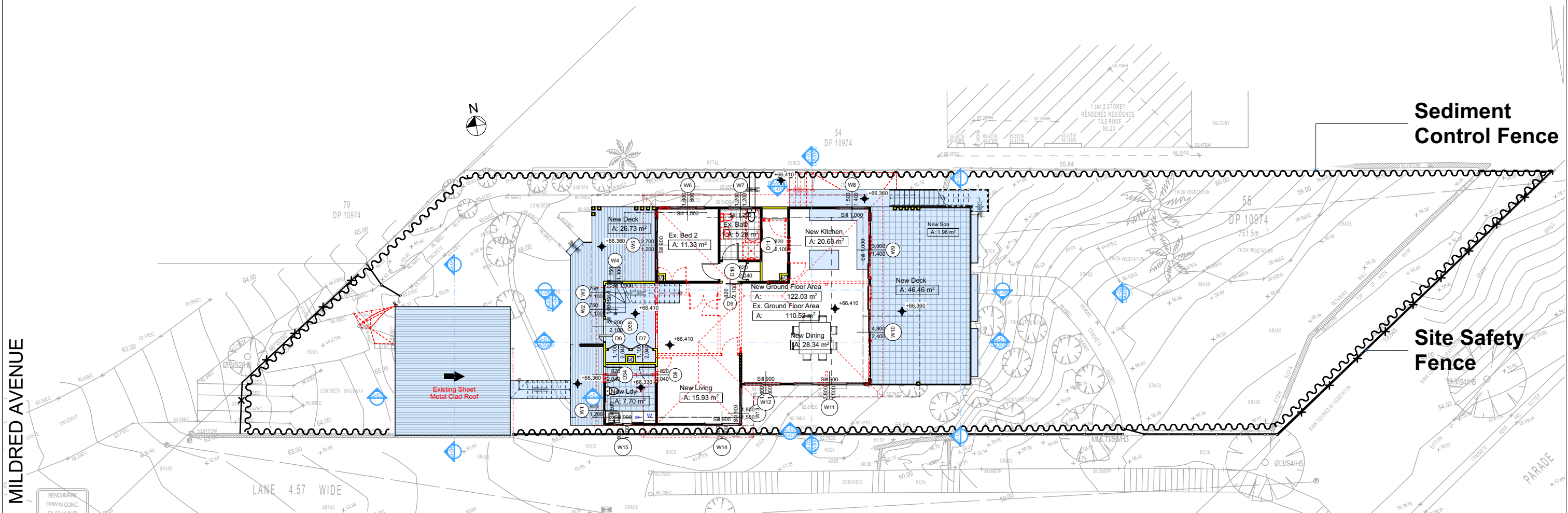
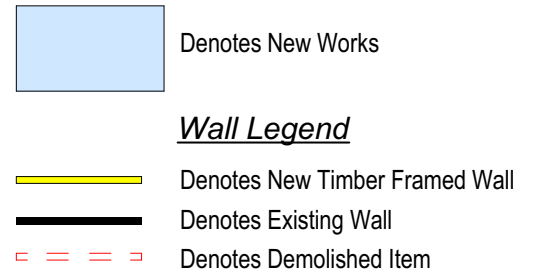
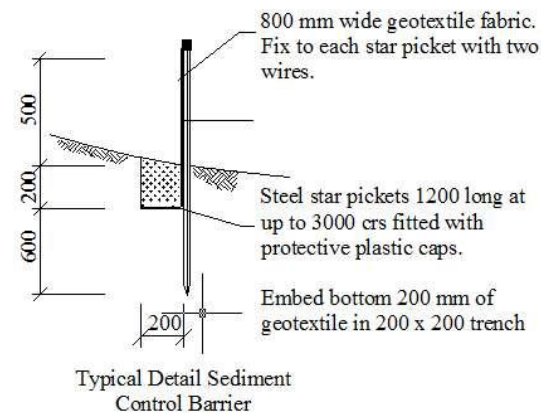
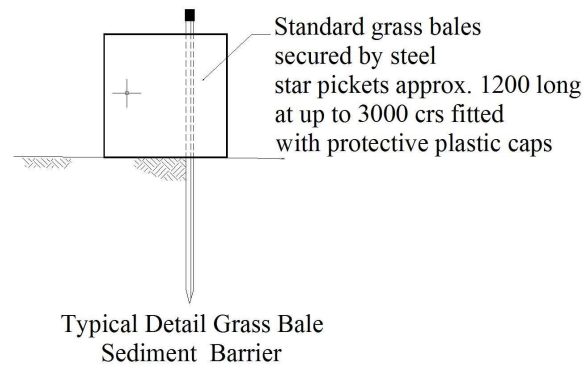
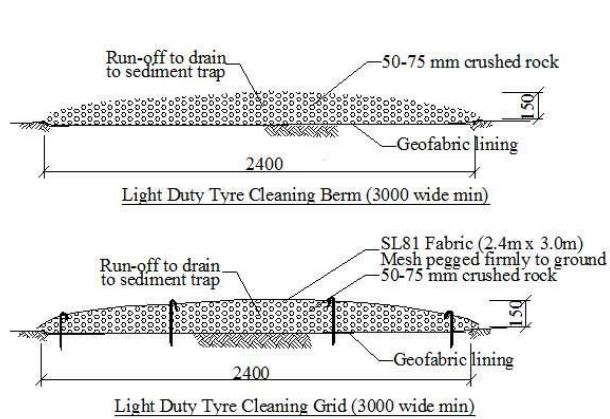
REVISION NO.

DATE:

15/9/20

DRAWING NO.

DA1016



2 SEDIMENT & EROSION CONTROL PLAN 1:200

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES
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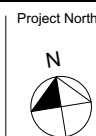


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Project North
Checked
Plot Date: 17/09/2020
Project NO: RP0620GAN
Project Status: DA
Client: Sohum Gandhi
Site: 38 Mildred Avenue Manly Vale
Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
Sediment & Erosion Plan
PROJECT NAME :
Alterations & Additions

REVISION NO.
-
DATE: 15/9/20
DRAWING NO.
DA1017

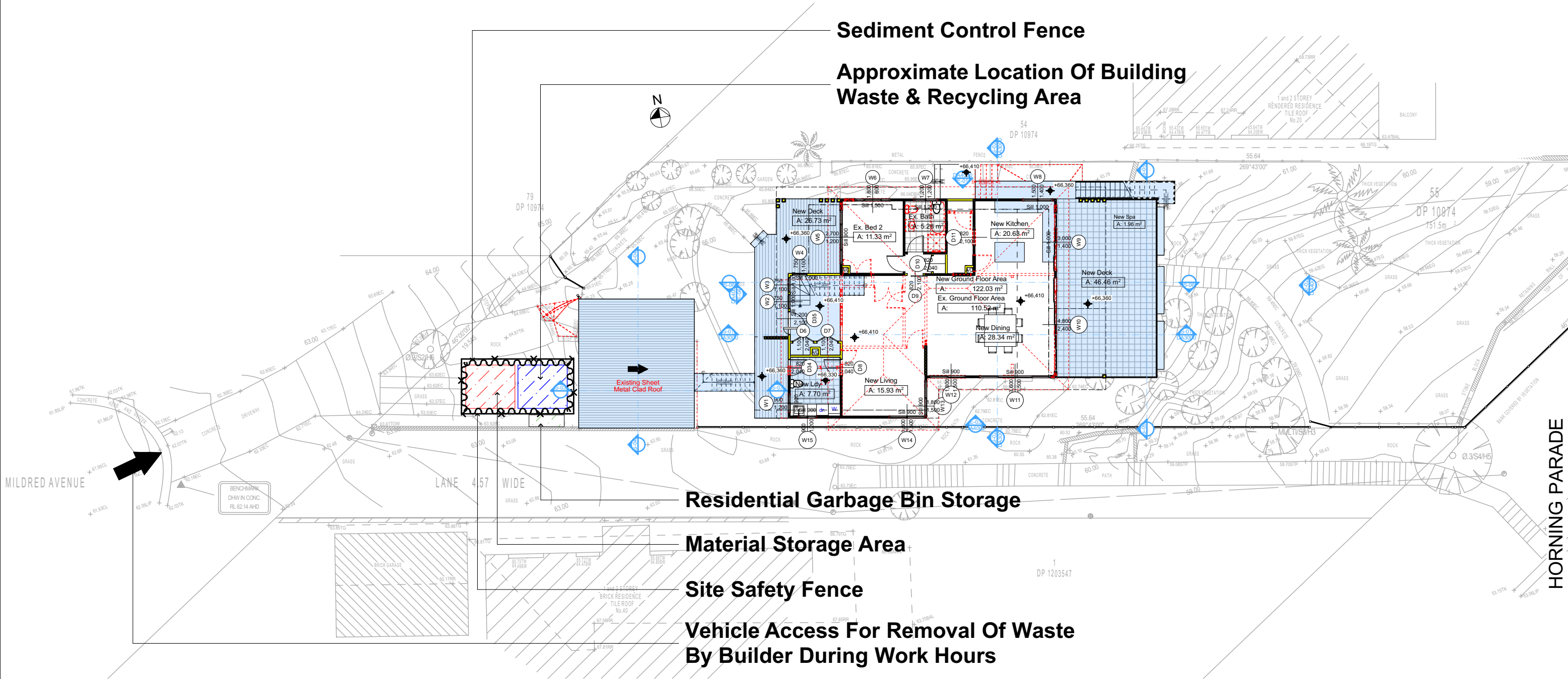
Denotes New Works

Wall Legend

Denotes New Timber Framed Wall

Denotes Existing Wall

Denotes Demolished Item



2 WASTE MANAGEMENT PLAN
1:200

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES

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Project North

Checked Plot Date: GBJ 17/09/2020
Project NO: RP0620GAN
Project Status: DA

Client: Sohurm Gandhi
Site: 38 Mildred Avenue Manly Vale

Sheet Size: A3

DRAWING TITLE : SITE AND LOCATION
Waste Management Plan

PROJECT NAME : **Alterations & Additions**

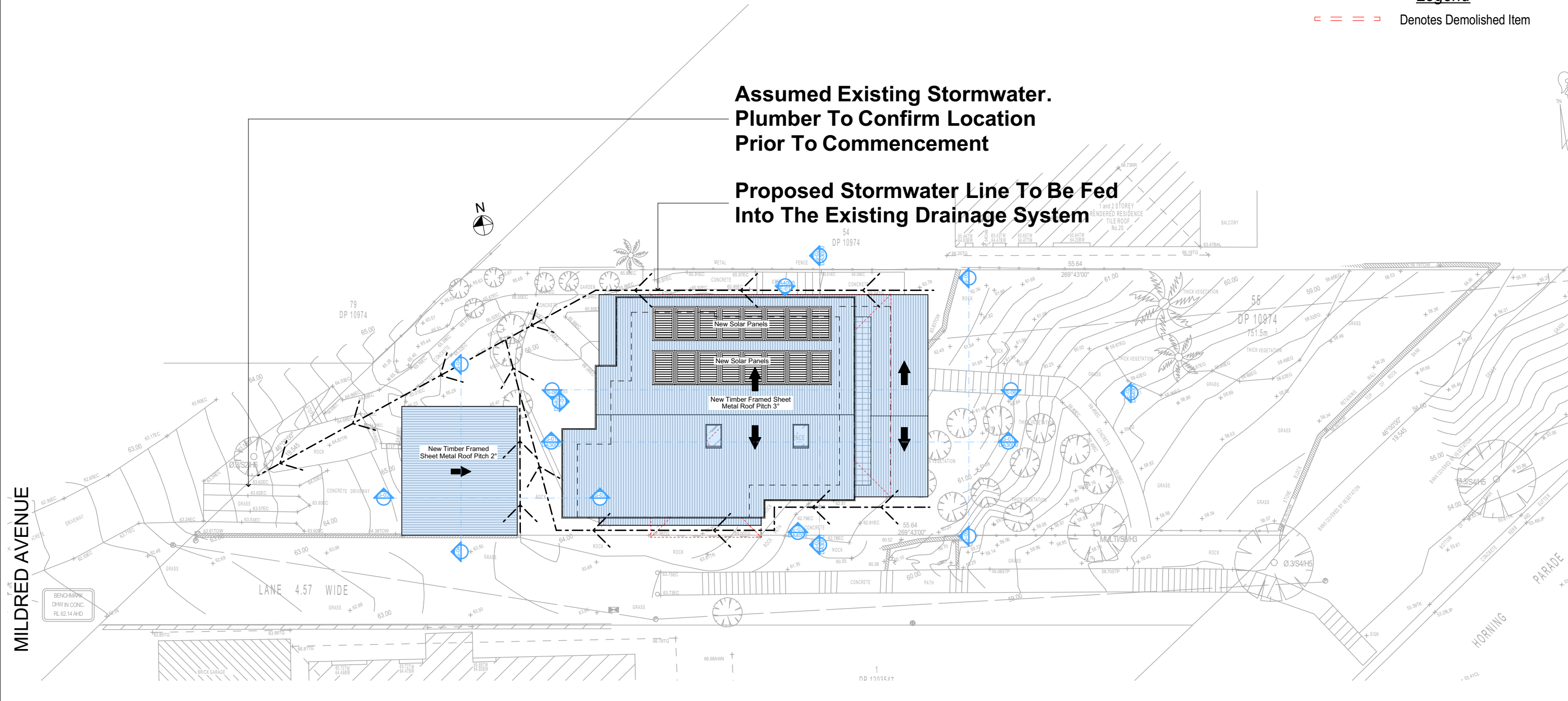
REVISION NO. -
DATE: **15/9/20**
DRAWING NO. **DA1018**

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	751.5m ²	Yes	Building envelope	4m@45Deg	Variable
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	46%	Yes
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Front Setback (Min.)	6.5m/3.5m	Variable	Maximum depth of fill (m)	2210mm	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variable			

Denotes New Works

Legend

Denotes Demolished Item



4

STORMWATER PLAN
1:200

Plumber To Confirm Location Of Existing
Stormwater/Sewer Prior To Commencement

**DA APPLICATION
ONLY**
NOT FOR CONSTRUCTION

NOTES
38 Mildred Avenue Manly Vale is zoned R2 Low Density Res.
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
38 Mildred Avenue Manly Vale is not considered a heritage item

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Framed, Framed Walls
Roof Framed to have R1.82 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A389601
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2.
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	751.5m2	Yes	Building envelope	4m@45Deg	Variable
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	46%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variable	Impervious area (m2)	54%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variable	Maximum cut into grd (m)	1046mm	Yes
Front Setback (Min.)	6.5m/3.5m	Variable	Maximum depth of fill (m)	2210mm	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variable			

Rapid Plans
www.rapidplans.com.au
PO Box 6193 Frenchs Forest
NSW 2086
Fax: (02) 9905-8865
Mobile: 0414-945-024
Email: greg@rapidplans.com.au

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BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

ACCREDITED
BUILDING DESIGNER

Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans

Project North

Checked
Plot Date:
Project Status

GBJ
17/09/2020
RP0620GAN
DA

Client
Site:

Sohum Gandhi
38 Mildred Avenue Manly Vale

Sheet Size: A3

DRAWING TITLE :

**SITE AND LOCATION
Stormwater Plan**

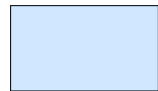
PROJECT NAME :

Alterations & Additions

REVISION NO.

DATE:
15/9/20

DRAWING NO.
DA1019

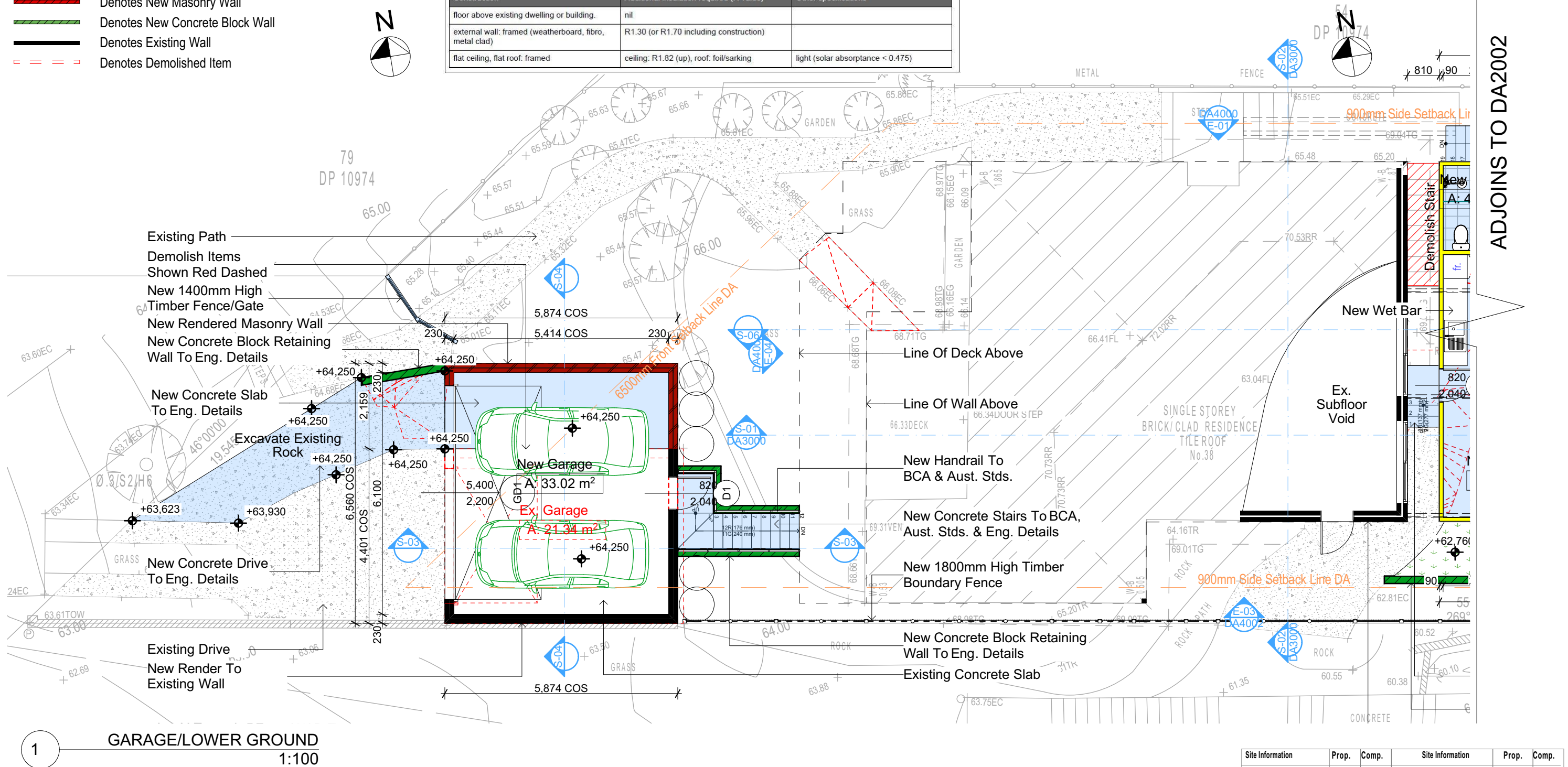


Denotes New Works

Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes New Concrete Block Wall
- Denotes Existing Wall
- Denotes Demolished Item

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, flat roof: framed	ceiling: R1.82 (up), roof: foil/sarking	light (solar absorbance < 0.475)



1 GARAGE/LOWER GROUND 1:100

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES
38 Mildred Avenue Manly Vale is zoned R2 Low Density Res.
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
38 Mildred Avenue Manly Vale is not considered a heritage item

Certifying
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Construction
Framed, Framed Walls
Roof Framed to have R1.82 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A389601
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
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b) insulation specified is not required for parts of altered construction where insulation already exists.
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	751.5m2	Yes	Building envelope	4m@45Deg	Variable
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	46%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variable	Impervious area (m2)	54%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variable	Maximum cut into grd (m)	1046mm	Yes
Front Setback (Min.)	6.5m/3.5m	Variable	Maximum depth of fill (m)	2210mm	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variable			

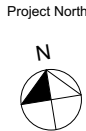


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Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

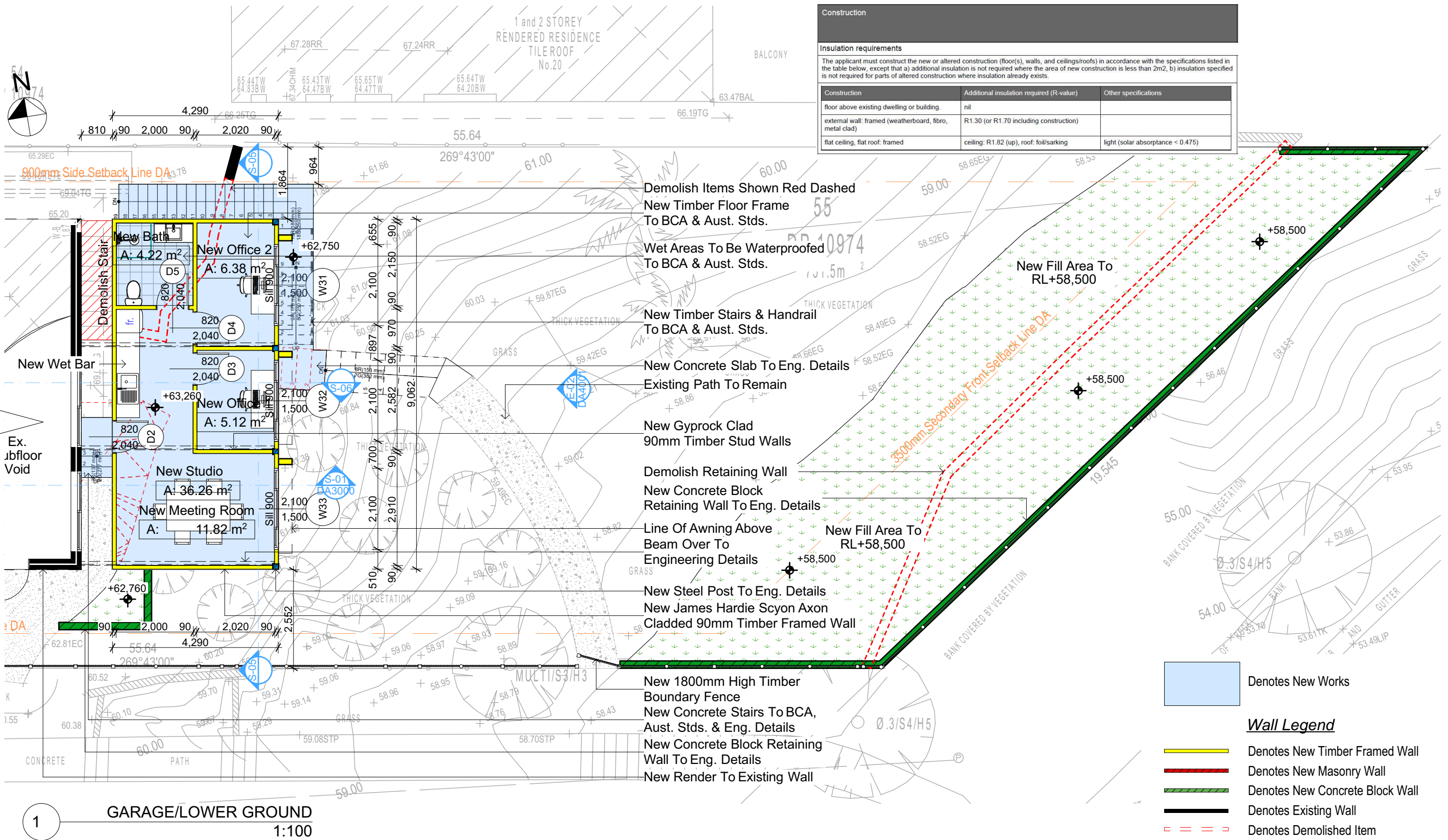


Checked Plot Date: GBJ 17/09/2020
Project NO: RP0620GAN
Project Status: DA
Client: Sohumi Gandhi
Site: 38 Mildred Avenue Manly Vale
Sheet Size: A3

DRAWING TITLE :
PLANS
LOWER GROUND FLOOR
PROJECT NAME :
Alterations & Additions

REVISION NO.
DATE: 15/9/20
DRAWING NO.
DA2001

ADJOINS TO DA2001



NOTES

38 Mildred Avenue Manly Vale is zoned R2 Low Density Res.
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
38 Mildred Avenue Manly Vale is not considered a heritage item

Certifying

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Construction

Framed, Framed Walls
Roof Framed to have R1.82 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A389601
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²,
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Construction

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, flat roof: framed	ceiling: R1.82 (up), roof: foil/sarking	light (solar absorbance < 0.475)

Denotes New Works

Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes New Concrete Block Wall
- Denotes Existing Wall
- Denotes Demolished Item

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	751.5m ²	Yes	Building envelope	4m@45Deg	Variable
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	46%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variable	Impervious area (m ²)	54%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variable	Maximum cut into gnd (m)	1046mm	Yes
Front Setback (Min.)	6.5m/3.5m	Variable	Maximum depth of fill (m)	2210mm	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variable			

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

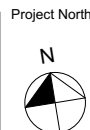


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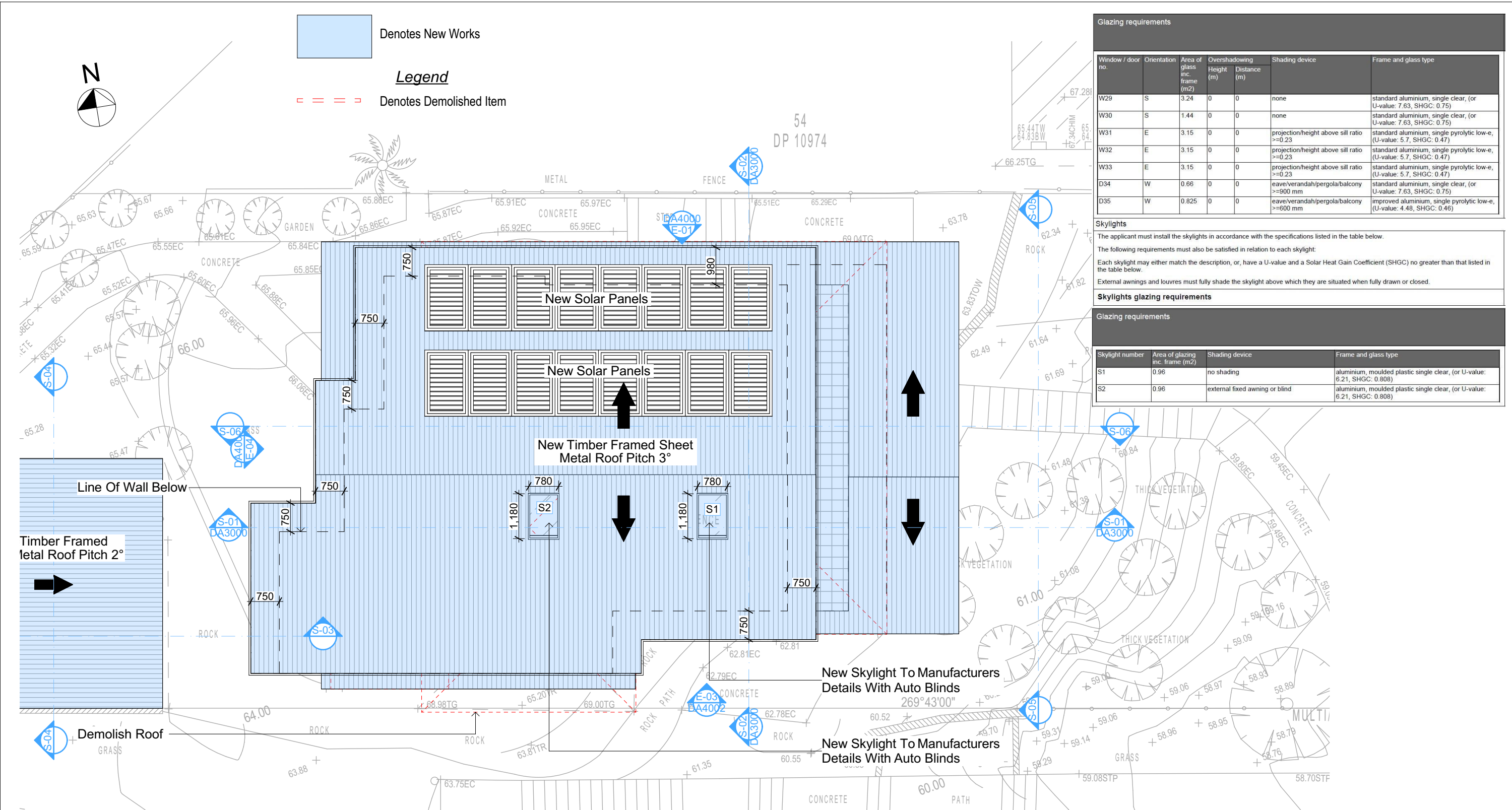
Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Project North
Checked Plot Date: GBJ 17/09/2020
Project NO: RP0620GAN
Project Status: DA
Client: Sohumi Gandhi
Site: 38 Mildred Avenue Manly Vale
Sheet Size: A3

DRAWING TITLE :
PLANS
LOWER GROUND FLOOR 2
PROJECT NAME :
Alterations & Additions

REVISION NO.
DATE: 15/9/20
DRAWING NO.
DA2002



Glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Overshadowing Distance (m)	Shading device	Frame and glass type
W29	S	3.24	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W30	S	1.44	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W31	E	3.15	0	0	projection/height above sill ratio >=0.23	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W32	E	3.15	0	0	projection/height above sill ratio >=0.23	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W33	E	3.15	0	0	projection/height above sill ratio >=0.23	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
D34	W	0.66	0	0	eave/verandah/ pergola/ balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D35	W	0.825	0	0	eave/verandah/ pergola/ balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)

Skylights						
The applicant must install the skylights in accordance with the specifications listed in the table below.						
The following requirements must also be satisfied in relation to each skylight:						
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.						
External awnings and louvres must fully shade the skylight above which they are situated when fully drawn or closed.						
Skylights glazing requirements						
Glazing requirements						
Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type			
S1	0.96	no shading	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)			
S2	0.96	external fixed awning or blind	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)			

Glazing requirements						
Glazing requirements						
Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type			
S1	0.96	no shading	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)			
S2	0.96	external fixed awning or blind	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)			

4 Roof Plan 1:100

DA APPLICATION ONLY NOT FOR CONSTRUCTION

NOTES
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New Works to be constructed shown in Shaded/Blue
38 Mildred Avenue Manly Vale is not considered a heritage item
Certifying
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Construction
Framed, Framed Walls
Roof Framed to have R1.82 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A389601
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Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	751.5m2	Yes	Building envelope	4m@45Deg	Variable
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	46%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variable	Impervious area (m2)	54%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variable	Maximum cut into grd (m)	1046mm	Yes
Front Setback (Min.)	6.5m/3.5m	Variable	Maximum depth of fill (m)	2210mm	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variable			



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Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North
Checked Plot Date: GBJ 17/09/2020 RP0620GAN DA
Project Status
Client Site: Sohun Gandhi 38 Mildred Avenue Manly Vale
Sheet Size: A3

DRAWING TITLE : PLANS ROOF
PROJECT NAME : Alterations & Additions

REVISION NO.
DATE: 15/9/20
DRAWING NO. DA2005

New Skylight To Manufacturers Details With Auto Blinds
New Timber Floor Frame To BCA & Aust. Stds.

+72,360
5 ROOF
+71,860
4 FCL

New Rendered 90mm
Timber Framed Wall

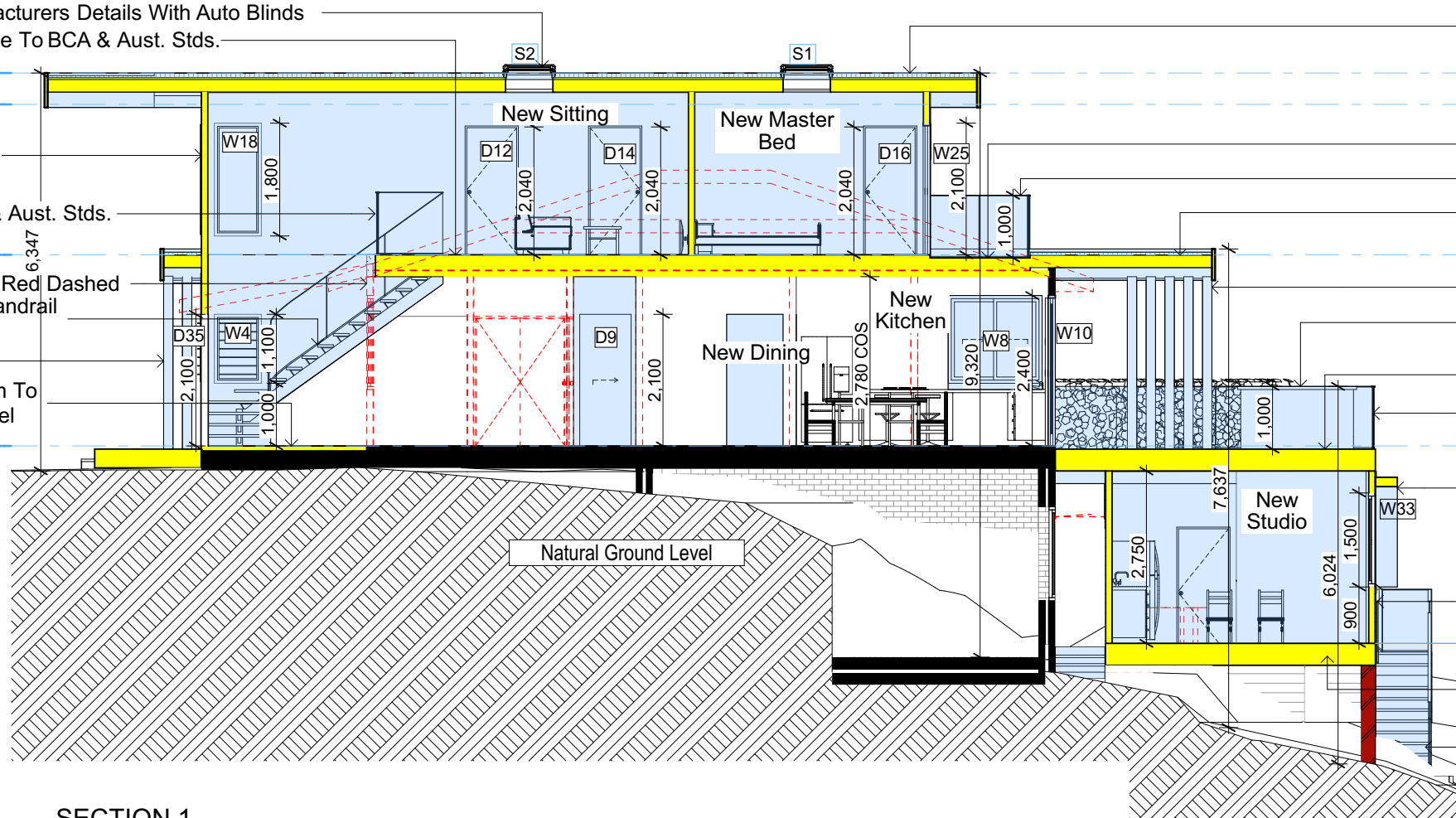
New Handrail To BCA & Aust. Stds.

+69,460
3 FIRST FLOOR

Demolish Items Shown Red Dashed
New Timber Stairs & Handrail
To BCA & Aust. Stds.

New Timber Post
Lift Existing Floor 80mm To
Meet Ground Floor Level

+66,410
2 GROUND FLOOR



SECTION 1
1:100

New Timber Framed Sheet
Metal Roof Pitch 3°

+72,360
5 ROOF
+71,860
4 FCL

New Timber Deck To BCA &
AS1684

New Handrail To BCA & Aust. Stds.
New Timber Framed
Sheet Metal Roof Pitch 2°

+69,460
3 FIRST FLOOR

New Timber Post
New 2KL Lockable Spa To
Manufacturers & Eng. Details
New Timber Deck To BCA &
AS1684

New Handrail To BCA & Aust. Stds.
+66,410

2 GROUND FLOOR
New Min 350mm Wide Awning In
Accordance With Basix Certificate

New James Hardie Scyon Axon
Cladded 90mm Timber Framed Wall
+63,260

1 LWR GROUND
New Timber Floor Frame To BCA &
Aust. Stds.

New Timber Stairs & Handrail To
BCA & Aust. Stds.

New Gyprock Clad 90mm
Timber Stud Walls

+72,360
5 ROOF
+71,860
4 FCL

New Timber Floor Frame
To BCA & Aust. Stds.

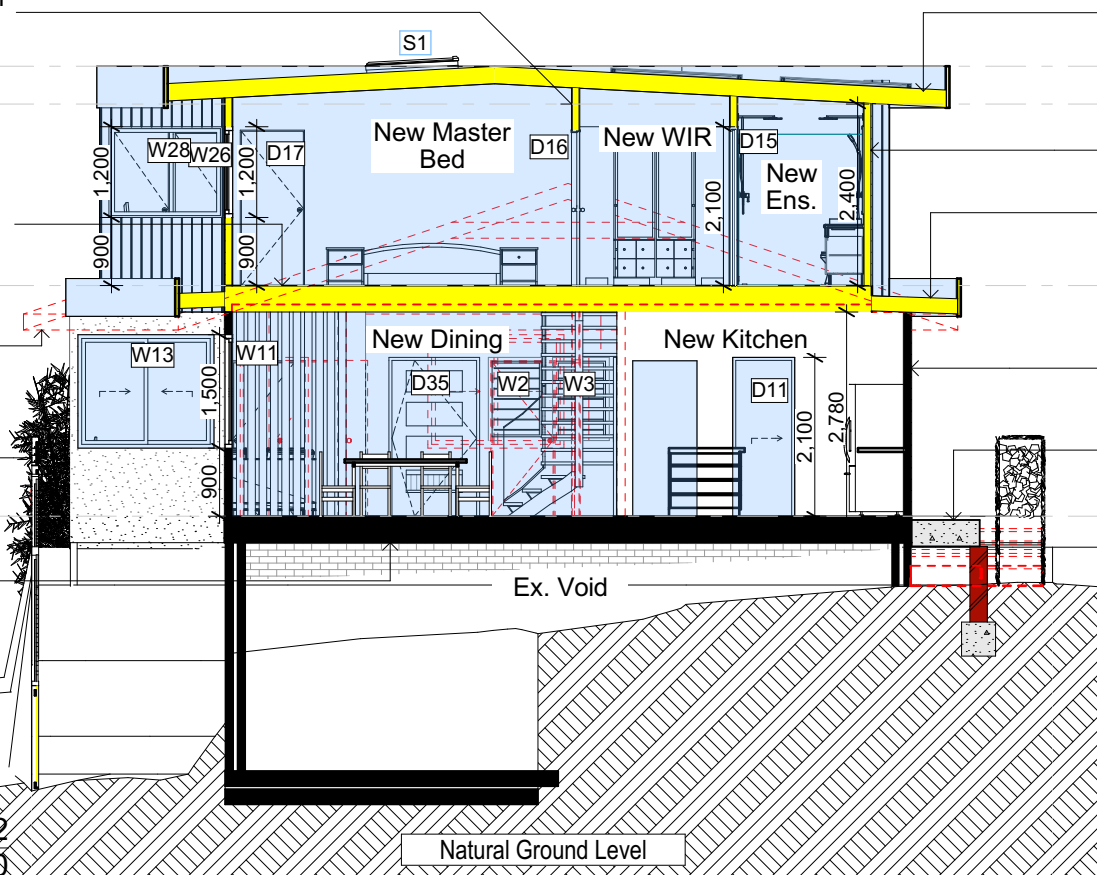
+69,460
3 FIRST FLOOR

Demolish Items
Shown Red Dashed

New 1800mm High
Timber Boundary Fence

+66,410
2 GROUND FLOOR

Existing Timber
Floor Frame



SECTION 2
1:100

New Timber Framed Sheet
Metal Roof Pitch 3°

+72,360
5 ROOF
+71,860
4 FCL

New James Hardie Scyon Axon
Cladded 90mm Timber Framed Wall
New Timber Framed Sheet
Metal Roof Pitch 2°

+69,460
3 FIRST FLOOR

Existing Stud Wall

New Concrete Slab To Eng.
Details

+66,410
2 GROUND FLOOR

	Denotes New Works
	Denotes New Timber Framed Wall
	Denotes New Concrete
	Denotes Existing Wall
	Denotes Demolished Item

Wall Legend

Builder to Check and Confirm all
Measurements Prior to
Commencement of any works.
Immediately Report any Discrepancies
to Rapid Plans

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bdca
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

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NOTES

38 Mildred Avenue Manly Vale is not considered a heritage item.

All Plans to be read in conjunction with Basix Certificate.

New Works to be constructed shown in Shaded/Blue.

Construction

Framed, Framed Walls

Roof Framed to have R1.82 Insulation

Insulation to External Framed Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber Framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS1029-2017

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basix

Basix Certificate Number A389601

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For projections described in millimetres, the leading edge of each eave, gopola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	751.5m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variable
Max Bldg Ht Above Nat. GL	8.5m	Variable
Front Setback (Min.)	6.5m/3.5m	Variable
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Variable
Building envelope	4m@45Deg	Variable
% of landscape open space (40% min)	46%	Yes
Impervious area (m ²)	54%	Yes
Maximum cut into gnd (m)	1046mm	Yes
Maximum depth of fill (m)	2210mm	Yes
No. of car spaces provided	2	Yes

Project North

Drawn | Checked GBJ
Plot Date: 17/09/2020
Project NO.: RP062020GAN
Project Status DA

Client Sohum Gandhi

Site: 38 Mildred Avenue Manly Vale

DRAWING TITLE: SECTIONS
SECTION 1

PROJECT NAME: Alterations & Additions

REVISION NO. DATE
- 15/9/20

DRAWING NO. DA3000

Plot Date: 17/09/2020
Sheet Size: A3

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

Denotes New Works

Wall Legend

Denotes New Timber Framed Wall
Denotes Existing Wall
Denotes Demolished Item

New Timber Framed Sheet
Metal Roof Pitch 3°

+72,360
5 ROOF
+71,860

4 FCL
New James Hardie Scyon Axon
Cladded 90mm Timber Framed Wall

New Timber Framed Sheet
Metal Roof Pitch 2°

+69,460
3 FIRST FLOOR

New Timber Post

New Timber Stairs & Handrail To
BCA & Aust. Stds.
New Timber Floor Frame To
BCA & Aust. Stds.

+66,410
2 GROUND FLOOR

New Skylight To Manufacturers Details With Auto Blinds

+72,360
5 ROOF
+71,860
4 FCL

New Handrail To BCA & Aust. Stds.

Demolish Items Shown Red Dashed

New Timber Framed Sheet
Metal Roof Pitch 2°

+69,460
3 FIRST FLOOR

New Timber Post

New Timber Deck To BCA &
AS1684

New Handrail To
BCA & Aust. Stds.

+66,410
2 GROUND FLOOR

New Min 350mm Wide
Awning In Accordance
With Basix Certificate

New James Hardie Scyon
Axon Cladded 90mm Timber
Framed Wall

New Timber Floor Frame
To BCA & Aust. Stds.

Glazing requirements

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W1	W	1.08	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W2	W	0.825	0	0	projection/height above sill ratio >=0.36	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

Glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W3	W	0.825	0	0	projection/height above sill ratio >=0.36	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W4	N	0.825	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W5	W	3.24	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W6	N	1.08	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W7	N	1.44	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W8	N	2.1	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W9	E	4.2	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W10	E	11.52	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W11	S	5.4	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W12	S	2.7	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W13	E	2.7	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W14	S	2.7	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W15	S	1.08	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

Glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W16	W	3.24	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W17	W	5.22	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W18	N	1.35	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W19	W	3.24	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W20	N	1.44	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W21	N	1.08	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W22	N	0.3	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W23	E	0.6	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W24	E	1.08	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W25	E	8.82	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W26	S	3.24	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W27	S	0.72	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W28	E	1.8	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)

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Rapid Plans
100 Box 6239 Pittwater Forest Dr NSW 2086
Ph: (02) 9350-8845 Mob: 0414-545-024
Email: info@rapidplans.com.au

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
38 Mildred Avenue Manly Vale is zoned R2 Low Density Res.

38 Mildred Avenue Manly Vale is not considered a heritage item.

All Plans to be read in conjunction with Basix Certificate.

New Works to be constructed shown in Shaded/Blue.

Construction
Framed Walls
Roof Framed to have R1.82 Insulation

Refer to Engineers drawings for structural details.

All work to Engineers Specification and BCA.

Timber framing to BCA and AS 1684.

Termite Management to BCA and AS 3660.1.

Glazing to BCA and AS10196-2017.

Waterproofing to BCA and AS 3740.

New Lighting to have minimum of 4 compact fluorescent lamps.

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Carrying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basix
Basix Certificate Number A388601

All Plans to be read in conjunction with Basix Certificate.

The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information

Prop.

Comp.

Site Area

Housing Density (dwelling/m2)

Max Ceiling Ht Above Nat. GL

Max Bldg Ht Above Nat. GL

Front Setback (Min.)

Rear Setback (Min.)

Min. side bdy setback (Min.)

Building envelope

% of landscape open space (40% min)

Impervious area (m2)

Maximum cut into gnd (m)

Maximum depth of fill (m)

No. of car spaces provided

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ

Plot Date: 17/09/2020

Project NO: RP0620GAN

Project Status: DA

Client: Sohum Gandhi

Site: 38 Mildred Avenue Manly Vale

DRAWING TITLE: SECTIONS

SECTION 2

PROJECT NAME: Alterations & Additions

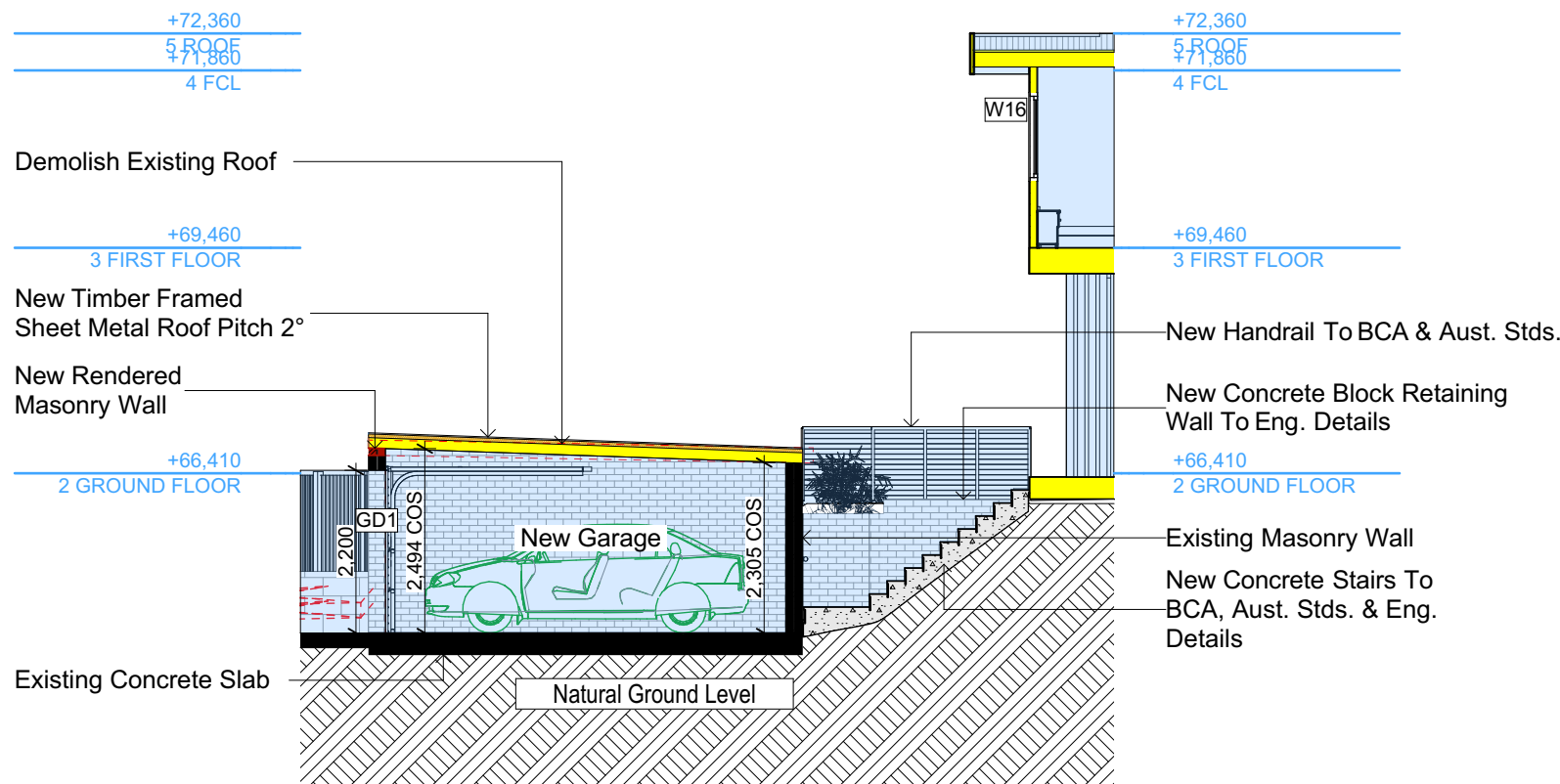
REVISION NO. DATE

- 15/9/20

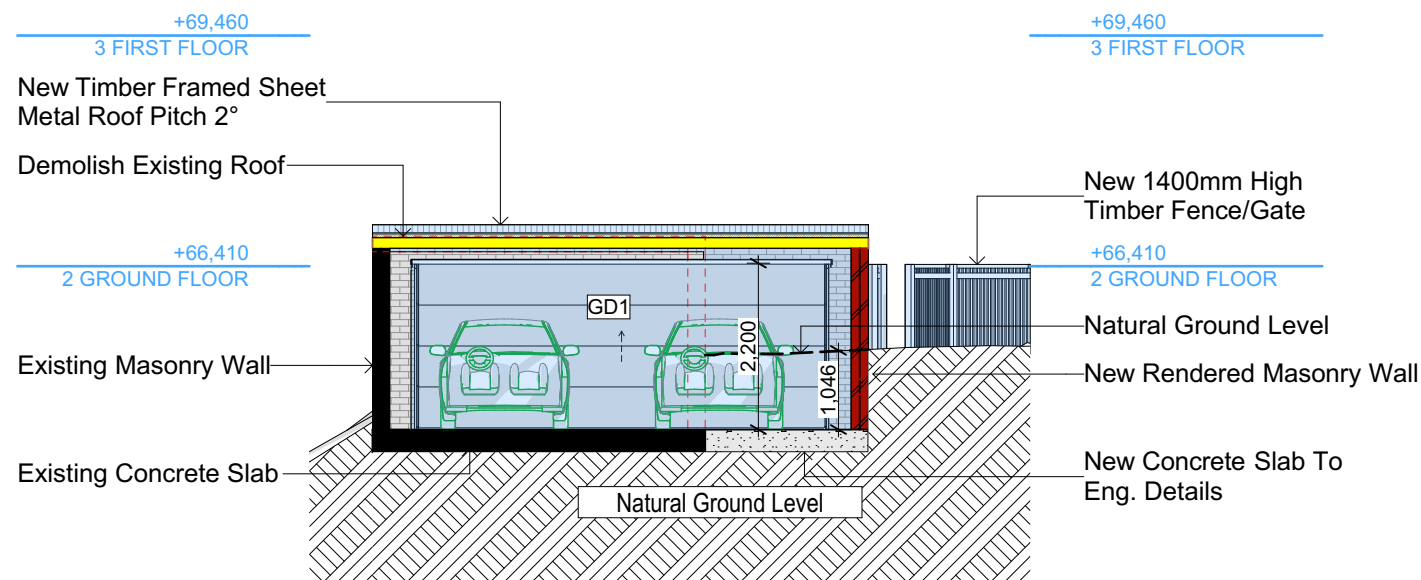
DRAWING NO. DA3001

Plot Date: 17/09/2020

Sheet Size: A3



S-03
-
Section Garage
1:100



S-04
-
Section Garage
1:100

Denotes New Works

Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes New Concrete
- Denotes Existing Wall
- Denotes Demolished Item

Rapid Plans
Building Design and Architectural Drafting

Wendy Plans
PO Box 6239 Fitzroy Vic 3065
Tel: (03) 9350-8545 Mobile: 0414-545-024
Email: wendy@rapidplans.com.au

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
38 Mildred Avenue Manly Vale is zoned R2 Low Density Res.
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue

Construction
Framed, Framed Walls
Roof Framed to have R1.82 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS10798-2007
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
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Basic
Basic Certificate Number A389601
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each space, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	751.5m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variable
Max Bldg Ht Above Nat. GL	8.5m	Variable
Front Setback (Min.)	6.5m/3.5m	Variable
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Variable
Building envelope	4m@ 45Deg	Variable
% of landscape open space (40% min)	46%	Yes
Impervious area (m ²)	54%	Yes
Maximum cut into gnd (m)	1046mm	Yes
Maximum depth of fill (m)	2210mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North
N

Drawn | Checked GBJ
Plot Date: 17/09/2020
Project NO.: RP062020GAN
Project Status DA

Client Sohum Gandhi

Site: 38 Mildred Avenue Manly Vale

DRAWING TITLE :
SECTIONS
SECTION GARAGE

PROJECT NAME:
Alterations & Additions

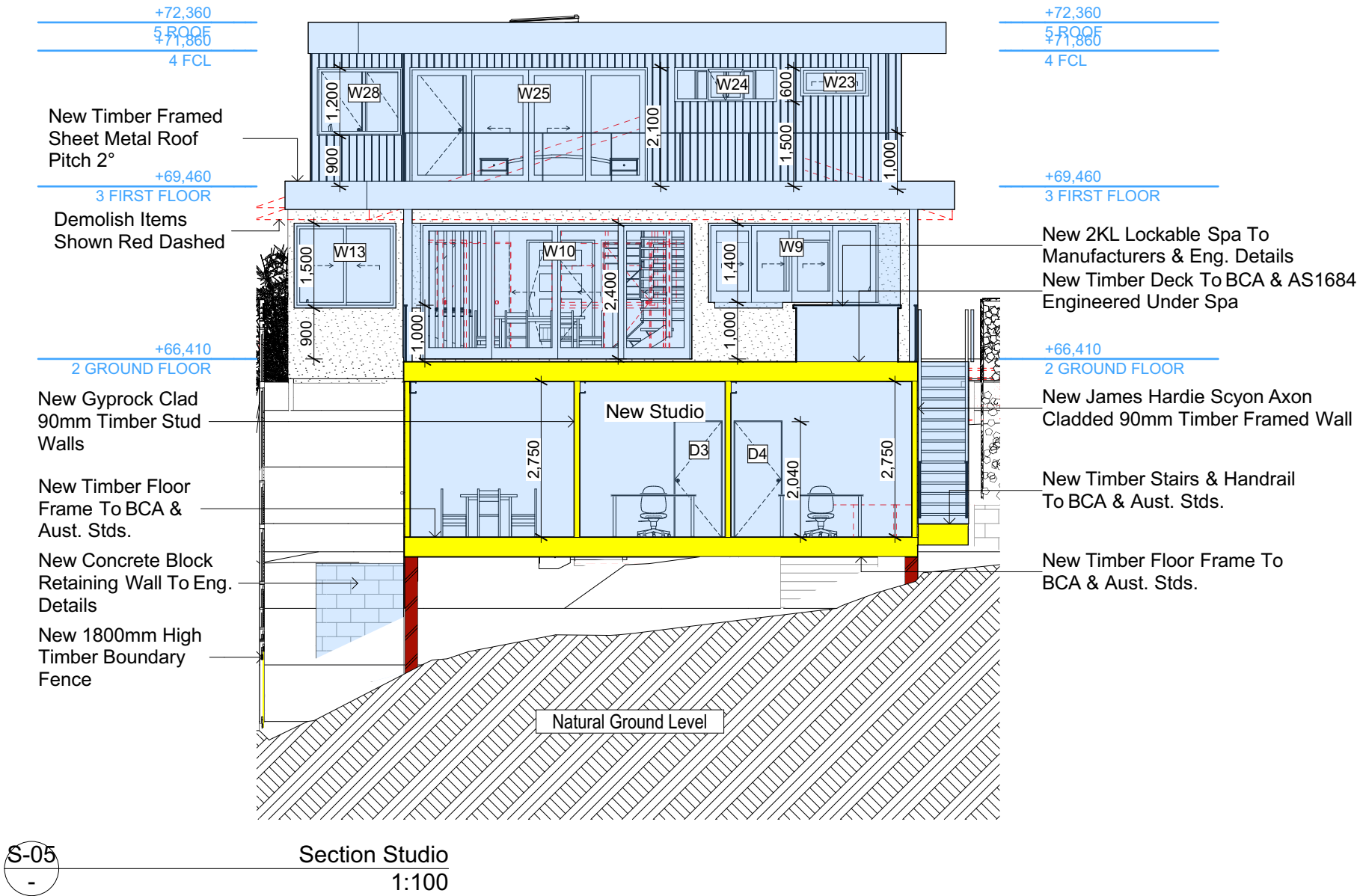
REVISION NO.	DATE
-	15/9/20

DRAWING NO.
DA3002

Plot Date: 17/09/2020
Sheet Size: A3

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Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, flat roof: framed	ceiling: R1.82 (up), roof: foil/sarking	light (solar absorptance < 0.475)



Denotes New Works

Wall Legend

Denotes New Timber Framed Wall

Denotes Demolished Item



Rapid Plans
Building Design and Architectural Drafting

Website: www.rapidplans.com.au
PO Box 6239 Fitzroy Street, DO NSW 2086
Ph: (02) 9350-8845, Mobile: 0414-945-024
Email: info@rapidplans.com.au

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES

38 Mildred Avenue Manly Vale is zoned R2 Low Density Res.

38 Mildred Avenue Manly Vale is not considered a heritage item.

All Plans to be read in conjunction with Basic Certificate.

New Works to be constructed shown in Shaded/Blue.

Construction

Framed, Framed Walls

Roof Framed to have R1.82 Insulation

Insulation to External Framed Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS10798-2047

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

CEILINGING

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Basic

Basic Certificate Number A389601

All Plans to be read in conjunction with Basic Certificate.

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each space, gopost, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	751.5m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variable
Max Bldg Ht Above Nat. GL	8.5m	Variable
Front Setback (Min.)	6.5m/3.5m	Variable
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Variable
Building envelope	4m@ 45Deg	Variable
% of landscape open space (40% min)	46%	Yes
Impervious area (m2)	54%	Yes
Maximum cut into gnd (m)	1046mm	Yes
Maximum depth of fill (m)	2210mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North



Drawn | Checked GBJ
Plot Date: 17/09/2020
Project NO.: RP062020GAN
Project Status DA

Client Sohum Gandhi

Site: 38 Mildred Avenue Manly Vale

DRAWING TITLE : SECTIONS
SECTION Studio

PROJECT NAME :
Alterations & Additions

REVISION NO.	DATE
-	15/9/20
DRAWING NO.	DA3003

Plot Date: 17/09/2020
Sheet Size: A3

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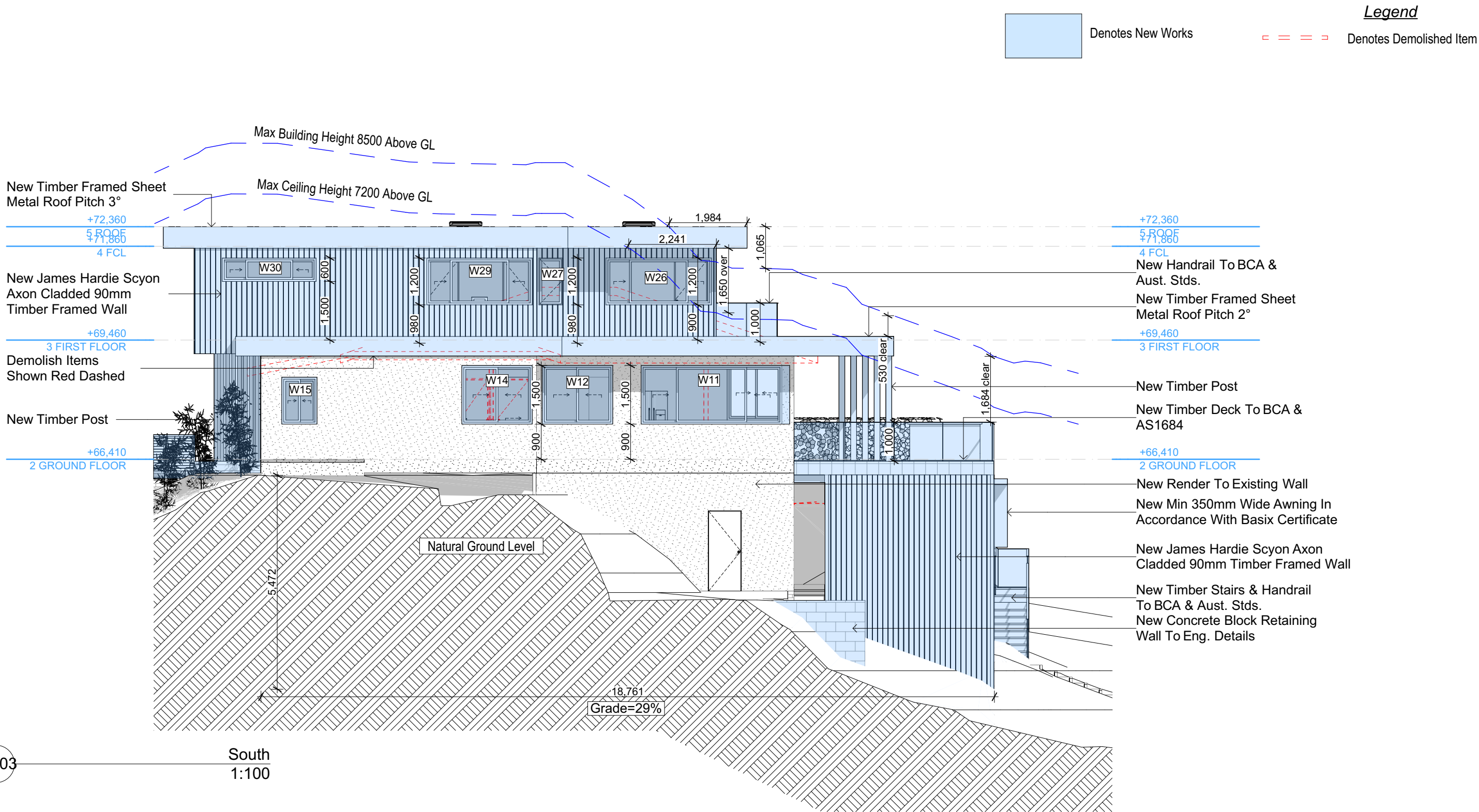


Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing		Shading device	Frame and glass type
			Height (m)	Distance (m)		
W16	W	3.24	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W17	W	5.22	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W18	N	1.35	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W19	W	3.24	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W20	N	1.44	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W21	N	1.08	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W22	N	0.3	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W23	E	0.6	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W24	E	1.08	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W25	E	8.82	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W26	S	3.24	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W27	S	0.72	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W28	E	1.8	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)

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	<p>PROJECT NAME :</p> <p>Alterations</p>
	<p>DATE :</p>

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 <p>Rapid Plans Building Design and Architectural Drafting</p> <p> www.rapidplans.com.au PO Box 4234 Freeway Forest, VIC 3009-2004 Ph: (03) 9596-8598 Mobile: 0424-345-004 Email: enquiries@rapidplans.com.au </p>		
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<p>Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All plans to be read in conjunction with Basic Certificate. All copies of this drawing will be returned to Rapid Plans upon request.</p> <p>The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.</p> <p>NOTES 38 Mildred Avenue Manly Vale is zoned RZ Low Density Residential. 38 Mildred Avenue Manly Vale is not considered a heritage item. All Plans to be read in conjunction with Basic Certificate. New Works To be constructed shown as Shaded/Blue Construction Frame: Framed Walls Roof Framed to have R1.82 Insulation Insulation to External Frame Walls R1.70 Refer to Engineers Drawings for structural details Refer to Engineers Specification and BCA Timber framing to BCA and AS 1844 Termite Management to BCA and AS 3660.1 Glazing to BCA and AS01288-2017 Waterproofing to BCA and AS 3740 New Lighting to have minimum of 40% compact fluorescent lamps All wiring materials and materials shall be in accordance with the requirements of Building Codes of Australia.</p> <p>Certifying The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of Authorised Construction Certificate drawings by Rapid Plans</p> <p>Basic Certificate Number A389601 All Plans to be read in conjunction with Basic Certificate The applicant must construct the new or altered construction floor slab, walls, and ceiling/masonry in accordance with the specifications listed in the table below; except that if additional insulation is not required under the provisions of the Australian Standard AS/NZS 4850.1, insulation specified is not required for parts of altered construction where insulation already exists. The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door. For projections described in millimetres, the leading edge of each base, parapet, sill, balcony or awning must be no more than 500 mm above the height of the window or glazed door and no more than 2400 mm above the sill. Overshadowing balconies or vegetation must be set at the height and distance from the corner of the base of the window and glazed door,</p>		
Site Information	Prop.	Comp.
Site Area	751.5m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variable
Max Bldg Ht Above Nat. GL	8.5m	Variable
Front Setback (Min.)	6.5m/3.5m	Variable
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Variable
Building envelope	4m@ 45Deg	Variable
% of landscape open space	46%	Yes
(40% min)		
Impervious area (m ²)	54%	Yes
Maximum cut into gnd (m)	1046mm	Yes
Maximum depth of fill (m)	2210mm	Yes
No. of car spaces provided	2	Yes
<p align="center">Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans</p>		
<p>Project North</p> 		
<p>Drawn Checked GJ Plot Det DTD 17/09/2020 Project NO. RP062GZO Project Status DA</p>		
Client	Sohum Gandhi	
Site:	38 Mildred Avenue Manly Vale	
<p>DRAWING TITLE : ELEVATIONS ELEVATIONS 1</p>		
<p>PROJECT NAME : Alterations & Additions</p>		
REVISION NO.	DATE	
-	15/9/20	
DRAWING NO.		
DA4000		
Plot Date:	17/09/2020	
Sheet Size:	A3	
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NOTES
38 Mildred Avenue Manly Vale is zoned R2 Low Density Res.
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
38 Mildred Avenue Manly Vale is not considered a heritage item

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Framed, Framed Walls
Roof Framed to have R1.82 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A389601
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m².
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	751.5m ²	Yes	Building envelope	4m@45Deg	Variable
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	46%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variable	Impervious area (m ²)	54%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variable	Maximum cut into grd (m)	1046mm	Yes
Front Setback (Min.)	6.5m/3.5m	Variable	Maximum depth of fill (m)	2210mm	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variable			

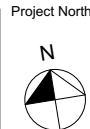


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**Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans**



Checked
Plot Date:
Project NO.
Project Status

GBJ
17/09/2020
RP0620GAN
DA

Client
Site:

Sohum Gandhi
38 Mildred Avenue Manly Vale

Sheet Size: A3

DRAWING TITLE :
**ELEVATIONS
ELEVATIONS 3**

PROJECT NAME :
Alterations & Additions

REVISION NO.
-
DATE:
15/9/20
DRAWING NO.
DA4002

Glazing requirements

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with standard aluminium or timber frames and single clear or tinted glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or tinted/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W1	W	1.08	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W2	W	0.825	0	0	projection/height above sill ratio >=0.36	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

Glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W3	W	0.825	0	0	projection/height above sill ratio >=0.36	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W4	N	0.825	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W5	W	3.24	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W6	N	1.08	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W7	N	1.44	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W8	N	2.1	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W9	E	4.2	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W10	E	11.52	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W11	S	5.4	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W12	S	2.7	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W13	E	2.7	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W14	S	2.7	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W15	S	1.08	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

Glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W16	W	3.24	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W17	W	5.22	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W18	N	1.35	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W19	W	3.24	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W20	N	1.44	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W21	N	1.08	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W22	N	0.3	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W23	E	0.6	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W24	E	1.08	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W25	E	8.82	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W26	S	3.24	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W27	S	0.72	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W28	E	1.8	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)

Denotes New Works

Legend



Denotes New Concrete Block Wall



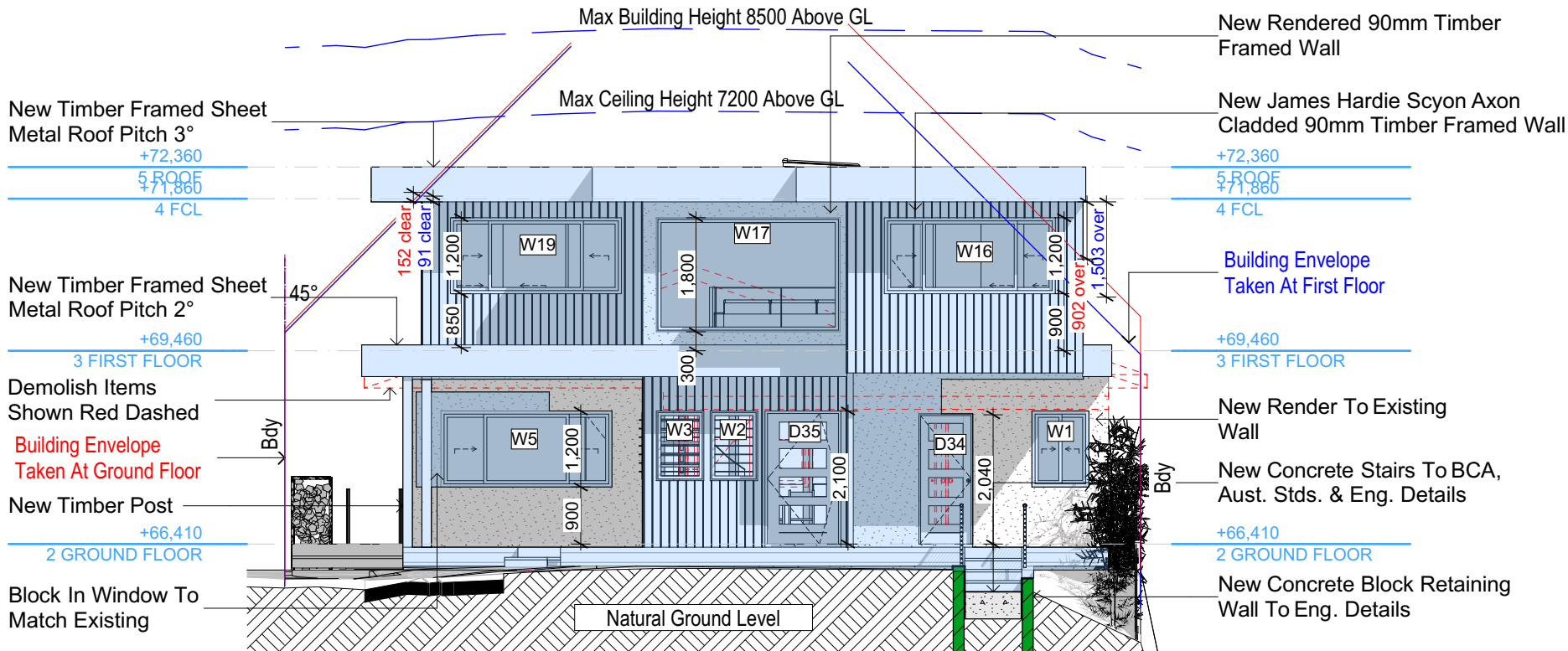
Denotes New Concrete



Denotes Existing Concrete



Denotes Demolished Item



Glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W29	S	3.24	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W30	S	1.44	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W31	E	3.15	0	0	projection/height above sill ratio >=0.23	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W32	E	3.15	0	0	projection/height above sill ratio >=0.23	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W33	E	3.15	0	0	projection/height above sill ratio >=0.23	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
D34	W	0.66	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D35	W	0.825	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)

Skylights

The applicant must install the skylights in accordance with the specifications listed in the table below.

The following requirements must also be satisfied in relation to each skylight:

Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.

External awnings and louvers must fully shade the skylight above which they are situated when fully drawn or closed.

Skylights glazing requirements

Glazing requirements

Skylight number	Area of glazing inc. frame (m ²)	Shading device	Frame and glass type
S1	0.96	no shading	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)
S2	0.96	external fixed awning or blind	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)

NOTES

38 Mildred Avenue Manly Vale is zoned R2 Low Density Res.

All Plans to be read in conjunction with Basix Certificate

New Works to be constructed shown in Shaded/Blue

38 Mildred Avenue Manly Vale is not considered a heritage item

Certifying

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without the written permission of Rapid Plans or the supply of authorised Construction

Certificate drawings by Rapid Plans

Construction

Framed, Framed Walls

Roof Framed to have R1.82 Insulation

Insulation to External Framed Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS01288-2047

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A389601

All Plans to be read in conjunction with Basix Certificate

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b) insulation specified is not required for parts of altered construction where insulation already exists.

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specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window

or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

DA APPLICATION

ONLY

NOT FOR CONSTRUCTION



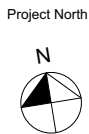
Rapid Plans
www.rapidplans.com.au
PO Box 6193 Frenchs Forest
NSW 1585
Fax: (02) 9905-8865
Mobile: 0414-945-024
Email: greg@rapidplans.com.au

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all Measurements Prior to
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Immediately Report any
Discrepancies to Rapid Plans



Checked
Plot Date:
Project NO.
Project Status

GBJ
17/09/2020
RP0620GAN
DA

Client
Site:

Sohum Gandhi
38 Mildred Avenue Manly Vale

Sheet Size: A3

DRAWING TITLE :

ELEVATIONS
ELEVATIONS 4

PROJECT NAME :

Alterations & Additions

REVISION NO.

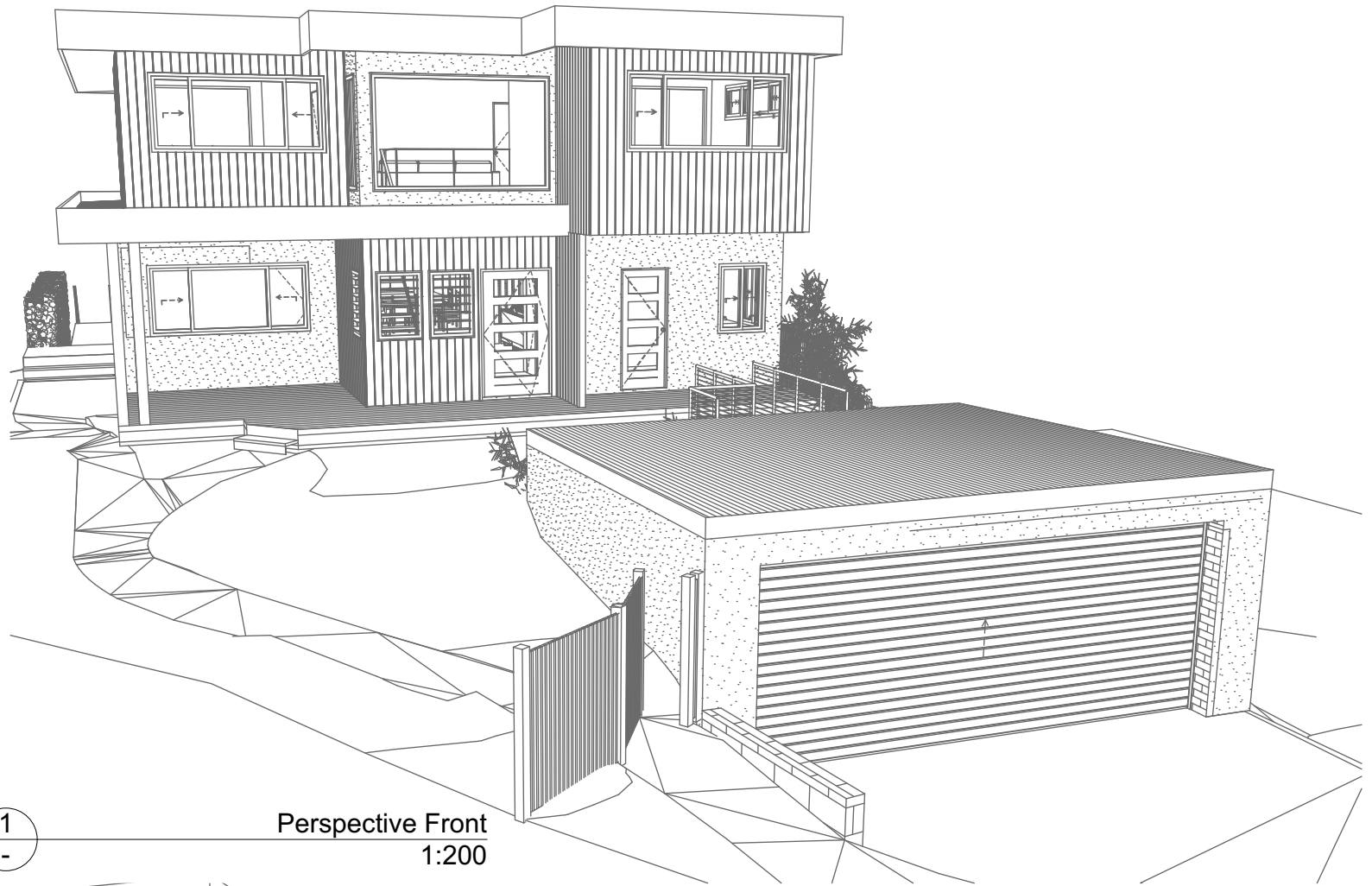
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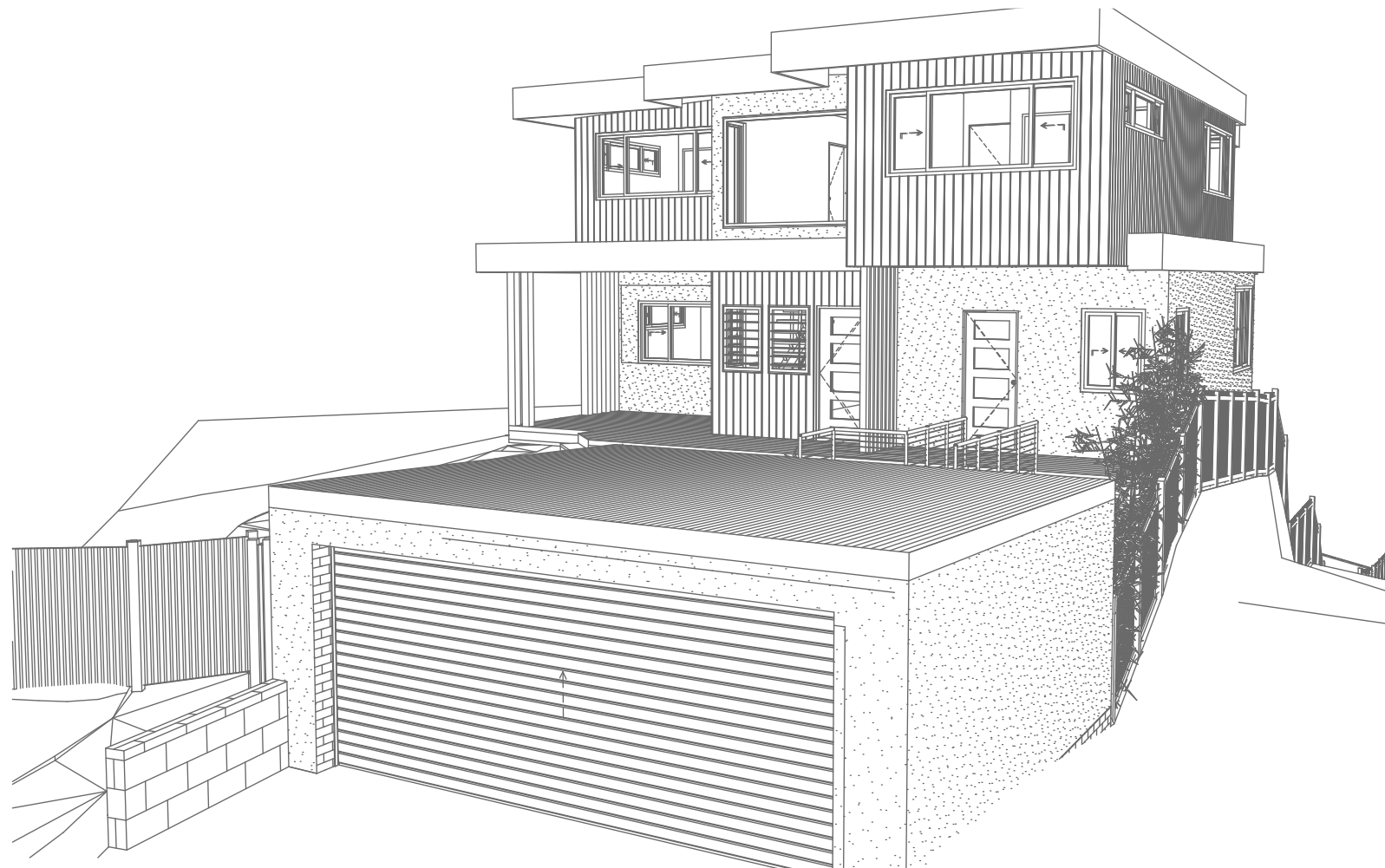
15/9/20

DRAWING NO.

DA4003



1
-
Perspective Front
1:200



2
-
Perspective Front 2
1:200

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NOTES
38 Mildred Avenue Manly Vale is zoned R2 Low Density Res.
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue

Construction
Framed: Framed Walls
Roof Framed to have R1.82 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS/NZS 2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
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Basic
Basic Certificate Number A389601
All Plans to be read in conjunction with Basic Certificate
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For projections described in millimetres, the leading edge of each eave, gopola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	751.5m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variable
Max Bldg Ht Above Nat. GL	8.5m	Variable
Front Setback (Min.)	6.5m/3.5m	Variable
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Variable
Building envelope	4m@ 45Deg	Variable
% of landscape open space (40% min)	46%	Yes
Impervious area (m ²)	54%	Yes
Maximum cut into gnd (m)	1046mm	Yes
Maximum depth of fill (m)	2210mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North



Drawn | Checked GBJ
Plot Date: 17/09/2020
Project NO.: RP0620GAN
Project Status DA

Client Sohum Gandhi

Site: 38 Mildred Avenue Manly Vale

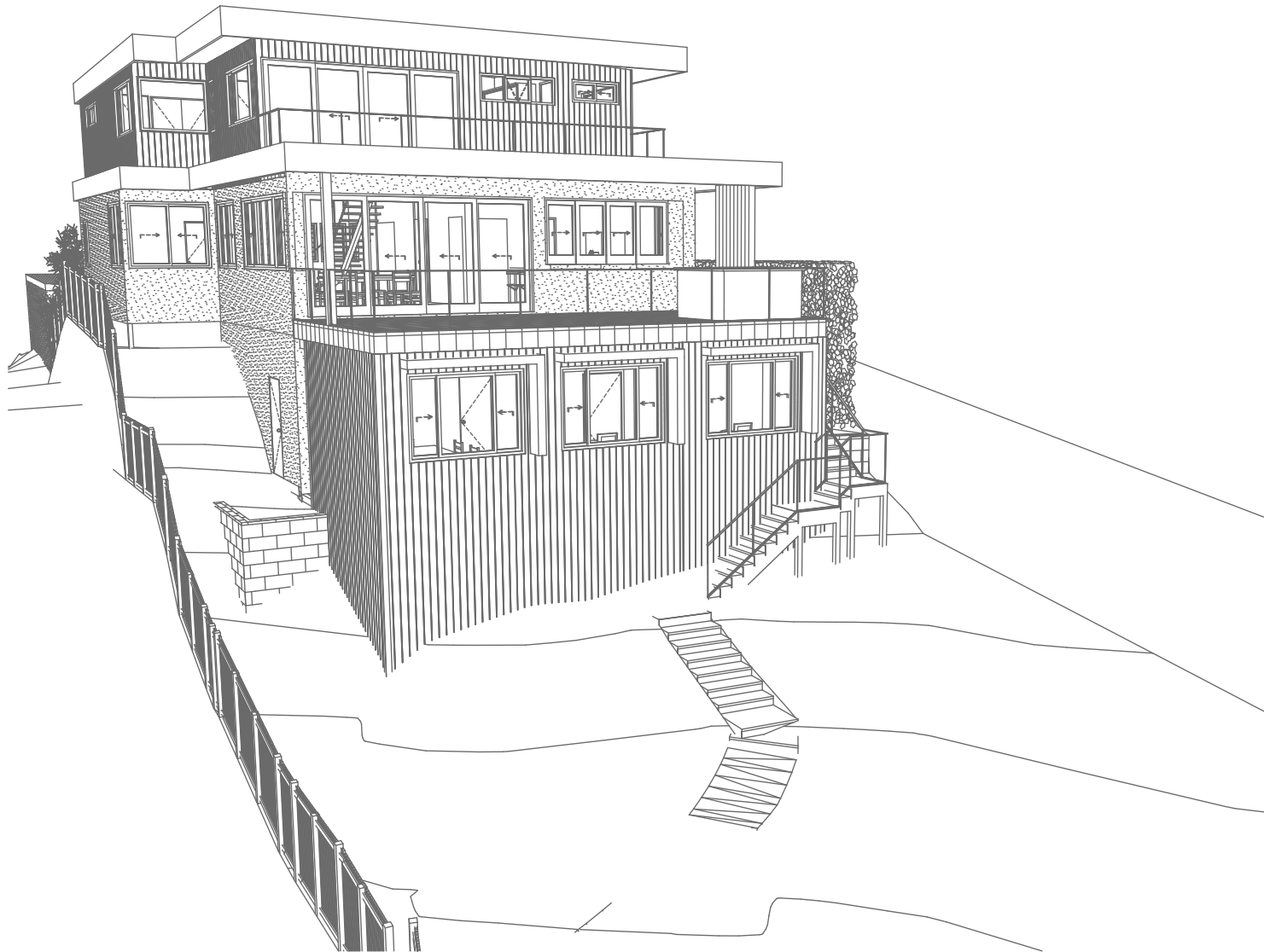
DRAWING TITLE :
SHADOW PLANS
PERSPECTIVE FRONT

PROJECT NAME :
Alterations & Additions

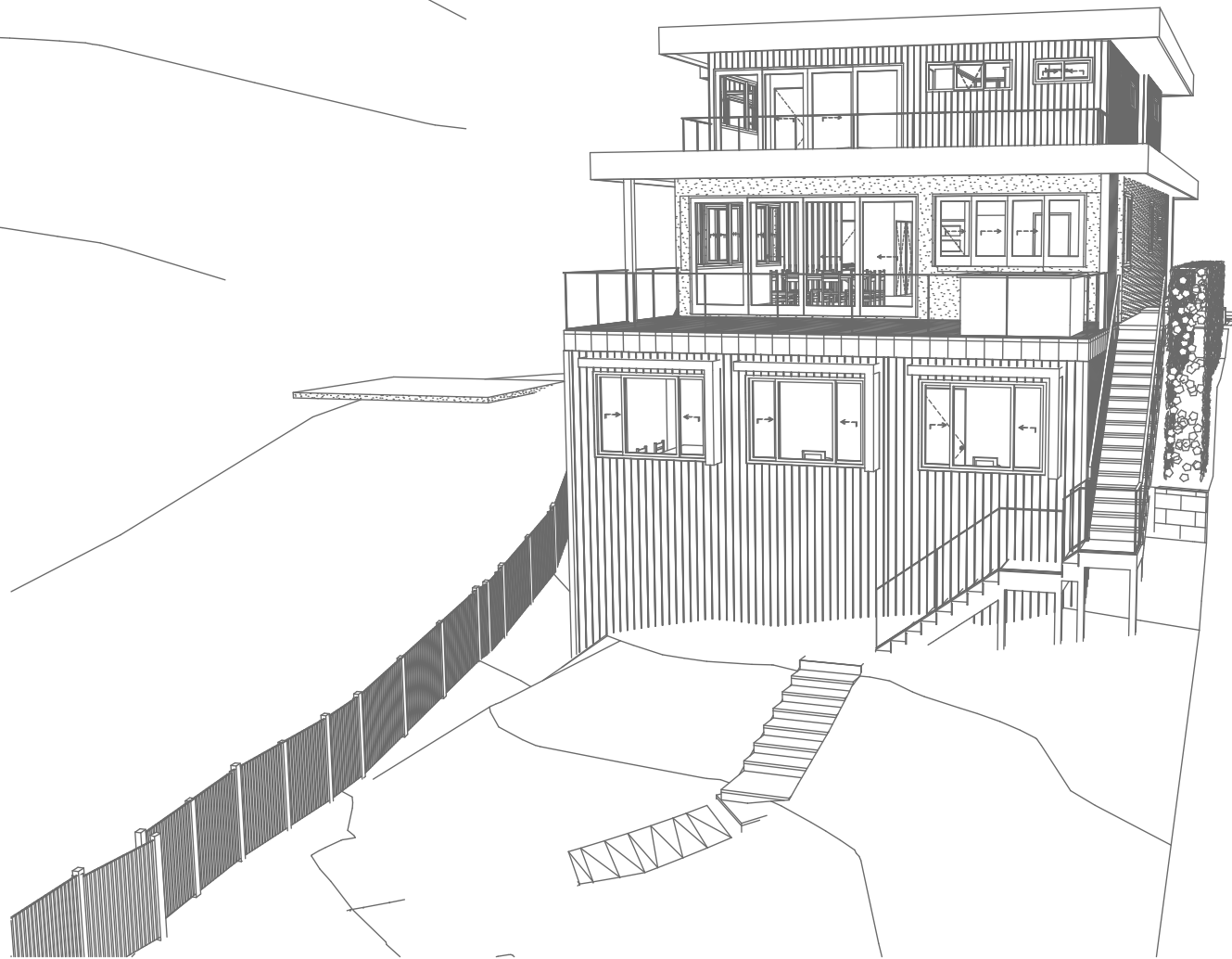
REVISION NO. DATE
- 15/9/20

DRAWING NO.
DA5000

Plot Date: 17/09/2020
Sheet Size: A3



3
-
Perspective Rear
1:200



4
-
Perspective Rear 2
1:200

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Rapid Plans
Building Design and Architectural Drafting

Website: www.rapidplans.com.au
PO Box 6239 Fitzroy Creek QLD 4072
Ph: (07) 5500-8845 Mob: 0414-545-024
Email: info@rapidplans.com.au

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NOTES
38 Mildred Avenue Manly Vale is zoned R2 Low Density Res.
38 Mildred Avenue Manly Vale is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue

Construction
Framed: Framed Walls
Roof Framed to have R1.82 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1743-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
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Basic
Basic Certificate Number A389601
All Plans to be read in conjunction with Basic Certificate
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The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each space, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	751.5m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variable
Max Bldg Ht Above Nat. GL	8.5m	Variable
Front Setback (Min.)	6.5m/3.5m	Variable
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Variable
Building envelope	4m@ 45Deg	Variable
% of landscape open space (40% min)	46%	Yes
Impervious area (m ²)	54%	Yes
Maximum cut into gnd (m)	1046mm	Yes
Maximum depth of fill (m)	2210mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North


Drawn | Checked GBJ
Plot Date: 17/09/2020
Project NO.: RP062020GAN
Project Status DA

Client Sohum Gandhi

Site: 38 Mildred Avenue Manly Vale

DRAWING TITLE :
SHADOW PLANS
PERSPECTIVE REAR

PROJECT NAME :
Alterations & Additions

REVISION NO.	DATE
-	15/9/20

DRAWING NO.:
DA5001

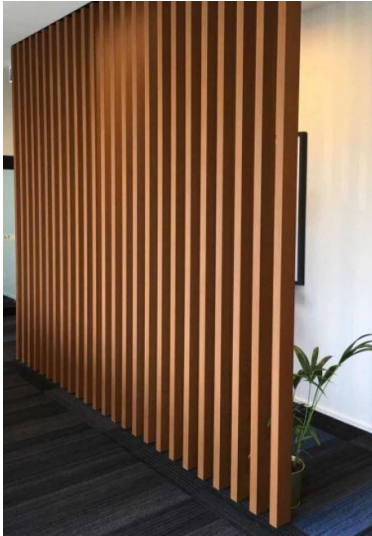
Plot Date: 17/09/2020
Sheet Size: A3



Denotes Timber Deck (Typical).
Builder To Confirm Type & Colour



Denotes Tiled Deck (Typical).
Builder To Confirm Type & Colour



Denotes Decorative Timber Post (Typical).
Builder To Confirm Type & Colour



Denotes Sheet Metal Roof (Typical).
Builder To Confirm Type & Colour



Denotes Skylight (Typical). Builder
To Confirm Type & Colour



Denotes Rendered Wall (Typical).
Builder To Confirm Type & Colour



Denotes James Hardie Scyon Axon
Cladding (Typical). Builder To
Confirm Type & Colour

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NOTES
38 Mildred Avenue Manly Vale is zoned R2 Low Density Res.
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue

Construction
Framed, Framed Walls
Roof Framed to have R1.82 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
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Timber framing to BCA and AS 1554
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Glazing to BCA and AS10798-2047
Waterproofing to BCA and AS 3740
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Basic Certificate Number A389601
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	751.5m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variable
Max Bldg Ht Above Nat. GL	8.5m	Variable
Front Setback (Min.)	6.5m/3.5m	Variable
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Variable
Building envelope	4m@ 45Deg	Variable
% of landscape open space (40% min)	46%	Yes
Impervious area (m ²)	54%	Yes
Maximum cut into gnd (m)	1046mm	Yes
Maximum depth of fill (m)	2210mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North



Drawn | Checked GBJ
Plot Date: 17/09/2020
Project NO.: RP0620GAN
Project Status DA

Client Sohum Gandhi

Site: 38 Mildred Avenue Manly Vale

DRAWING TITLE SHADOW PLANS
**MATERIAL & COLOUR
SAMPLE BOARD**

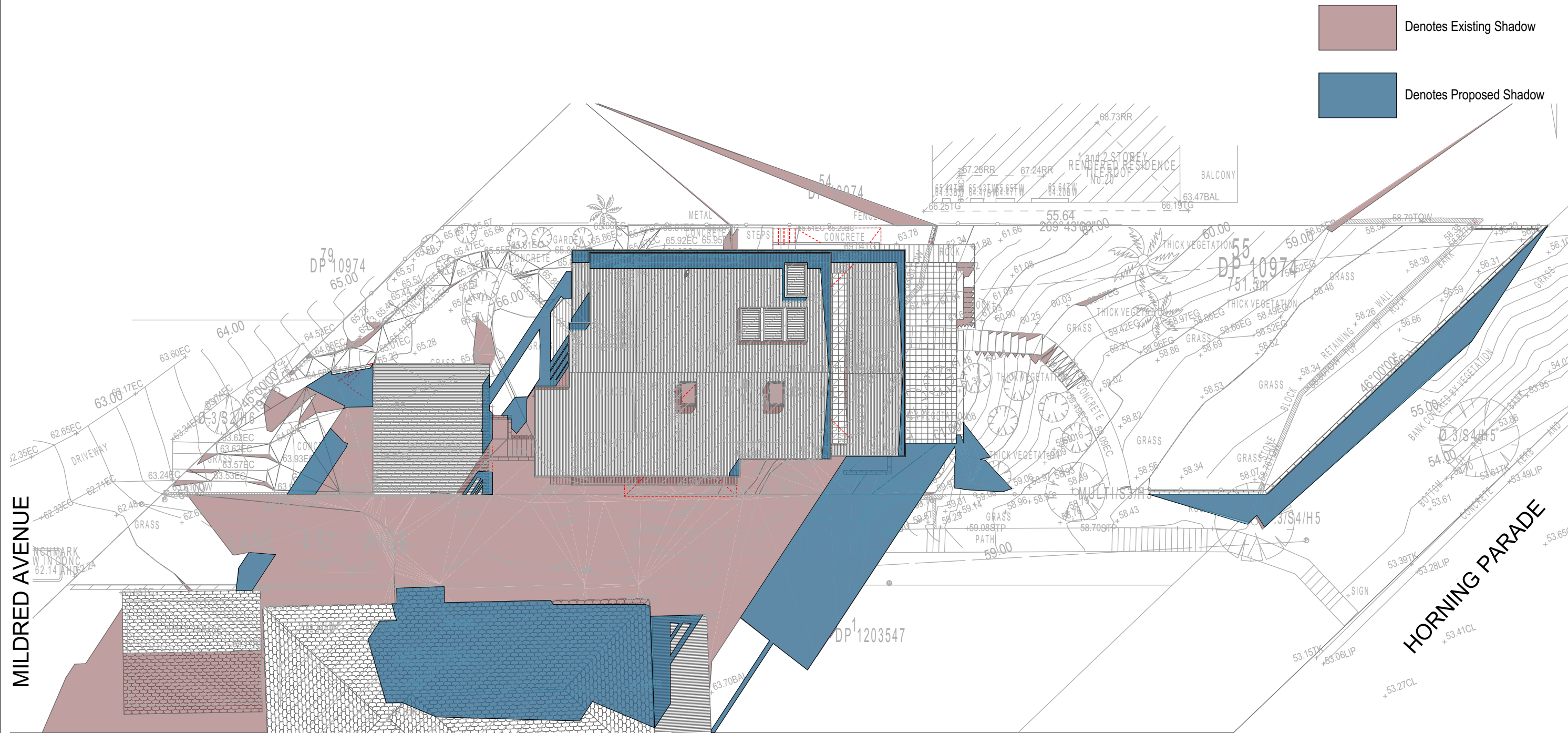
PROJECT NAME:
Alterations & Additions

REVISION NO.	DATE
-	15/9/20

DRAWING NO.
DA5002

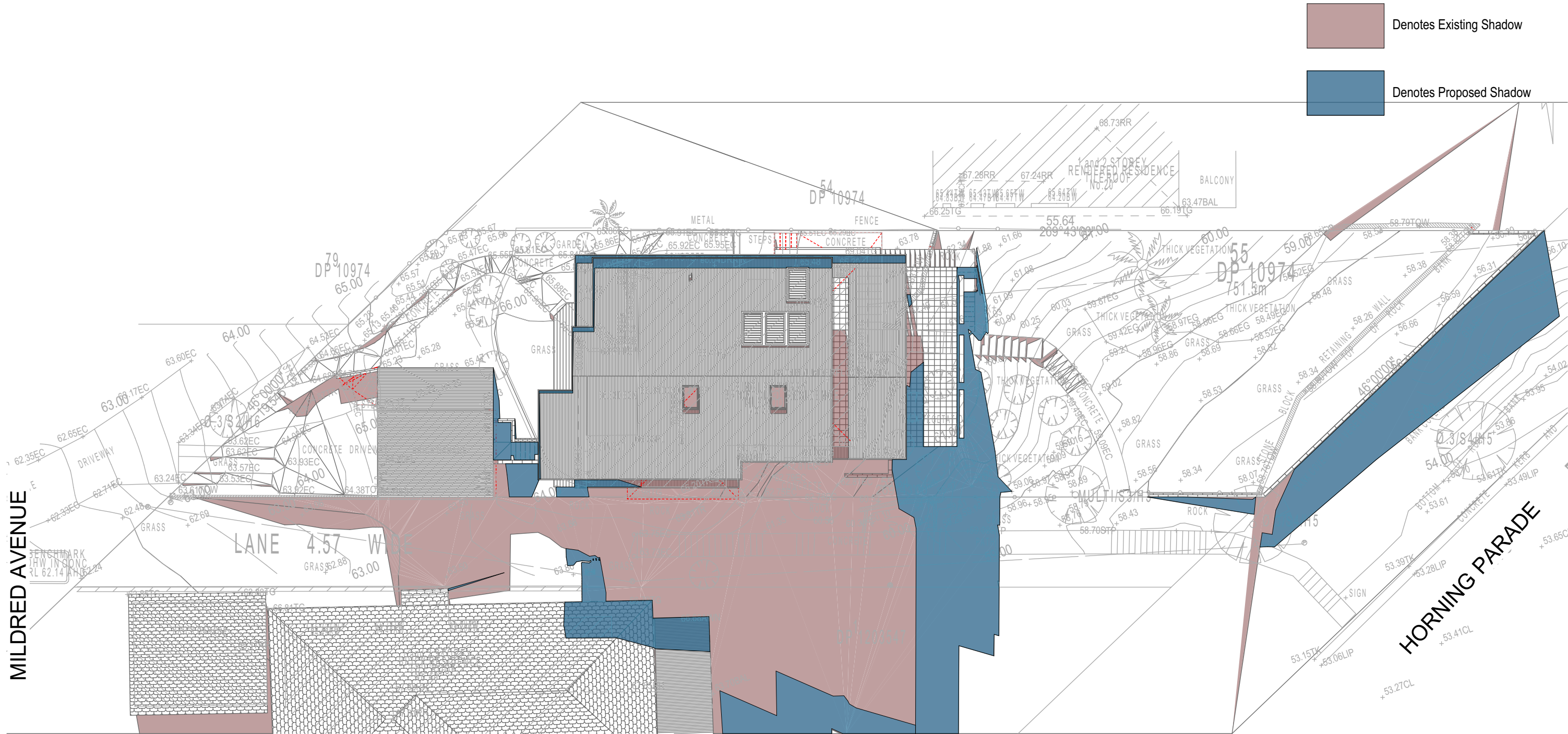
Plot Date: 17/09/2020
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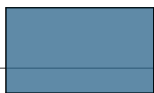


**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

01 SHADOW PLAN 21 JUN at 0900h
1:200



Denotes Existing Shadow



Denotes Proposed Shadow

02

SHADOW PLAN 21 JUN at 1200h
1:200

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**



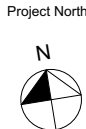
Rapid Plans
www.rapidplans.com.au
PO Box 6193 Frenchs Forest
NSW 2086
Fax: (02) 9905-8865
Mobile: 0414-945-024
Email: greg@rapidplans.com.au

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**Builder to Check and Confirm
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Checked
Plot Date:
Project No.
Project Status

GBJ
17/09/2020
RP0620GAN
DA
Client
Site:
Sohum Gandhi
38 Mildred Avenue Manly Vale

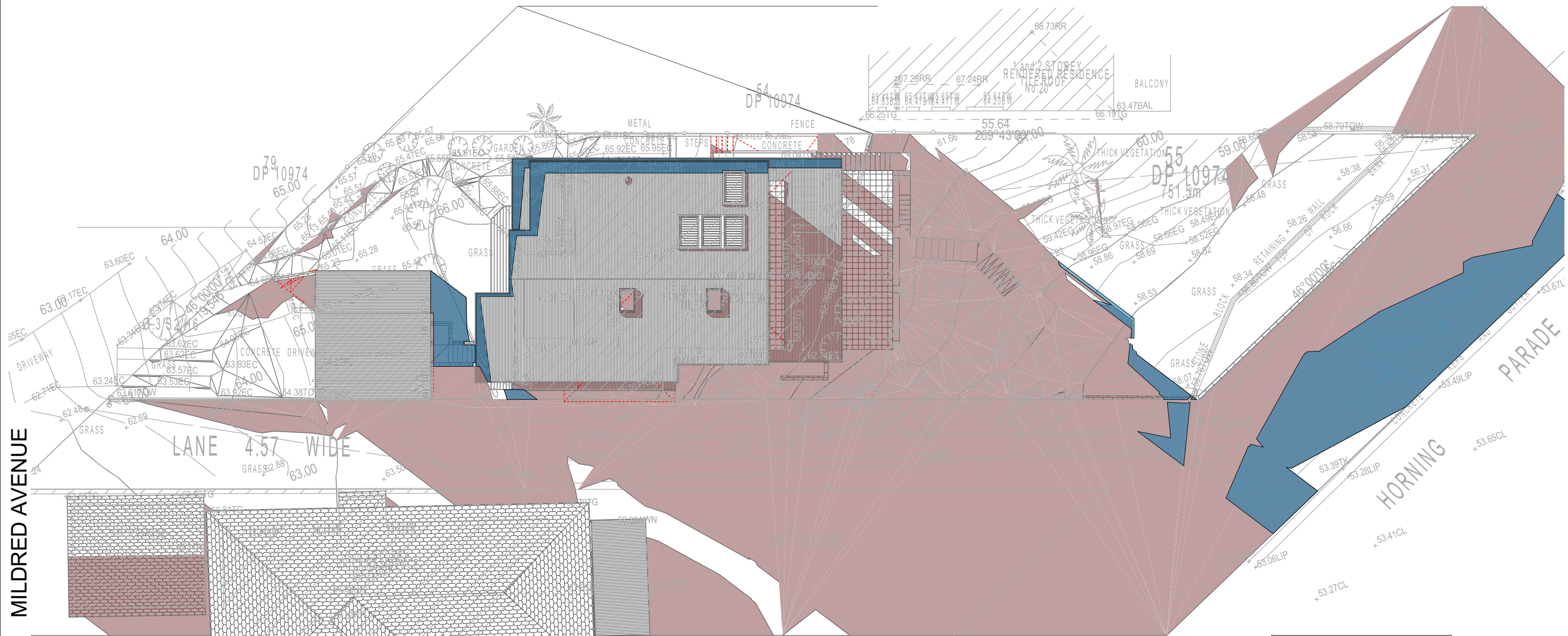
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DRAWING TITLE : SHADOW PLANS
**SHADOW PLAN 21st June
12pm**
PROJECT NAME :
Alterations & Additions

REVISION NO.
-
DATE:
15/9/20
DRAWING NO.
DA5004

Denotes Existing Shadow

Denotes Proposed Shadow



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03

SHADOW PLAN 21 JUN at 1500h
1:200



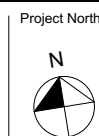
Rapid Plans
www.rapidplans.com.au
PO Box 6193 Frenchs Forest
NSW 2086
Fax: (02) 9905-8865
Mobile: 0414-945-024
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Checked
Plot Date:
Project NO.
Project Status

GBJ
17/09/2020
RP0620GAN
DA

Client
Site:

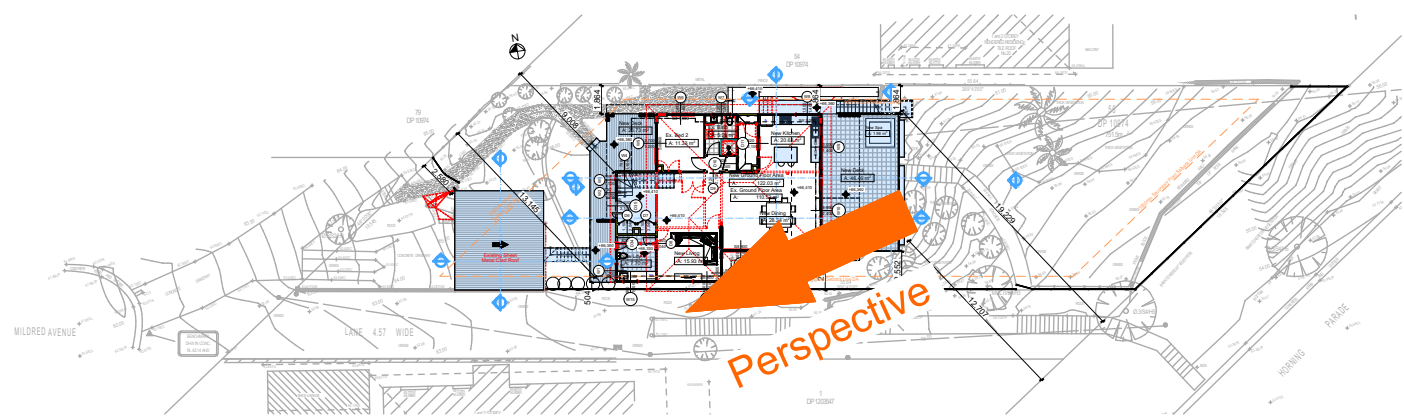
Sohum Gandhi
38 Mildred Avenue Manly Vale

Sheet Size: A3

DRAWING TITLE : SHADOW PLANS
**SHADOW PLAN 21st June
3pm**

PROJECT NAME :
Alterations & Additions

REVISION NO.
-
DATE:
15/9/20
DRAWING NO.
DA5005

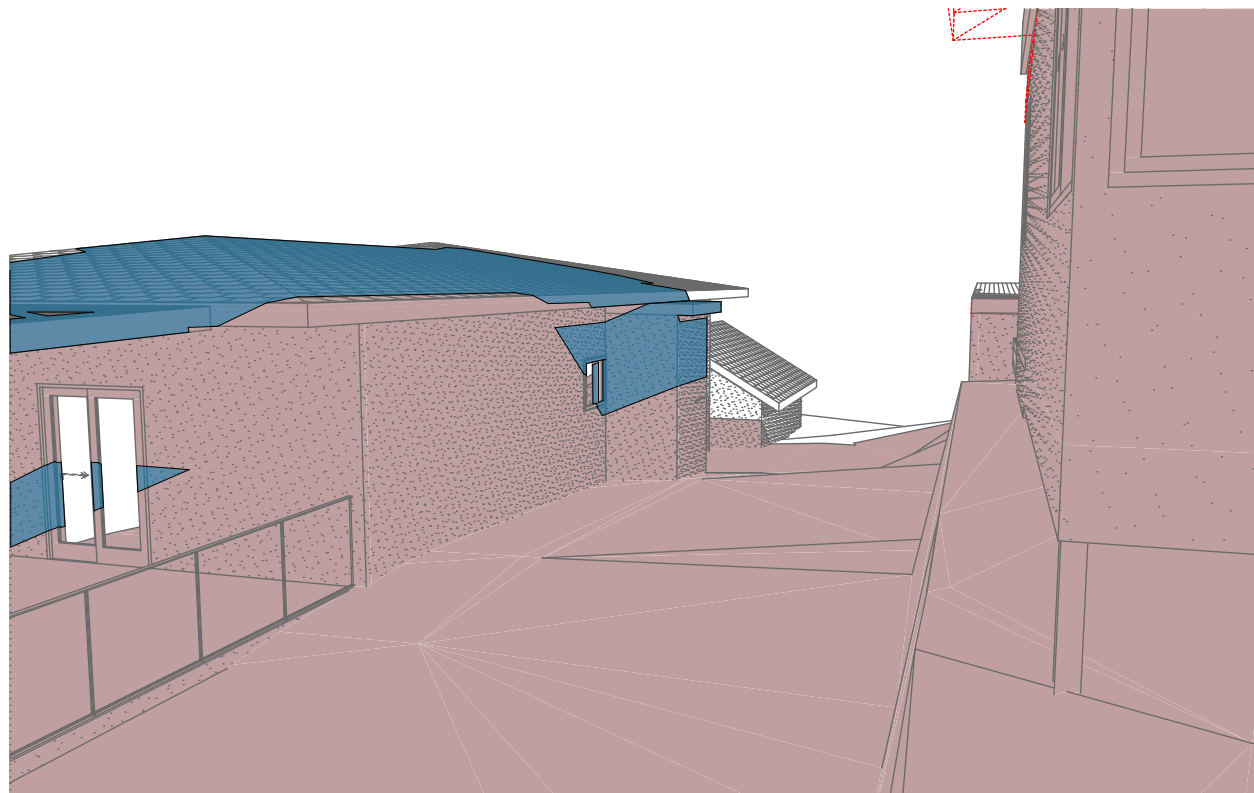


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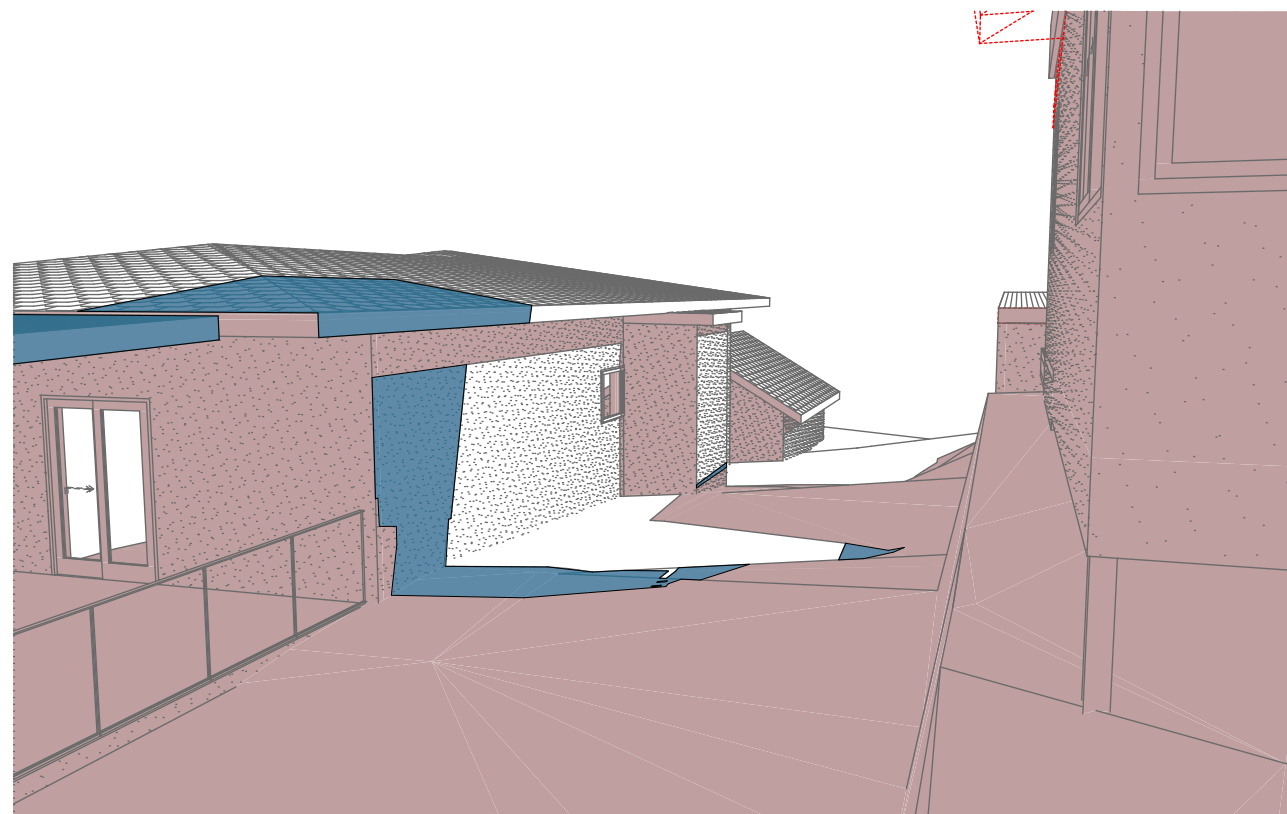
SITE PLAN
1:500

Denotes Existing Shadow

Denotes Proposed Shadow



1 WALL ELEVATION 21 JUN at 0900h
1:298.26



2 WALL ELEVATION 21 JUN at 1200h
1:291.21

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World of Plans
PO Box 6239 Fitzroy Street, DO NSW 2086
Ph: (02) 9550-8845, Mobile: 0414-545-024
Email: info@rapidplans.com.au

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**BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA**

**ACCREDITED
BUILDING DESIGNER**

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NOTES
38 Mildred Avenue Manly Vale is zoned R2 Low Density Res.
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue

Construction
Framed, Framed Walls
Roof Framed to have R1.82 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS10798-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic
Basic Certificate Number A389601
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
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Project North

Drawn | Checked GBJ
Plot Date: 17/09/2020
Project NO.: RP0620GAN
Project Status DA

Client Sohum Gandhi

Site: 38 Mildred Avenue Manly Vale

DRAWING TITLE SHADOW PLANS
WALL ELEVATION SHADOWS

PROJECT NAME:
Alterations & Additions

REVISION NO.	DATE
-	15/9/20

DRAWING NO.
DA5006

Plot Date: 17/09/2020
Sheet Size: A3