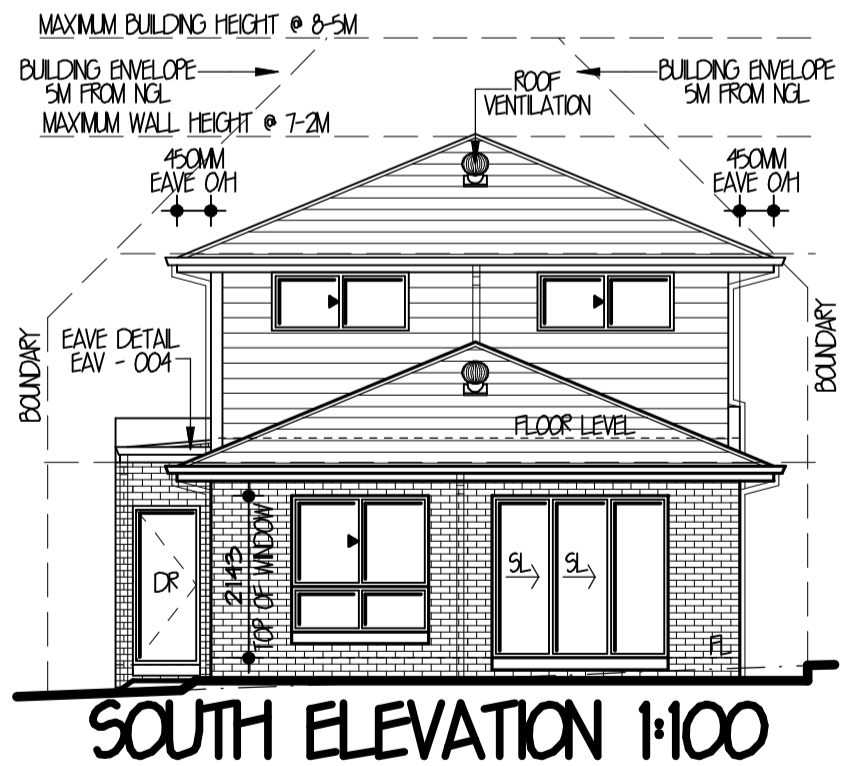


NORTH ELEVATION 1:100



WEST ELEVATION 1:100



SOUTH ELEVATION 1:100



LEVEL 3, 22
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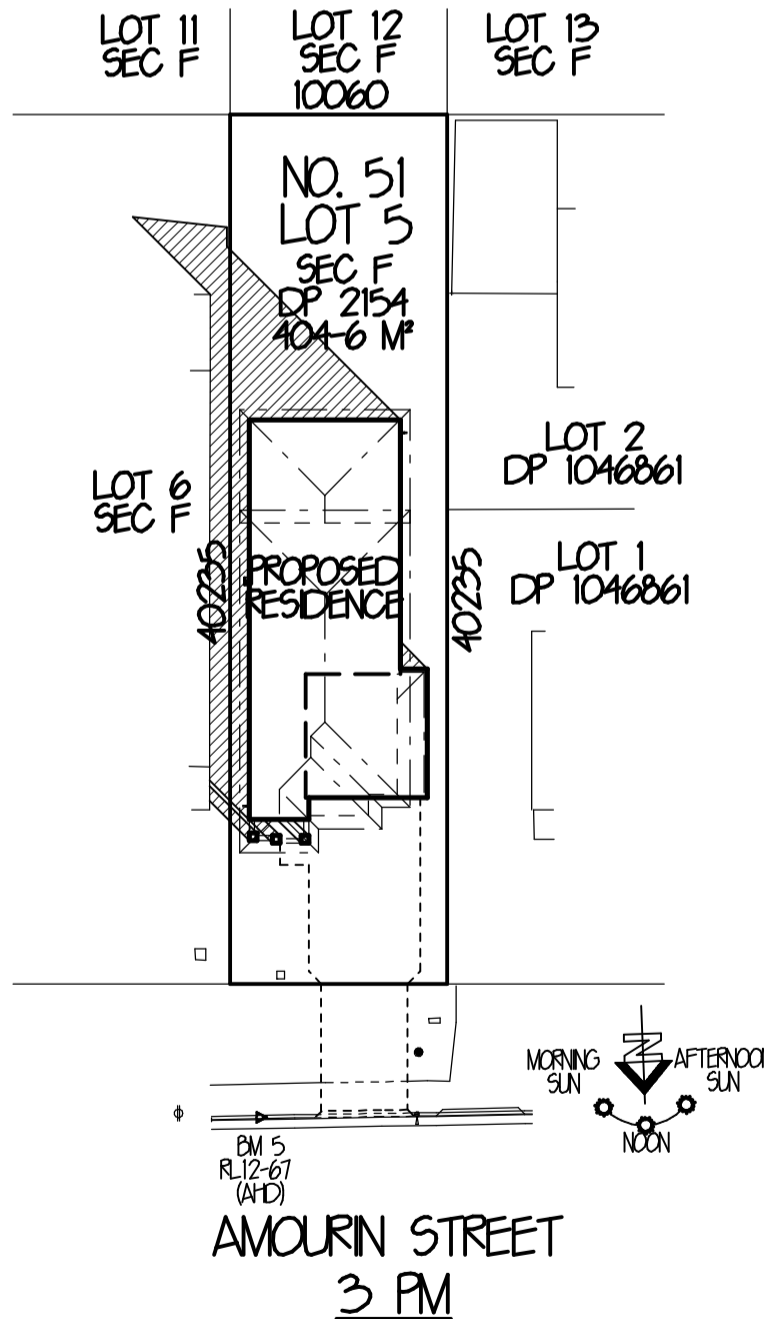
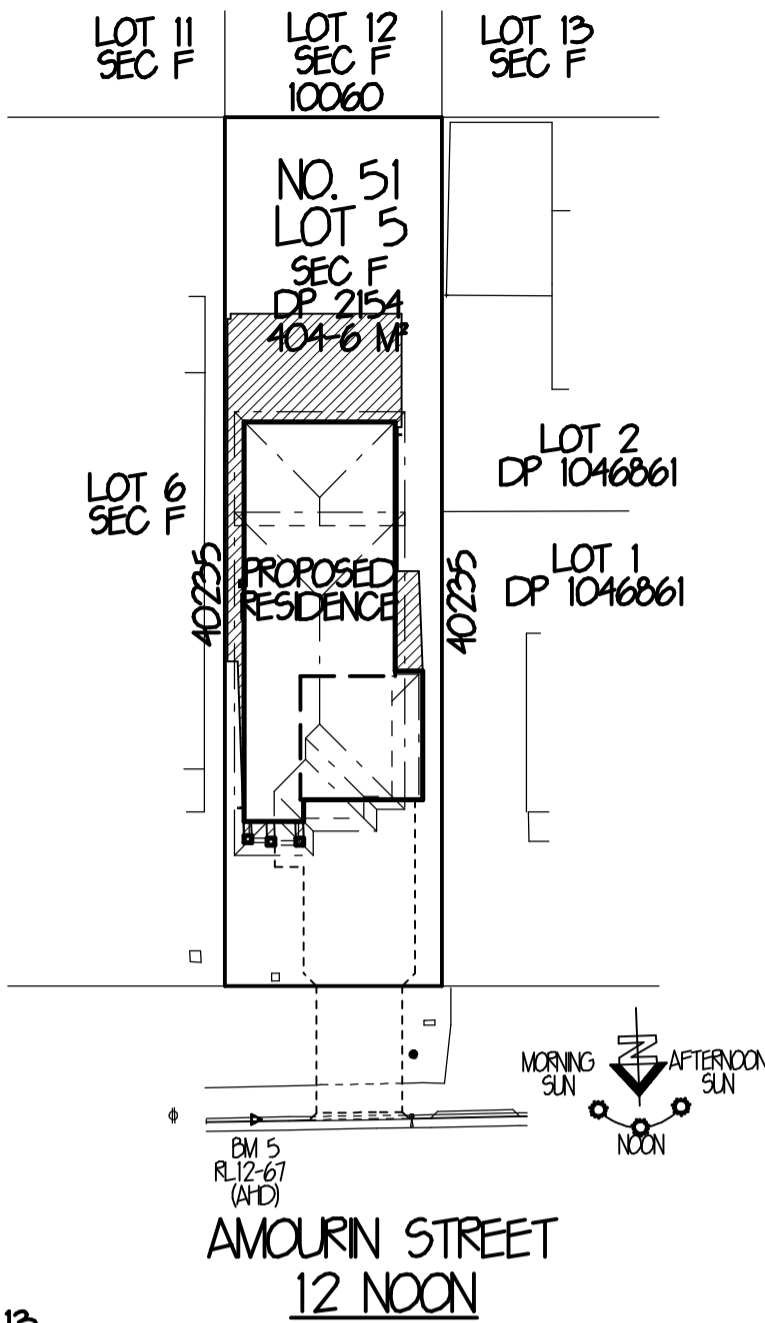
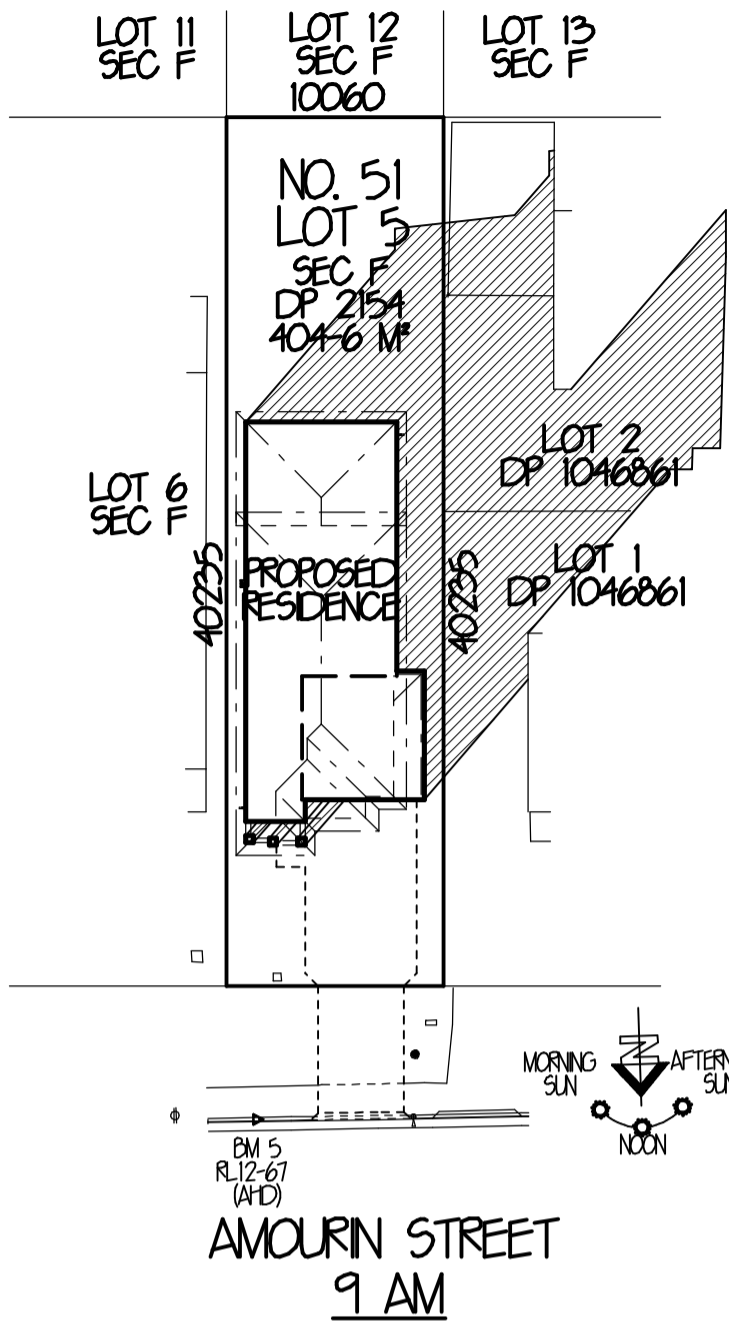
FOR	MR P. COLLINS	UBD AREA 51D REVISIONS MAP177 REF113
AT	LOT 5, 51 AMOURN STREET, NORTH MANLY	DP2154 (SECTION F)
TYPE	TALLOWOOD 24 MK2	JOB NO. 0023885
FACADE	MONTO (ADVANTAGE SERIES)	HAND RH
MASTER	DWG NO. AND-31134	PAGE NO. 4 OF 9



LEVEL 2 SUITE 216
MACARTHUR POINT NO. 25-27
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B	23-7-19	CC PLANS	AL
C	29-8-19	AMENDMENTS/BASIX	JZ
D	30-9-19	AMENDMENT/HYDRALLICS	ED
E	16-10-19	RE-BASIX	DP
F	18-12-19	AMENDMENTS	DT

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FOR **MR P. COLLINS** UBD AREA#10
 REVISION#3
 MAP#177 REF#13

AT **LOT 5, 51 AMOURIN STREET, NORTH MANLY** DP2154
 (SECTION F)

TYPE **TALLOWOOD 24 MK2** JOB NO. **0023885**

FACADE **MONTO** HAND **RH**
 (ADVANTAGE SERIES)

MASTER AND-31134 DWG NO. **AND-31006** PAGE NO. **6 OF 9**

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SHADOW DIAGRAMS

JUNE 21ST MID-WINTER 1:350

SHADOW DIAGRAMS TO BE USED AS A GUIDE ONLY SITE CONDITIONS MAY CAUSE VARIATIONS

(BASIX CERTIFICATE NUMBER: 10373365_02)

STORMWATER / WATER

COLLECTION OF RAINWATER & STORMWATER:
THE APPLICANT MUST INSTALL A RAINWATER TANK ON THE SITE. THE RAINWATER TANK MUST MEET, AND BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ALL APPLICABLE REGULATORY AUTHORITIES

RAINWATER TANK:
THE APPLICANT MUST CONFIGURE THE RAINWATER TANK TO COLLECT RUNOFF FROM AT LEAST 60 SQM OF THE ROOF AREA OF THE DWELLING

THE APPLICANT MUST CONNECT THE RAINWATER TANK TO ALL THE TOILETS IN THE DEVELOPMENT, SO THAT RAINWATER CAN BE USED FOR TOILET FLUSHING.

THE APPLICANT MUST CONNECT THE RAINWATER TANK TO THE COLD WATER TAP THAT SUPPLIES EACH CLOTHES WASHING MACHINE IN THE DEVELOPMENT, SO THAT RAINWATER CAN BE USED FOR CLOTHES WASHING.

THE APPLICANT MUST CONNECT THE RAINWATER TANK TO A LEAST ONE OUTDOOR TAP IN THE DEVELOPMENT SO THAT RAINWATER CAN BE USED TO IRRIGATE VEGETATED AREAS OF THE SITE.

THE RAINWATER TANK MUST HAVE A CAPACITY OF AT LEAST 3000 LITRES.

SHOWERHEADS:
THE APPLICANT MUST INSTALL SHOWERHEADS WITH A MINIMUM RATING OF 3 STAR (>75 BUT ≤9 L/MIN) IN ALL SHOWERS IN THE DEVELOPMENT

TOILETS:
THE APPLICANT MUST INSTALL A TOILET FLUSHING SYSTEM WITH A MINIMUM RATING OF 4 STAR IN EACH TOILET IN THE DEVELOPMENT.

TAP FITTINGS:
THE APPLICANT MUST INSTALL TAPS WITH A MINIMUM FLOW RATE OF 4 STAR IN THE KITCHEN IN THE DEVELOPMENT.

THE APPLICANT MUST INSTALL BATHROOM TAPS (OTHER THAN SHOWERHEADS) WITH A MINIMUM FLOW RATE OF 4 STAR IN EACH BATHROOM IN THE DEVELOPMENT

ENERGY

HOT WATER:
THE APPLICANT MUST INSTALL THE FOLLOWING HOT WATER SYSTEM IN THE DEVELOPMENT:
GAS INSTANTANEOUS - 6 STARS.

ACTIVE COOLING:
THE APPLICANT MUST INSTALL THE FOLLOWING COOLING SYSTEMS IN THE DEVELOPMENT, OR SYSTEMS WITH A HIGHER ENERGY RATING: 1 LIVING AREA: 3 PHASE AIRCONDITIONING: ENERGY RATING: EER 30-35, 1 BEDROOM: 3 PHASE AIRCONDITIONING: ENERGY RATING: EER 30-35

ACTIVE HEATING:
THE APPLICANT MUST INSTALL THE FOLLOWING HEATING SYSTEMS IN THE DEVELOPMENT, OR SYSTEMS WITH A HIGHER ENERGY RATING: 1 LIVING AREA: 3 PHASE AIRCONDITIONING: ENERGY RATING: EER 35 - 40, 1 BEDROOM: 3 PHASE AIRCONDITIONING: ENERGY RATING: EER 35 - 40

VENTILATION:
THE APPLICANT MUST INSTALL THE FOLLOWING EXHAUST SYSTEMS IN THE DEVELOPMENT:
AT LEAST 1 BATHROOM: INDIVIDUAL FAN DUCTED TO FACADE OR ROOF: OPERATION CONTROL: MANUAL SWITCH ON/OFF
KITCHEN: INDIVIDUAL FAN DUCTED TO FACADE OR ROOF: OPERATION CONTROL: MANUAL SWITCH ON/OFF
LAUNDRY: NATURAL VENTILATION ONLY, OR NO LAUNDRY: OPERATION CONTROL: N/A

NATURAL LIGHTING:
THE APPLICANT MUST INSTALL A WINDOW AND/OR SKYLIGHT IN 3 BATHROOM(S)/TOILET(S) IN THE DEVELOPMENT FOR NATURAL LIGHTING.

THE APPLICANT MUST INSTALL A WINDOW AND/OR SKYLIGHT IN THE KITCHEN OF THE DWELLING FOR NATURAL LIGHTING

ARTIFICIAL LIGHTING:
THE APPLICANT MUST INSURE THAT THE "PRIMARY TYPE OF ARTIFICIAL LIGHTING" IS FLUORESCENT OR LED LIGHTING IN THE FOLLOWING ROOMS:

- AT LEAST 5 OF THE BEDROOMS/STUDY
- ALL HALLWAYS
- AT LEAST 3 OF THE LIVING/DINING AREAS
- THE KITCHEN
- THE LAUNDRY

AS WELL AS THESE ROOMS THE APPLICANT MUST ALSO ENSURE THAT THE PRINCIPLES APPLY TO ANYWHERE THE WORD "DEDICATED" APPEARS.

FITTINGS FOR THESE LIGHTS MUST ONLY BE CAPABLE OF ACCEPTING FLUORESCENT OR LED LAMPS

COOKING:
THE APPLICANT MUST INSTALL A GAS COOKTOP & ELECTRIC OVEN IN THE KITCHEN OF THE DWELLING.

OTHER:
THE APPLICANT MUST INSTALL A FIXED OUTDOOR CLOTHES DRYING LINE AS PART OF THE DEVELOPMENT

THERMAL COMFORT

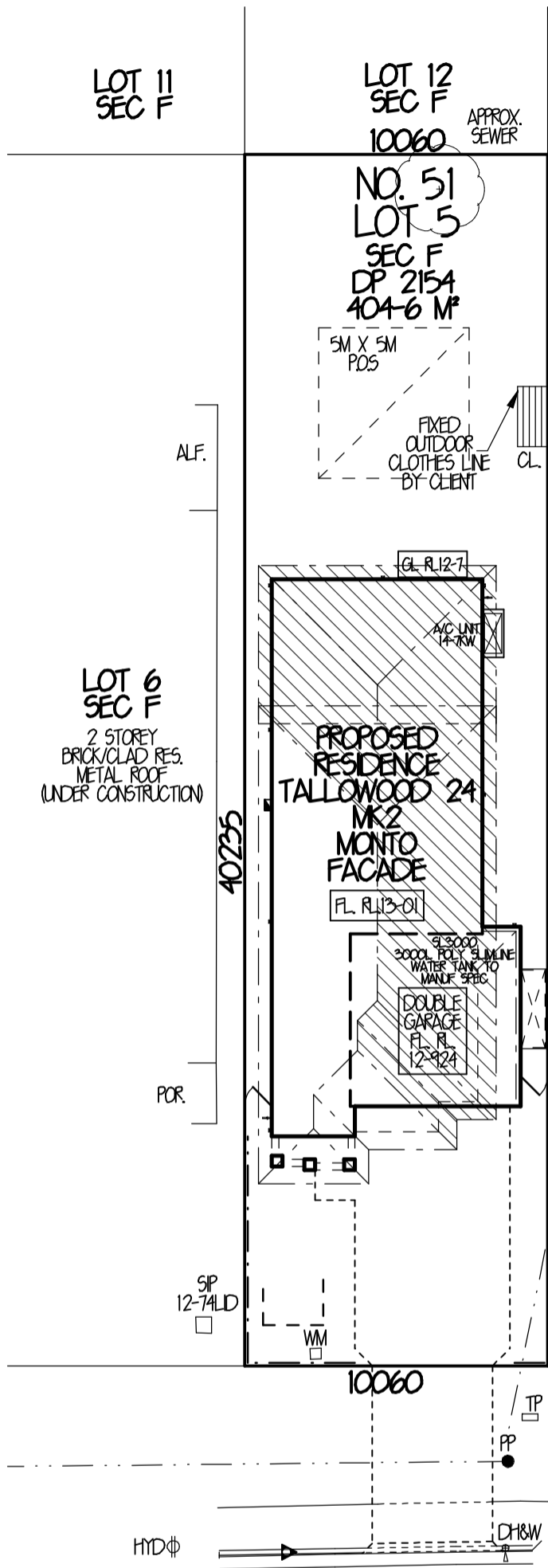
THE APPLICANT MUST CONSTRUCT THE DEVELOPMENT IN ACCORDANCE WITH THE REQUIREMENTS SET OUT IN THE ASSESSOR CERTIFICATE N0004128880-01 AND IN ACCORDANCE WITH THOSE ASPECTS OF THE DEVELOPMENT APPLICATION OR APPLICATION FOR COMPLYING DEVELOPMENT CERTIFICATE WHICH WERE USED TO CALCULATE THE VALUES SHOWN IN THE ASSESSOR CERTIFICATE N0004128880-01

INSULATION

R2-5 WALL INSULATION (INCLUDING INTERNAL GARAGE WALLS)
R4-0 CEILING INSULATION (EXCLUDING GARAGE & ALFRESCO)
R4-1 INSULATION TO CEILING/SECTION OF BED 1 FLOOR WHERE IT IS OVERHANGING THE GARAGE/ENTRY WAY (EXCLUDES REMAINDER OF BED 1 FLOOR)
ROOF VENTILATION & SARKING

BASIX SCORE

WATER - 40% (TARGET 40%)
THERMAL COMFORT - PASS (TARGET PASS)
ENERGY - 50% (TARGET 50%)



AMOURIN STREET
BASIX PLAN 1:200

▨ DENOTES 60M² OF ROOF TO BE COLLECTED

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Concept Landscape Plan

Lot 5. NO.51

DP 2154.

404.6M2

