

PROPOSED ALTERATIONS AND ADDITIONS

(Extend existing Deck,insert Glass Sliding Doors where current Window exists,New Roof over proposed Deck and Privacy Screens)

AT 10 GRANDVIEW DRIVE NEWPORT

LOT 96 DP. 16029

BASIX®Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A236622_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Wednesday, 27, March 2019
To be valid, this certificate must be lodged within 3 months of the date of issue.



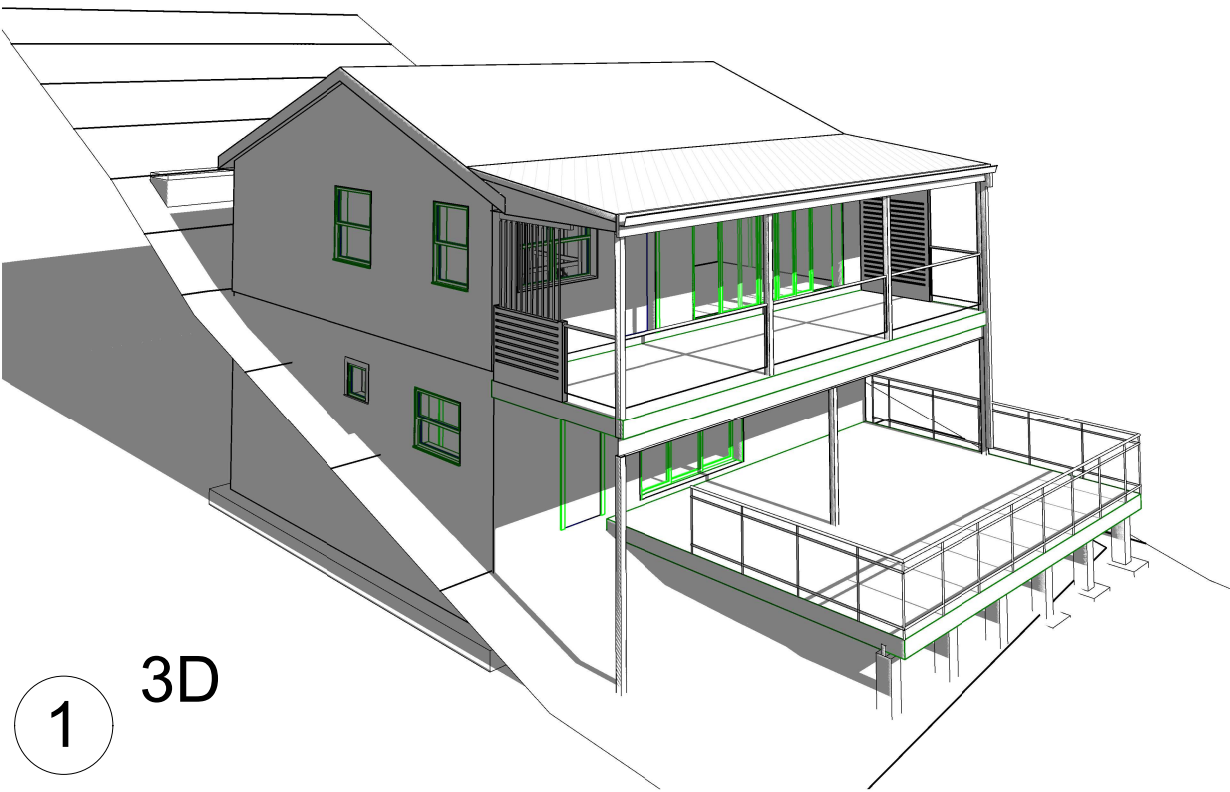
Description of project

Project address	
Project name	Proposed Alterations and Additions_02
Street address	10 Grandview Drive Newport 2106
Local Government Area	Pittwater Council
Plan type and number	Deposited Plan 16029
Lot number	96
Section number	0
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)

Name / Company Name: Robert Paul T/A open plan designz

ABN (if applicable): 16932894631



DRAWING LIST

A3

- A10TS Title Sheet
- A10SPA Site Plan & Analysis
- A100 Floorplans
- A101 Elevations North & South
- A102 Elevations East & West
- A103 Sections
- A104 Roof Plan

A4

- A1NP Notification Plans
- Statement of Environmental Effects
- Basix Statement
- Development Application and Docs

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ABN16 932 894 631

No.	Description	Date

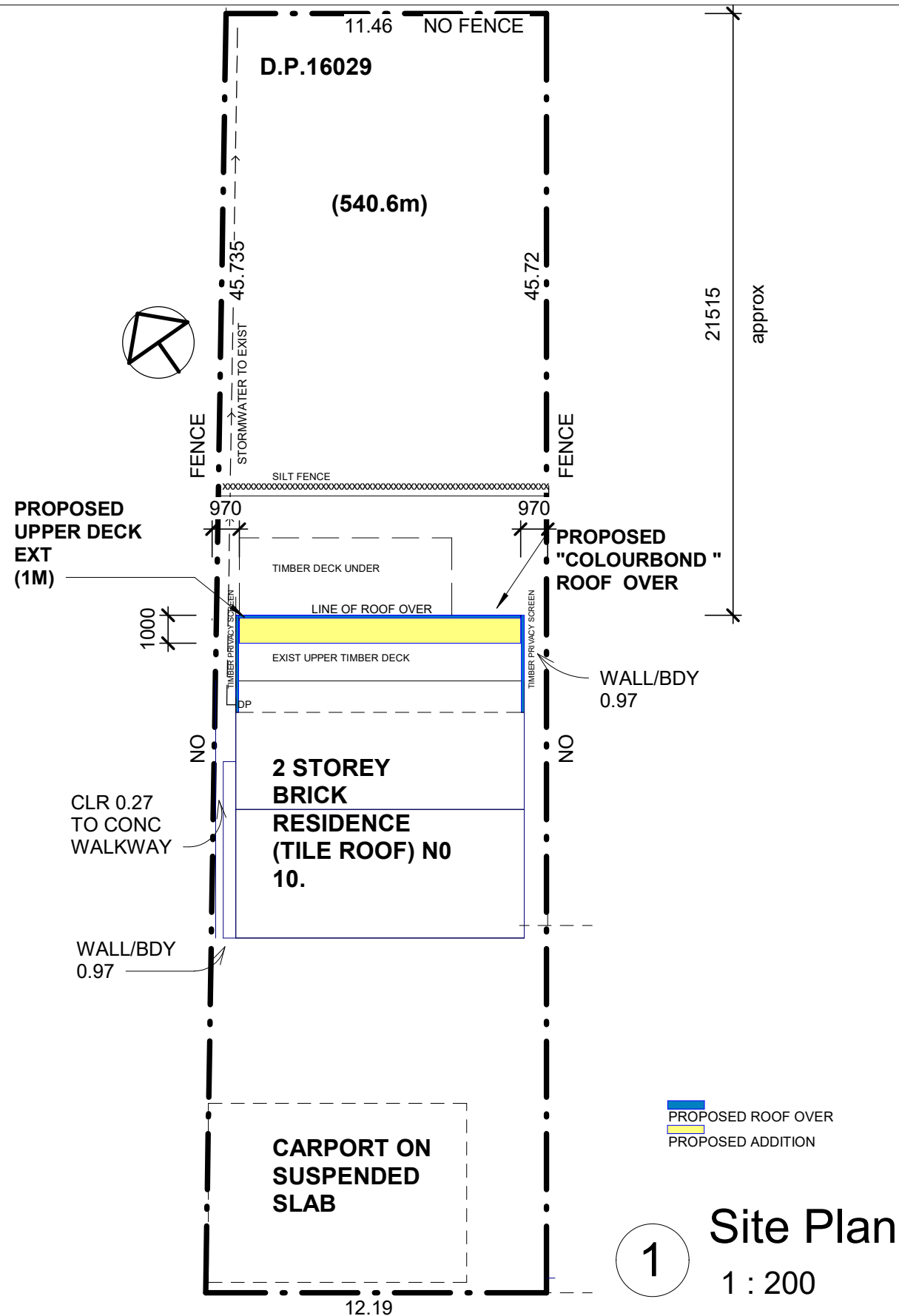
PROPOSED ALTERATIONS
10 GRANDVIEW DRIVE
NEWPORT 2106
LOT: 96 DP: 16029
GRAHAME AND KIM WALLING

Title Sheet

Project number	10 Grandview NP
Date	Issue Date
Drawn by	RP
Checked by	Checker

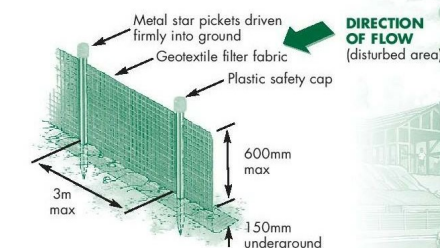
A10TS

Scale



SEDIMENT FENCE INSTALLATION

Advantages. It is a simple strategy that is easily installed, shifted or removed. Sediment fences work well and, if maintained, will last for the duration of the construction stage.



- Construction Notes**
- Construct sediment fences as close as possible to follow the contours of the site.
 - Drive 1.5 metre long posts into ground, maximum 3 metres apart.
 - Staple to 40 mm square hardwood posts or wire tied to steel posts.
 - Dig a 150 mm deep trench along the up-slope line of the fence for the bottom of the fabric to be entrenched.
 - Backfill trench over base of fabric and compact on both sides.

OPEN SPACE CALCULATION

EXISTING RESIDENCE	93 SQM
PROPOSED DECK EXT	10 SQM
PROPOSED ROOF OVER	29 SQM
OSC AND FSR UNCHANGED	

NOTES

- * NO CUT AND FILL
- * STORMWATER TO EXISTING
- * NO TREES TO BE REMOVED

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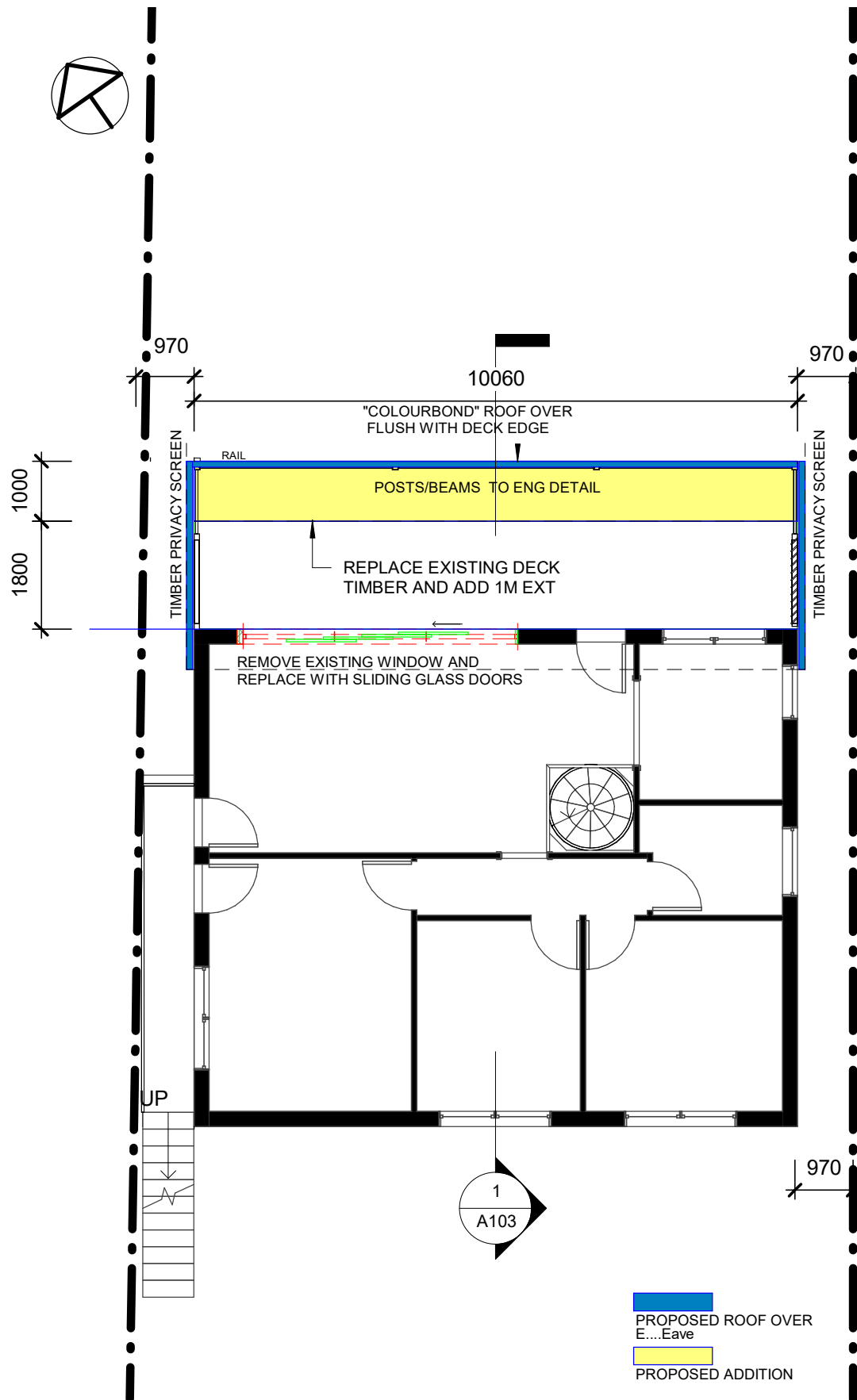


No.	Description	Date

PROPOSED ALTERATIONS
10 GRANDVIEW DRIVE
NEWPORT 2106
LOT: 96 DP: 16029
GRAHAME AND KIM WALLING

Site Plan and Analysis

Project number	10 Grandview NP	A10SPA
Date	Issue Date	
Drawn by	Author	
Checked by	RP	Scale 1 : 200



Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓

Glazing requirements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors								
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.						✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:							✓	✓
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.							✓	✓
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.						✓	✓	✓
Windows and glazed doors glazing requirements								
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m) Distance (m)		Shading device	Frame and glass type		
W1	NW	9	0	0	awning (fixed) >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

SCHEDULE OF FINISHES:

Posts and Beams.....	Steel Finish to owners spec
Rail.....	Glass SS Posts and top rail
Ceiling.....	Fibreboard, "Weathertex" or similar(Painted finish)
Roofing.....	"Colourbond" Medium density to owners spec
Guttering and Downpipes	"Colourbond" to match Roofing
Timber decking.....	Stained and protct coating,"Cabots", " Intergrain" or similar

OPEN SPACE CALCULATION

TOTAL SITE AREA	539.6 SQM
FRONT YARD	130 SQM
REAR YARD	185 SQM
SIDE YARD WEST	36 SQM
TOTAL	351 SQM
PERCENTAGE OPEN SPACE	65.04%

1 Ground Floor Level
1 : 100

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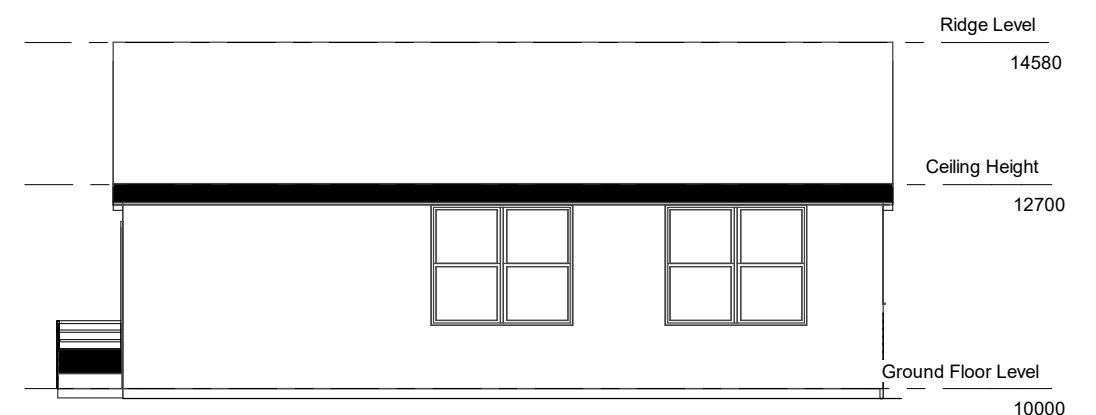
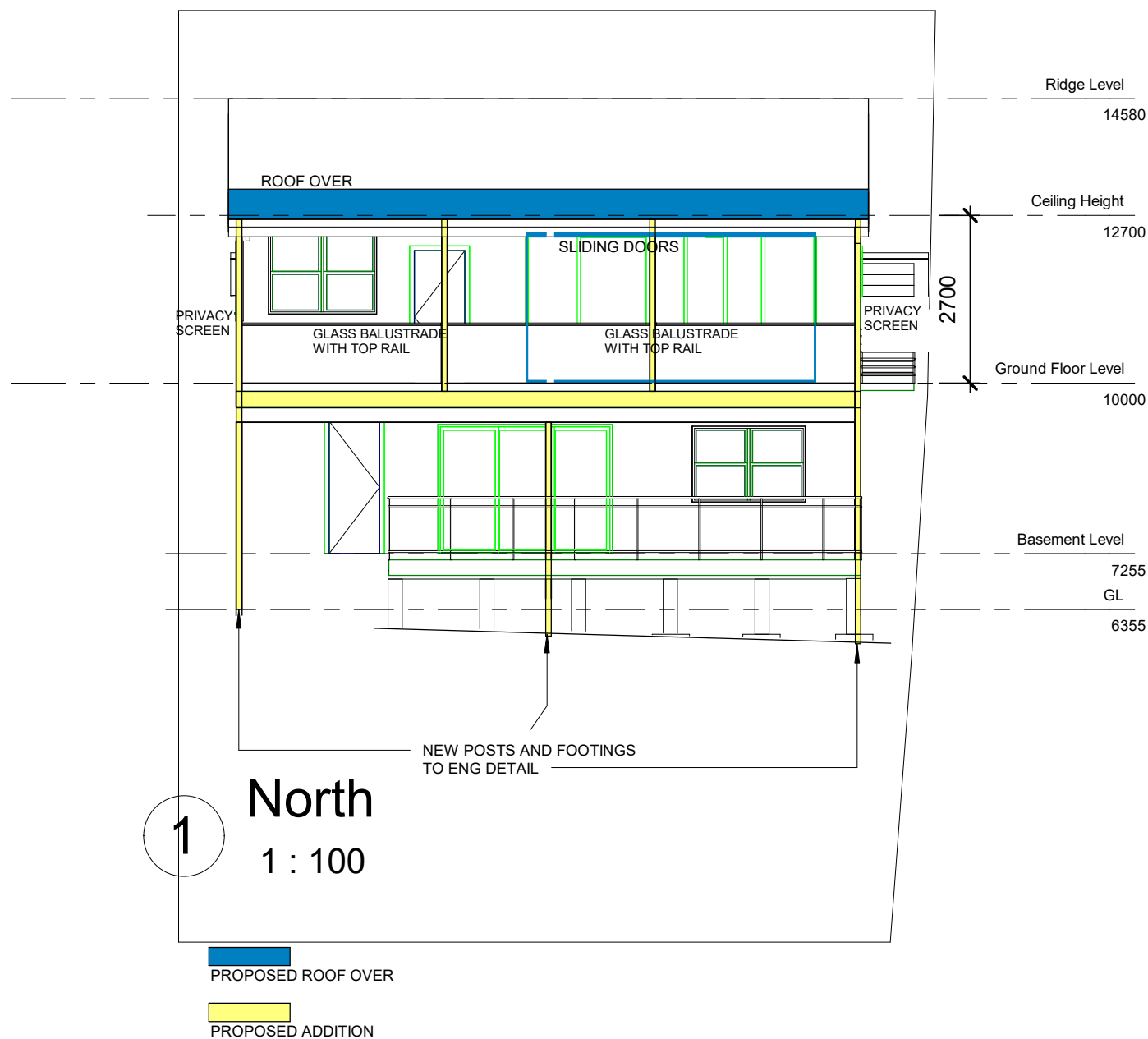


No.	Description	Date

PROPOSED ALTERATIONS
10 GRANDVIEW DRIVE
NEWPORT 2106
LOT: 96 DP: 16029
GRAHAME AND KIM WALLING

Floorplans

Project number	10 Grandview NP	A100	
Date	Issue Date		
Drawn by	RP		
Checked by	RP	Scale	1 : 100



PROPOSED ALTERATIONS NOT VISIBLE FROM THIS ELEVATION (ROADSIDE)

ALL LEVELS NOMINATED ONLY

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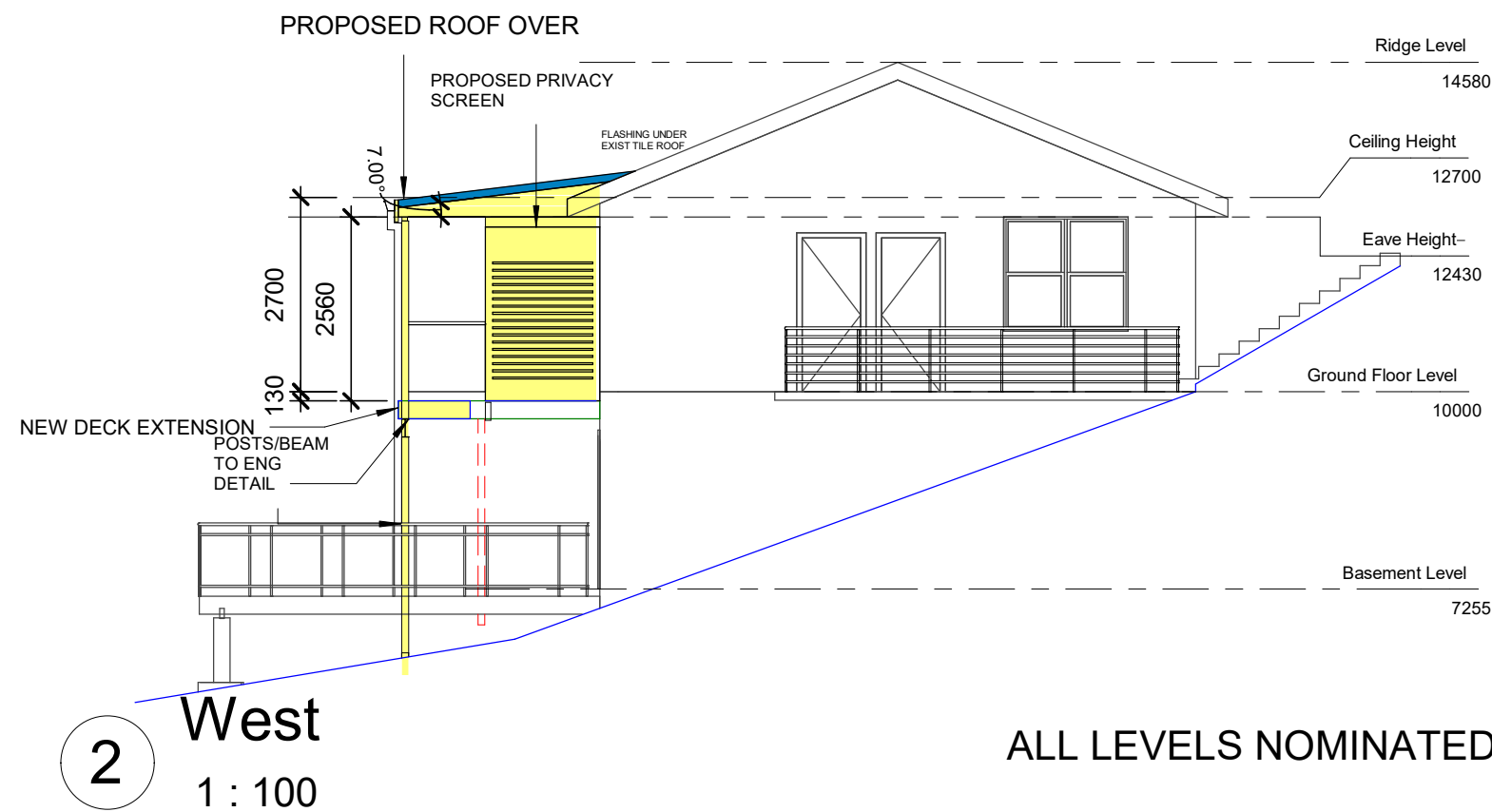
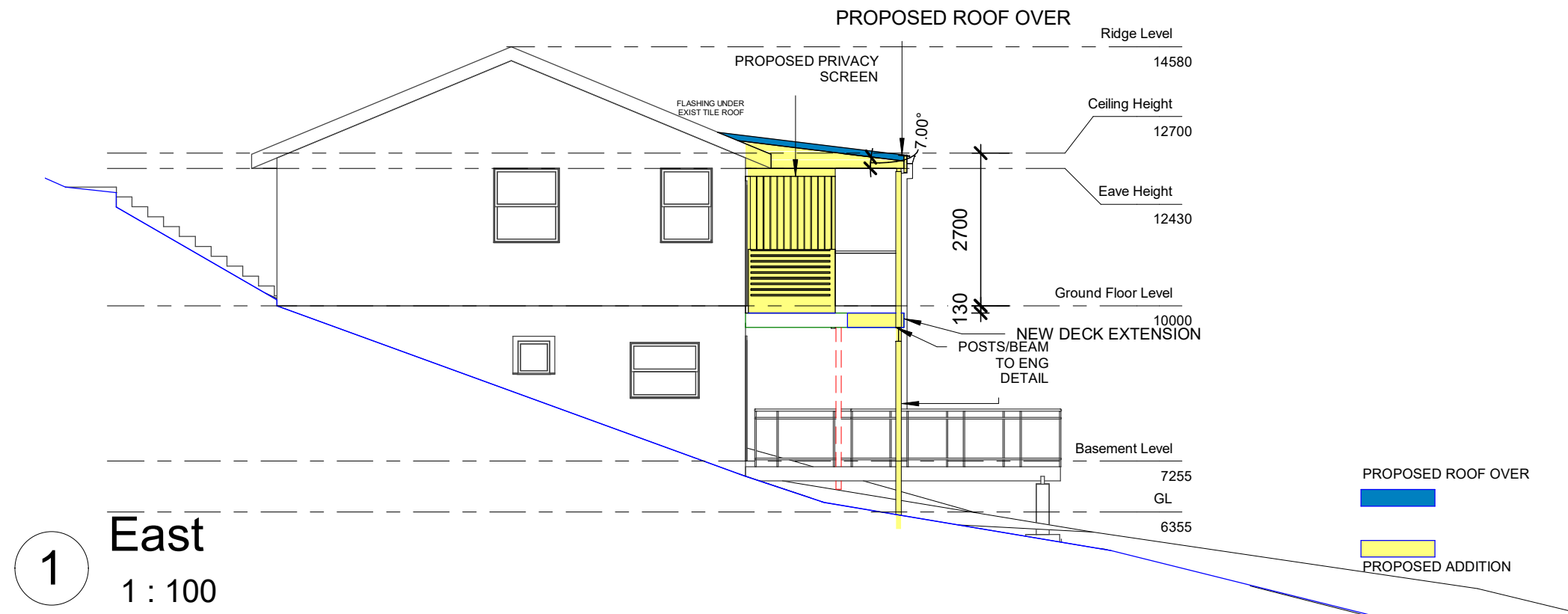
OPEN PLAN DESIGNZ
ABN16 932 894 631

No.	Description	Date

PROPOSED ALTERATIONS
10 GRANDVIEW DRIVE
NEWPORT 2106
LOT: 96 DP: 16029
GRAHAME AND KIM WALLING

Elevations North and South

Project number	10 Grandview NP	A101
Date	Issue Date	
Drawn by	RP	
Checked by	RP	Scale 1 : 100



ALL LEVELS NOMINATED ONLY

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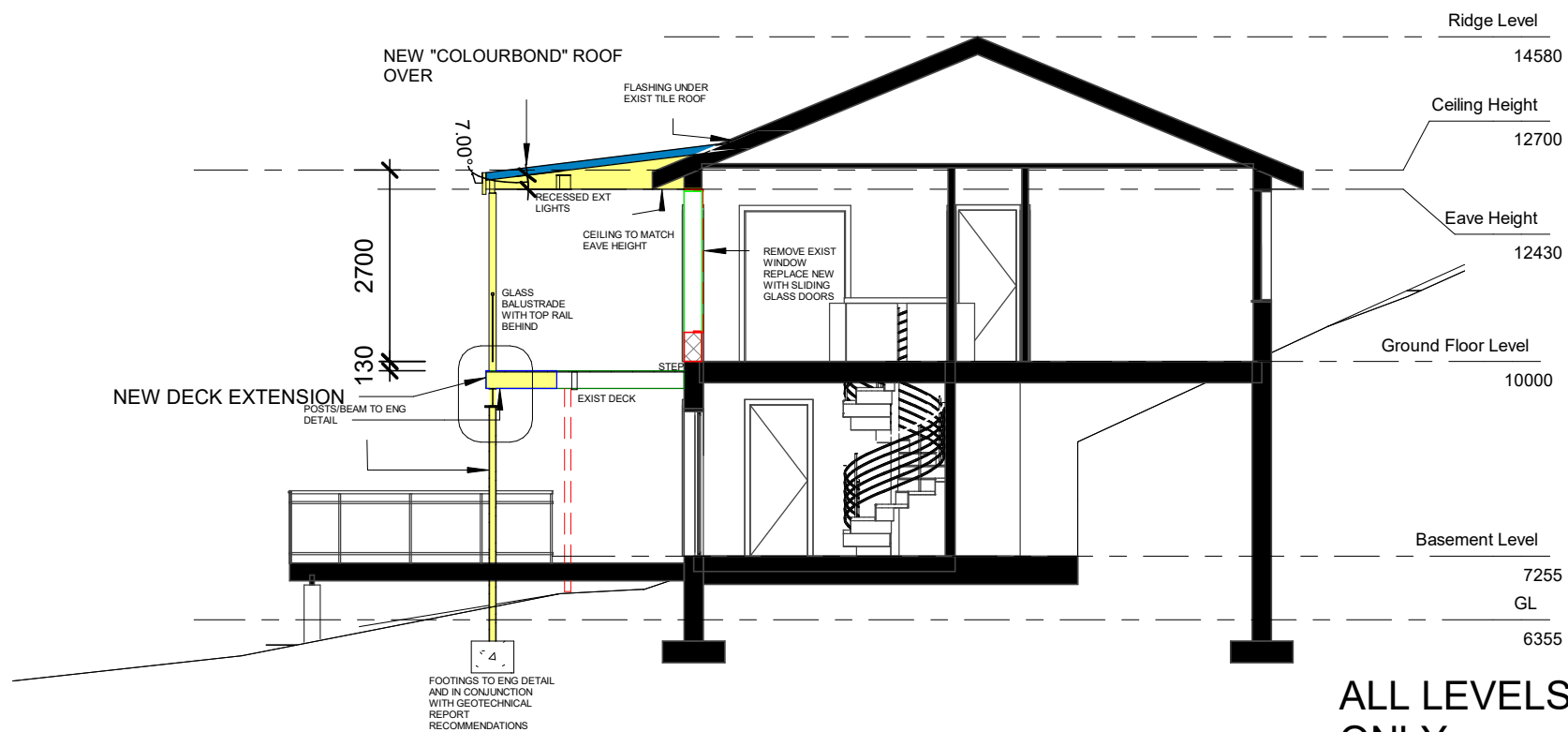


No.	Description	Date

PROPOSED ALTERATIONS
10 GRANDVIEW DRIVE
NEWPORT 2106
LOT: 96 DP: 16029
GRAHAME AND KIM WALLING

Elevations East and West

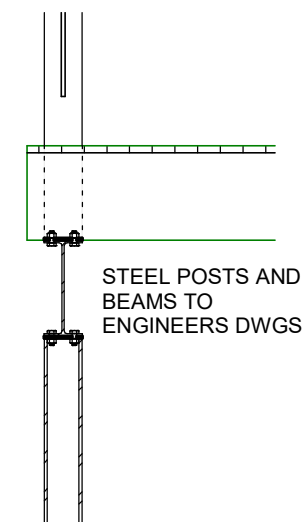
Project number	10 Grandview NP	A102
Date	Issue Date	
Drawn by	RP	
Checked by	RP	Scale
		1 : 100



PROPOSED ROOF OVER

PROPOSED ADDITION

ALL LEVELS NOMINATED ONLY



2 Section 1 - Callout 1
1 : 20

1 Section 1
1 : 100

SCHEDULE OF FINISHES:

Posts and Beams.....Steel

Rail.....Glass SS Posts and top rail

Ceiling.....Fibreboard, "Weathertex" or similar
Painted finish

Roofing....."Colourbond" Medium density to owners spec

Guttering and Downpipes "Colourbond" to match roofing

Timber decking..... Stained and protect coating, "Cabots", " Intergrain" or similar

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OPEN PLAN DESIGNZ

ABN16 932 894 631

No.	Description	Date

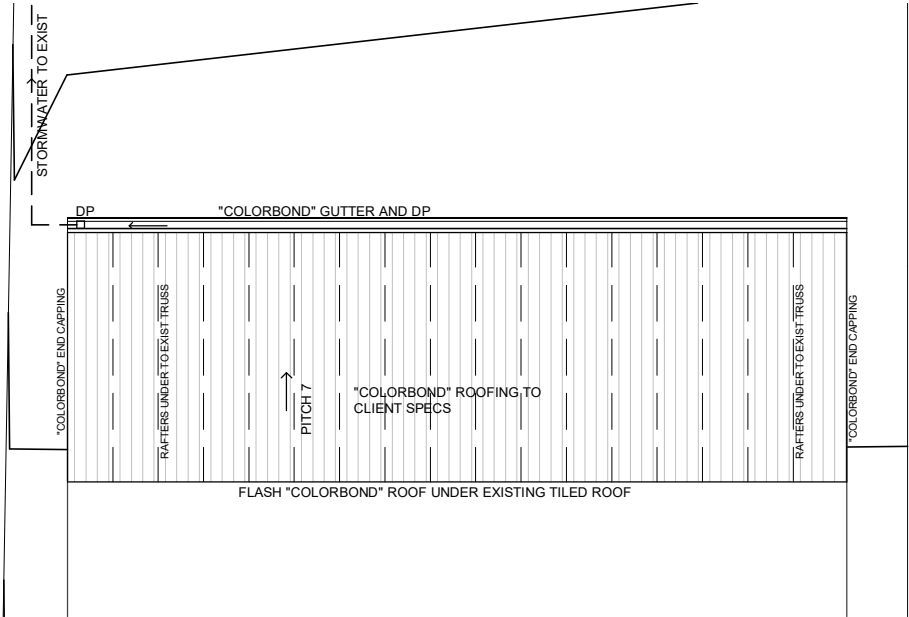
PROPOSED ALTERATIONS
10 GRANDVIEW DRIVE
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GRAHAME AND KIM WALLING

Section

Project number	10 Grandview NP	A103
Date	Issue Date	
Drawn by	RP	
Checked by	RP	Scale
		As indicated

1

Roof Plan
1 : 100



ROOF NOTES

"COLORBOND" CUSTOM ORB OR PROFILE TO CLIENTS SPEC
FIX AT NOMINAL PITCH.
"COLORBOND" GUTTER AND DOWNPIPES AND SIDE FLASHING
AT SAME COLOUR AS ROOF.
FLASH "COLORBOND" ROOF UNDER EXISTING TILED ROOF.
CONNECT ROOFING TO RAFTERS WITH APPROPRIATE FIXINGS
AND SPACING TO SPECIFICATIONS.*

WIND CLASSIFICATION
REGION A
CATAGORY 3-TC
SHEILDING FACTOR PS*
TOPOGRAPHY EFFECT T2*
WIND CLASSIFICATION N2*

*SUBJECTIVE
NOTE: EXTRA FIXINGS MAY BE REQUIRED ON METAL AND TIE
DOWNS ON RAFTERS TO EXISTING TRUSS, AS ROOF IS ON
EXPOSED TOPOGRAPHY AND MAY BE TO SUBJECT TO
SIGNIFICANT UPDRAFT ON OCCASION.

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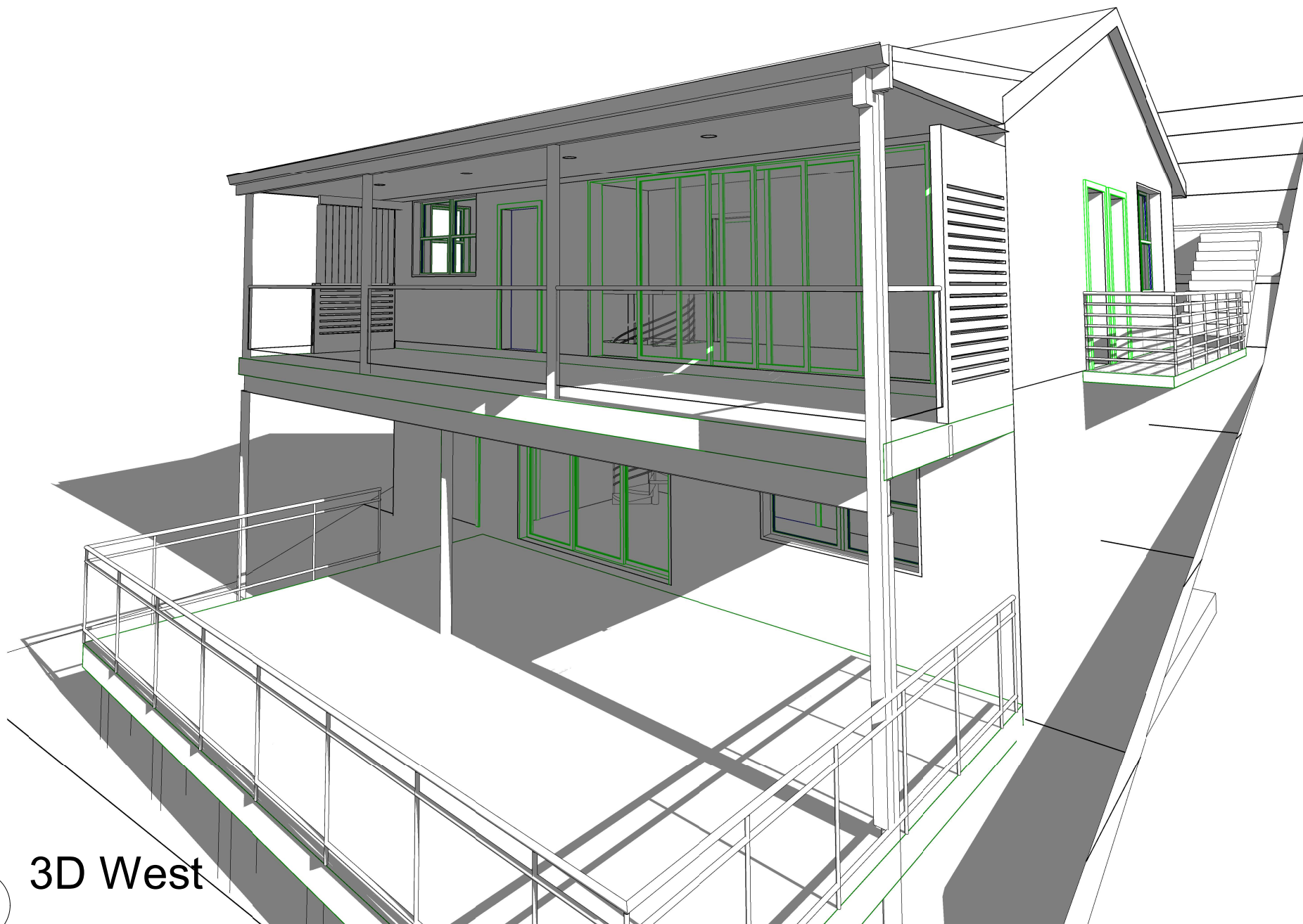


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No.	Description	Date

Roof Plan

Project number	10 Grandview NP	A104
Date	Issue Date	
Drawn by	Author	
Checked by	Checker	
Scale		1 : 100



1 3D West

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DESIGNERS
AUSTRALIA

No.	Description	Date

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10 GRANDVIEW DRIVE
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GRAHAME AND KIM WALLING

3D

Project number	10 Grandview NP
Date	Issue Date
Drawn by	RP
Checked by	Checker

Scale

A105