

MCDEVITT RESIDENCE

DEVELOPMENT APPLICATION
40 TOWRADGI STREET, NARRAWEENA

for
Caroline + Darren McDevitt

July, 2019

Sheet List

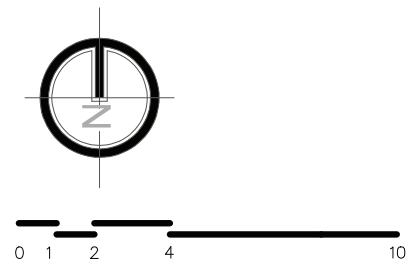
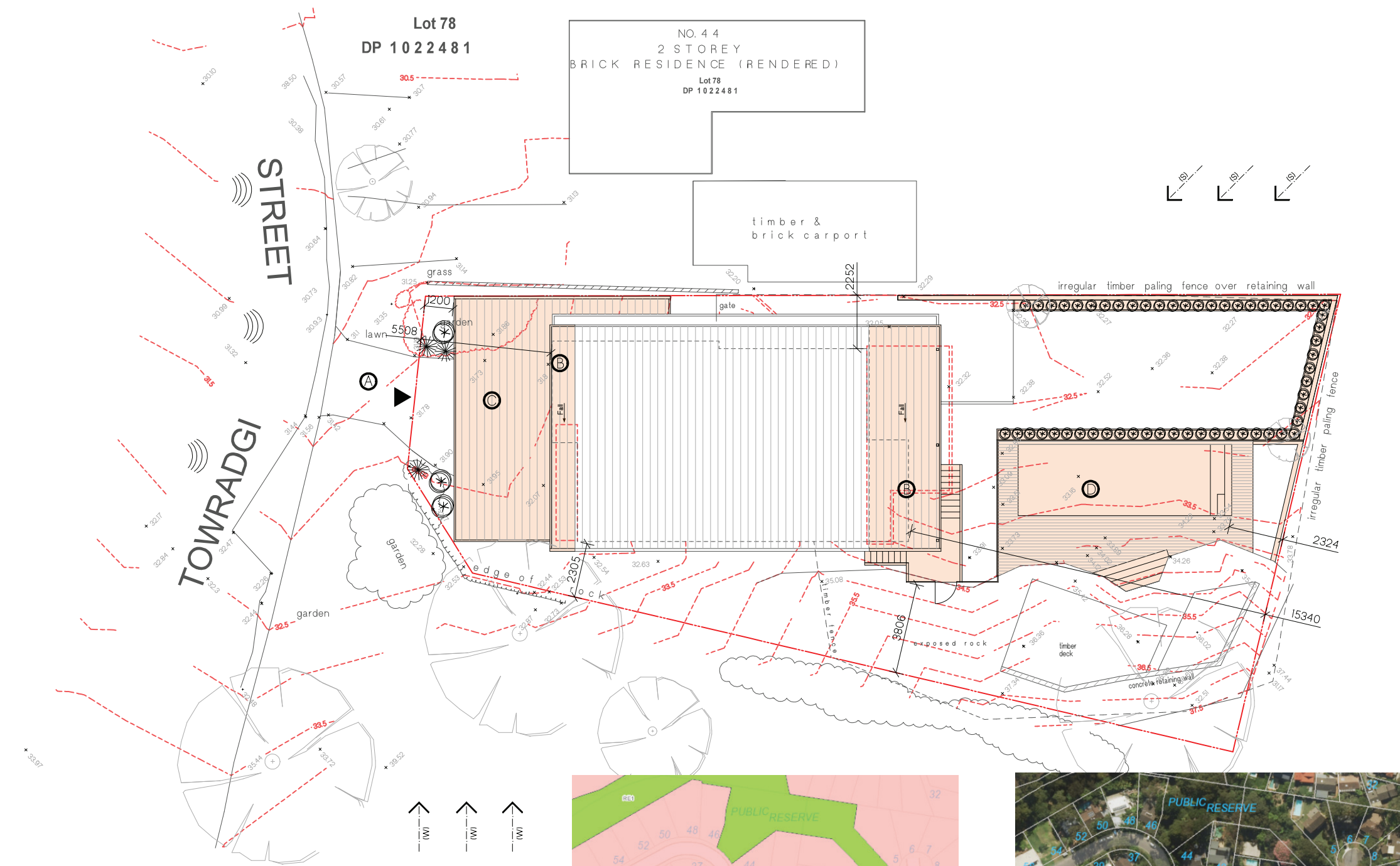
C-01	Example of Finishes – Exterior Sheet 1
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2291A



Zoning Map of 40 Towradgi Street, Narrabeena



Aerial view of 40 Towradgi Street, Narrabeena

KEY

	CAR ENTRY POINT
	BOUNDARY
	PREVAILING WINDS (summer)
	PREVAILING WINDS (winter)
	WINDOW TO LIVING SPACE IN ADJACENT DWELLING
	EXISTING CONTOURS SLOPE OF LAND
	ROAD NOISE
	EXISTING DRIVEWAY
	PROPOSED ROOF ALTERATIONS
	PROPOSED CARPORT
	PROPOSED SWIMMING POOL

SITE CALCULATIONS

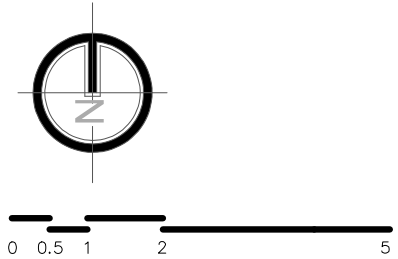
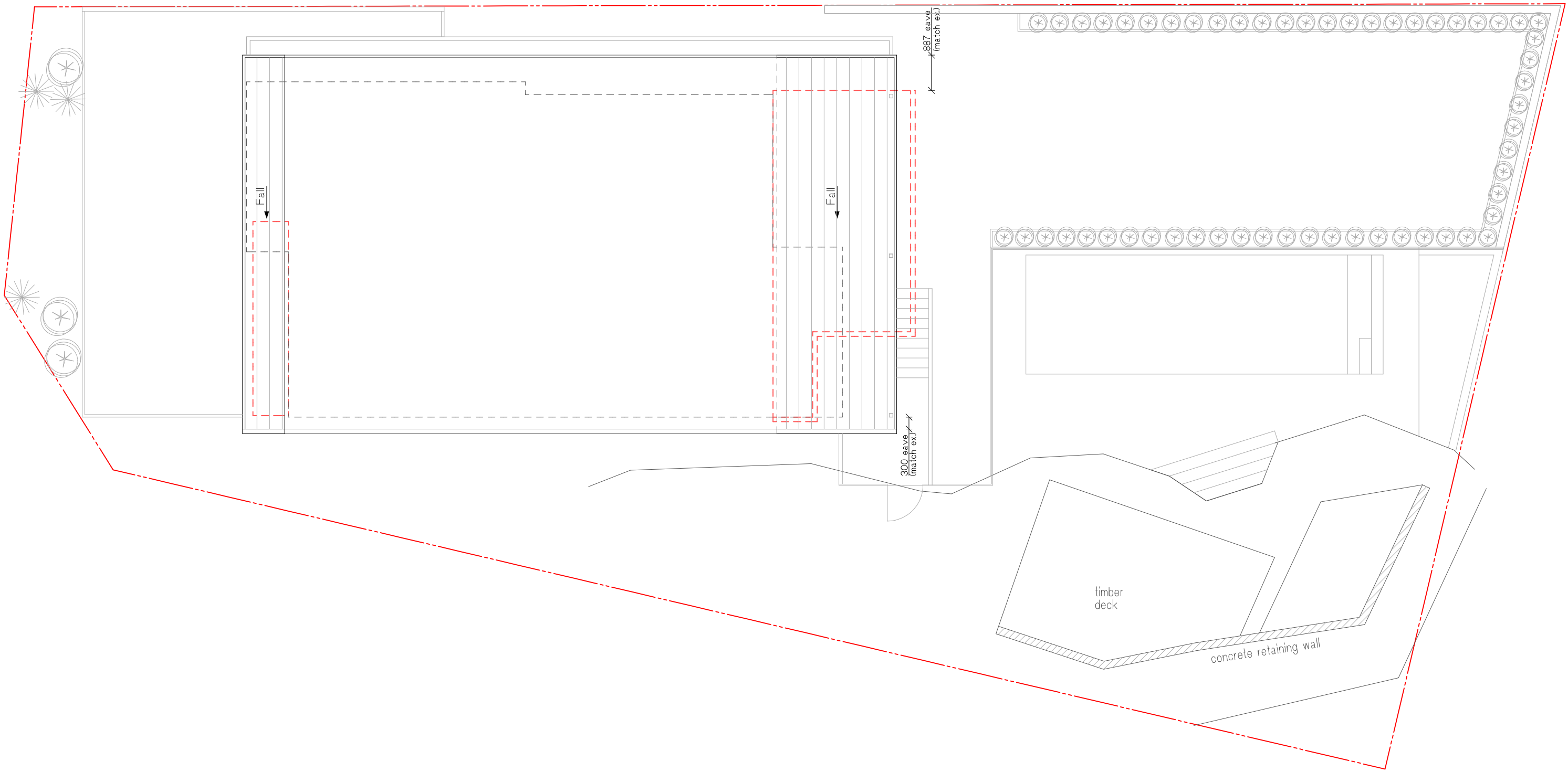
	Required	Proposed
Site Area	562.9m ²	
Floor Space Ratio	N/A	N/A
Setbacks		
-West (front)	6500mm	5508
-East (rear)	6000mm	15340
-North (side)	1094mm (existing)	existing
-South (side)	2305mm (existing)	existing
EXISTING RESIDENTIAL AREA	109.9m ²	or 19.5%
ADDITIONAL RESIDENTIAL AREA	12.0m ²	or 2.1%
EXISTING HARD SURFACE AREA	202.3m ²	or 35.9%
PROPOSED HARD SURFACE AREA	254.2m ²	or 45.2%
PROPOSED LANDSCAPED AREA	225.16m ²	300.4m ²

Revisions		
No.	Description	Date
1	Concept Stage Issue	10.05.19
2	Concept Stage Issue	14.07.19
3	DA Issue	16.07.19

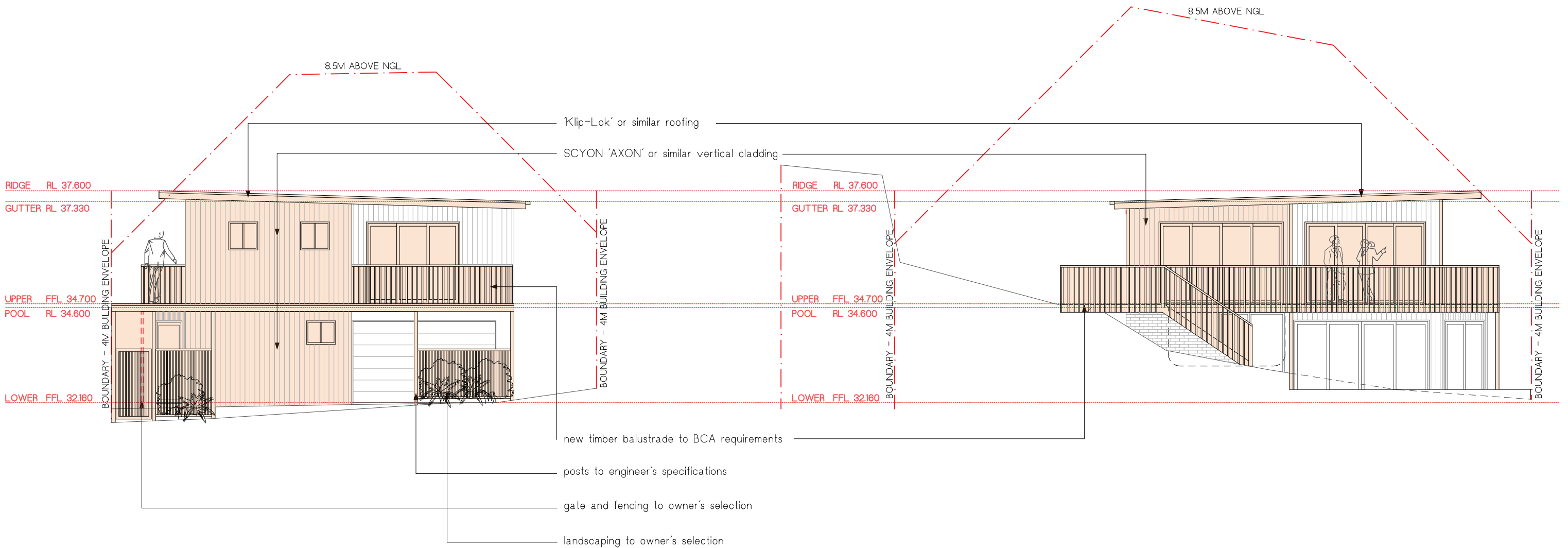
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Sheet
SITE PLAN
Address
40 TOWRADGI STREET NARRAWEENA, NSW 2099

Project No.	1818	Date	03.04.19
Drawn By	LS	Checked By	LS
Dwg No.	DA-01	Scale	1:200@A3
		Issue	3

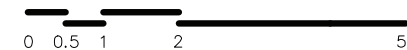


Revisions			Client		Sheet		Project No.		Date	
No.	Description	Date	MCDEVITT RESIDENCE		ROOF PLAN		1818		03.04.19	
1	Concept Stage Issue	10.05.19	<small>© Copyright- This document is and shall remain the property of Pittwater Design and Draft. Pittwater Design and Draft Conditions of Use: This document may only be used for the purpose for which it was commissioned and in accordance with the terms of engagement for commission. All works are to be in accordance with Australian Standards, The Building Code of Australia, other relevant codes and manufacturers' specifications. Do not scale from drawings. Builder/contractors are to verify all dimensions prior to commencement of site work or off-site fabrication.</small>		Address 40 TOWRADGI STREET NARRAWEENA, NSW 2099		Drawn By	Checked By	Scale	
2	Concept Stage Issue	14.07.19					LS	LS	1:100@A3	
3	DA Issue	16.07.19					Dwg No.		Issue	
							DA-04		3	



WEST ELEVATION
Scale 1:100

EAST ELEVATION
Scale 1:100

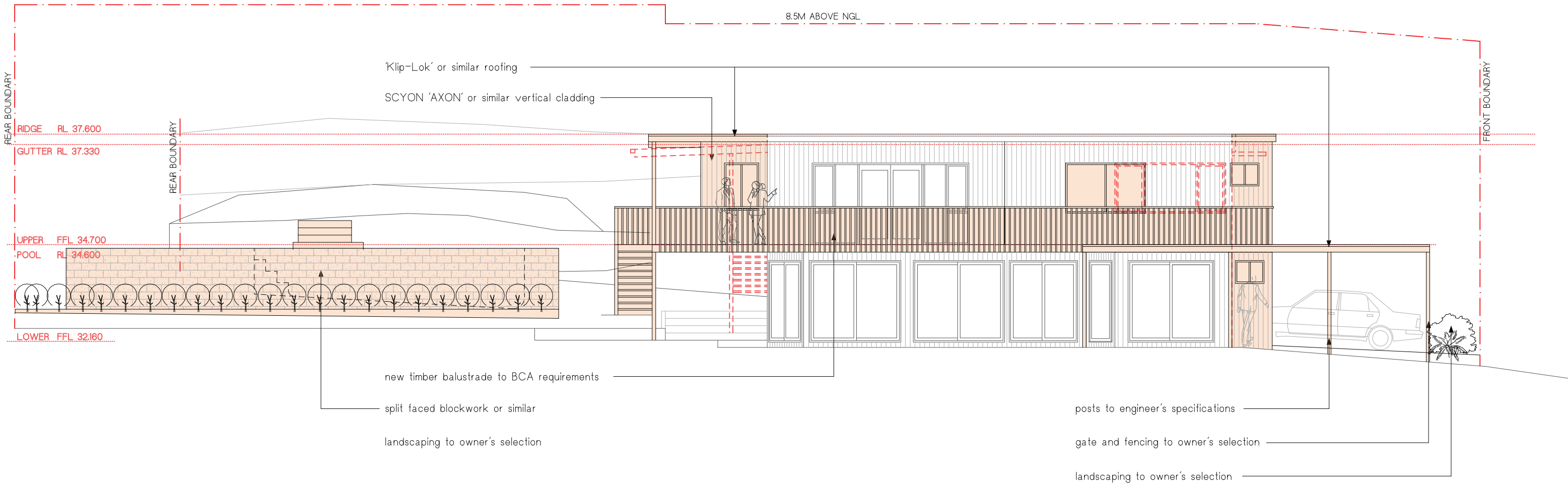


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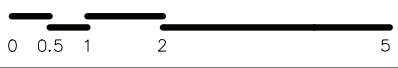
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Sheet
EAST + WEST ELEVATIONS
Address
40 TOWRADGI STREET NARRAWEENA, NSW 2099

Project No.	1818	Date	03.04.19
Drawn By	LS	Checked By	LS
Dwg No.	DA-05	Scale	1:100@A3
		Issue	3



 NORTH ELEVATION
Scale 1:100

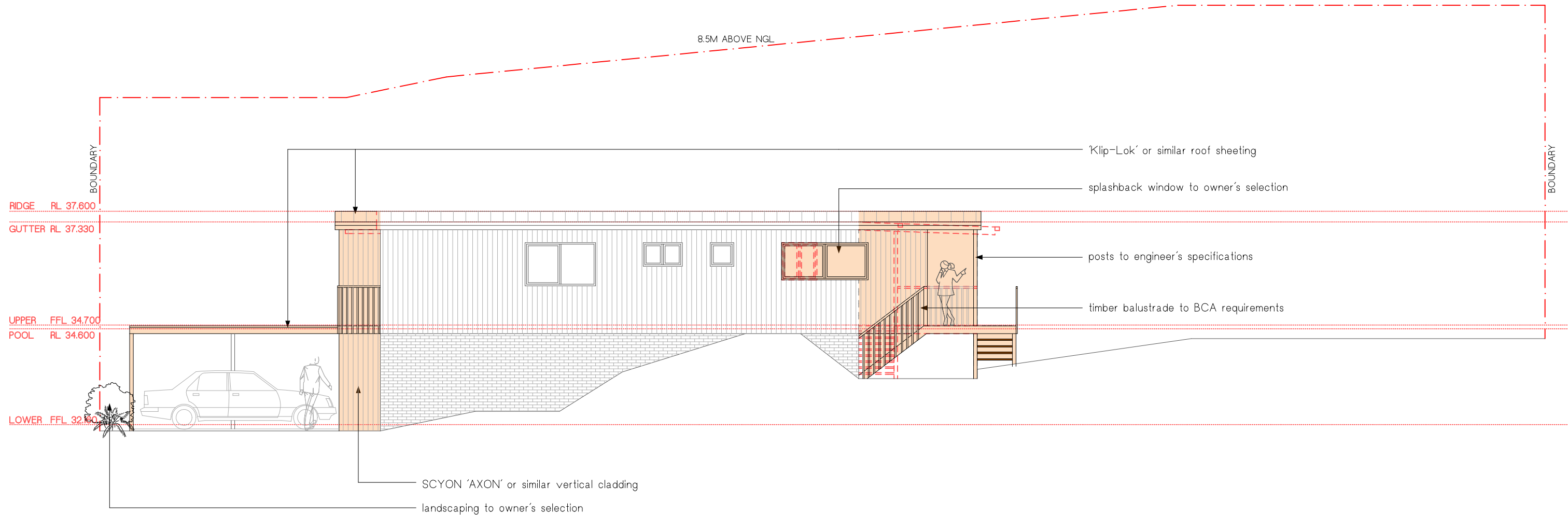


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NORTH ELEVATION
Address
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Project No.	1818	Date	03.04.19
Drawn By	LS	Checked By	LS
Dwg No.	DA-06	Scale	1:100@A3
		Issue	3



 SOUTH ELEVATION
Scale 1:100

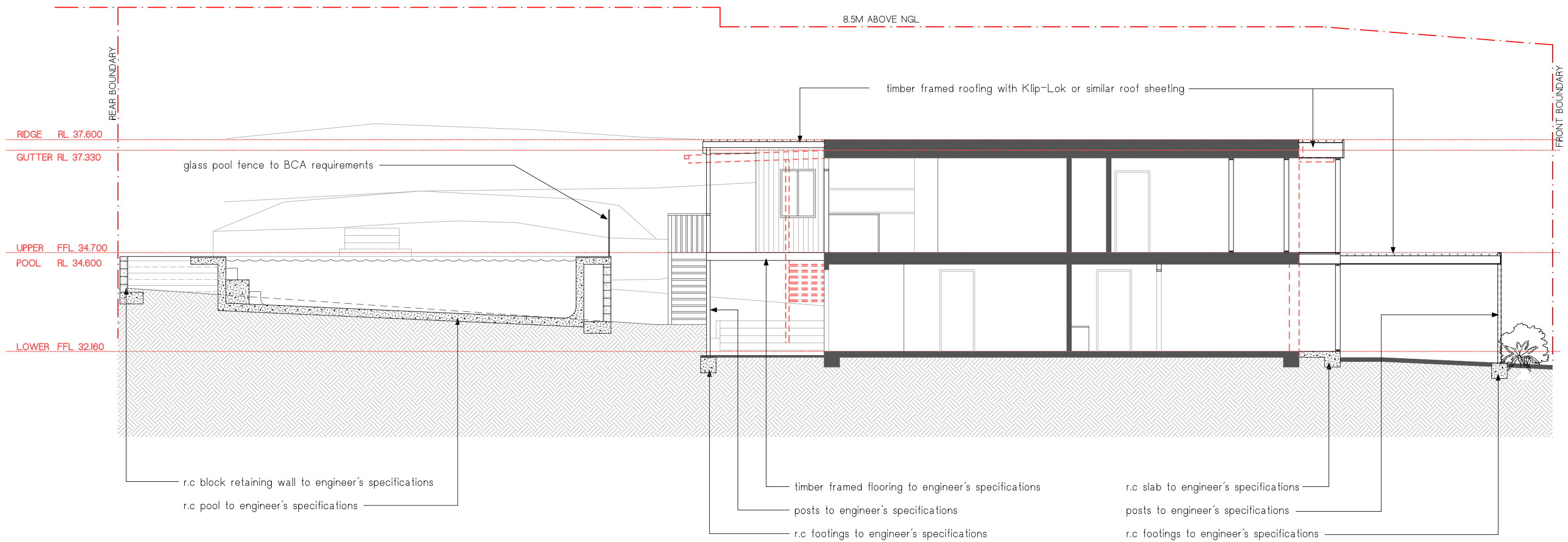


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SOUTH ELEVATION
Address
40 TOWRADGI STREET NARRAWEENA, NSW 2099

Project No.	1818	Date	03.04.19
Drawn By	LS	Checked By	LS
Dwg No.	DA-07	Scale	1:100@A3
		Issue	3



SECTION 1

Scale 1:100



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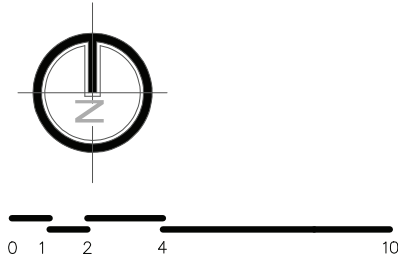
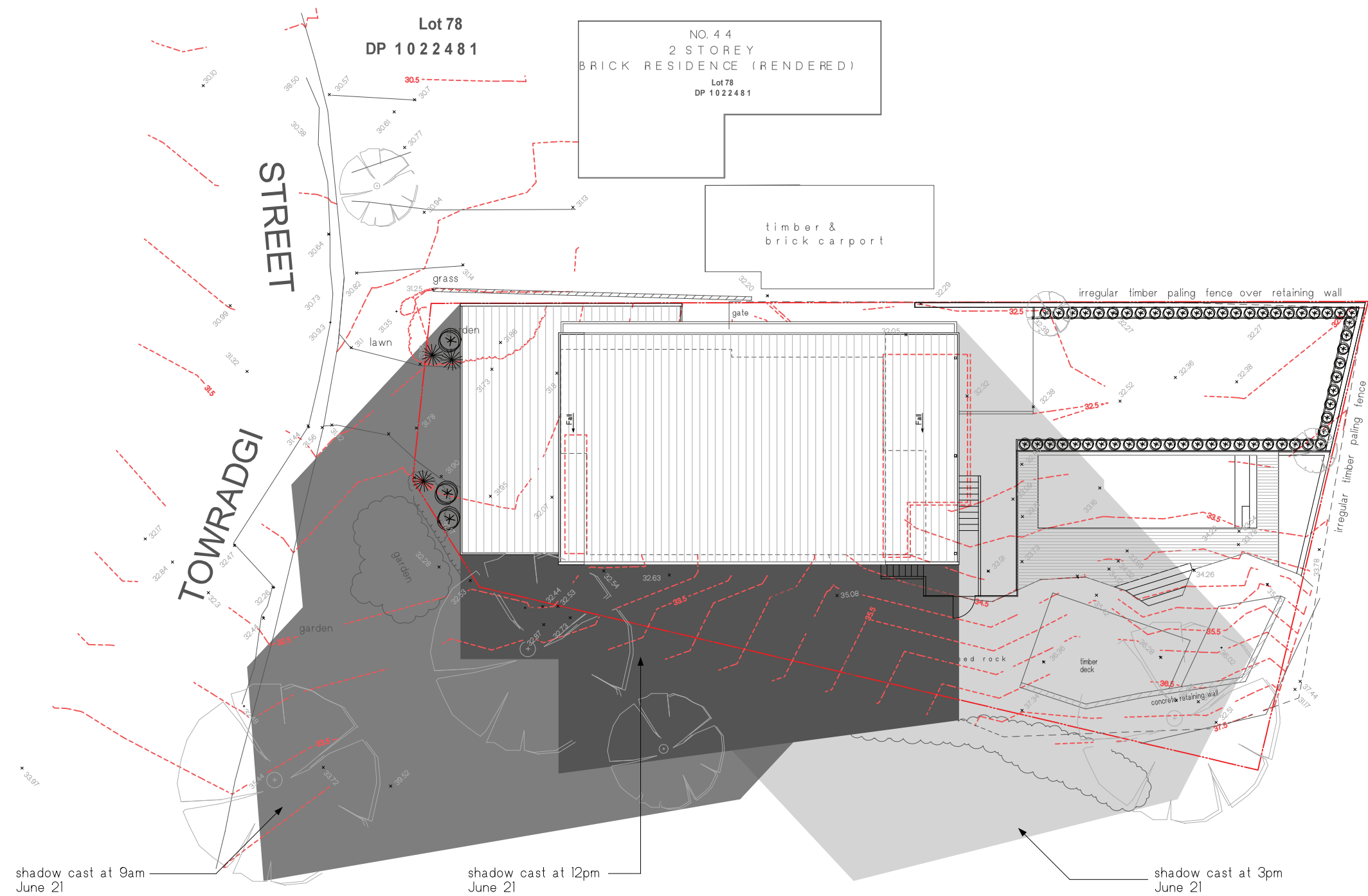
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SECTION
Address
40 TOWRADGI STREET NARRAWEENA, NSW 2099

Project No.	1818	Date	03.04.19
Drawn By	LS	Checked By	LS
Dwg No.	DA-08	Scale	1:100@A3
		Issue	3

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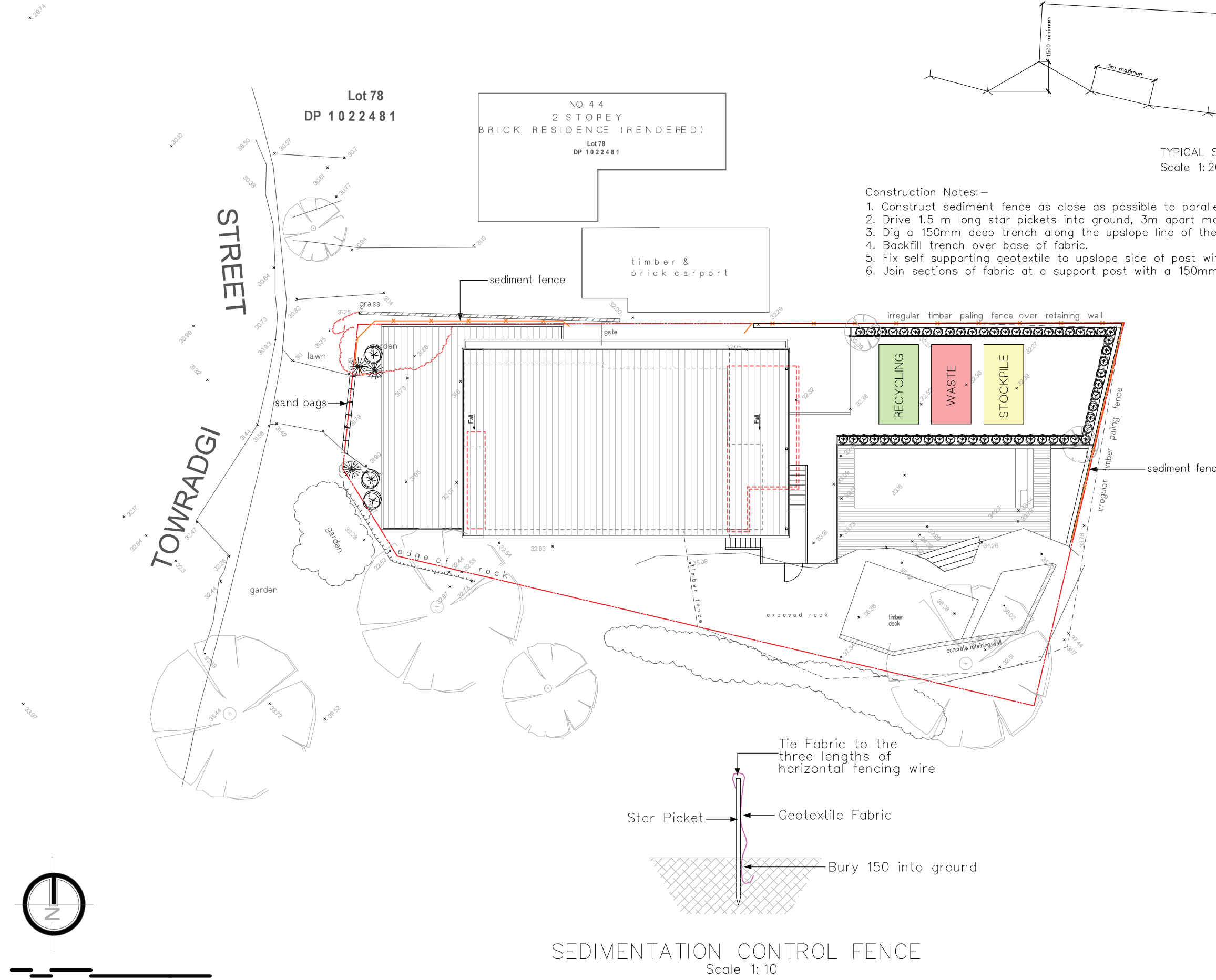
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SHADOW DIAGRAM

Address

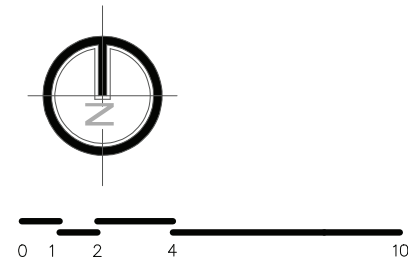
**40 TOWRADGI STREET
NARRAWEENA, NSW 2099**

Project No.		Date
1818		03.04.19
Drawn By	Checked By	Scale
LS	LS	1:200@A3
Dwg No.		Issue
DA-09		3



Erosion & Sediment Control Plan (ESCP)
This drawing is in accordance with the requirements of the NSW Department of Land and Water Conservation's "Urban Erosion and Sediment Control" manual. Any vehicle leaving the site must be washed down on the "Stabilised Site Entry" to remove any clay that may have become attached to the vehicle. The road around the entry/exit site is to be swept at regular intervals to prevent sediment build up at the entry/exit point of the site.

- Site works will not start until the erosion and sediment control works outlined in clauses 2 to 5, below, are installed and functional.
- Entry and exit to the site will be confirmed to one stabilised location. Fencing will be used to restrict all vehicular movements to stabilised entrance. Stabilisation achieved by either:
 - * Constructing a concrete driveway to the street.
 - * Constructing a stabilised site access, according to the Stabilised Site Access Detail drawing.
- Sediment control (see Typical Sediment Fence Plan and Sediment Fence Section Detail) and barrier fences will be installed as shown on the ESCP with low flow channel bank (see Stabilised Site Entry).
- Mesh and gravel sausage protection will be provided to protect gutter inlets near the allotment.
- Topsoil will be stripped and stockpiled for later use in landscaping the site.
- All stockpiles will be placed in the location shown on the ESCP and at least 2 metres clear of all areas of concentrated water flow and the driveway protected by site works.
- Lands to the rear and sides of the allotment and on the footpath will not be disturbed during works except where essential, e.g. drainage works across the footpath. Where work are necessary, they will be undertaken in such a way to leave the lands in a condition of high erosion hazards for as short a period as practicable. They will be rehabilitated as soon as possible. Stockpiles will not be placed on these lands and they will not be used as vehicle parking areas.
- Approved bins for concrete and mortar slurries, paints, acid washings and litter will be provided and arrangements made for collection and disposal.
- Guttering will be connected to the stormwater system as soon as practicable.
- Topsoil will be respread and all disturbed areas will be rehabilitated within 20 working days of the completion of works.
- All erosion and sediment controls will be checked at least weekly and after rain to ensure they are maintained in a fully functional condition.

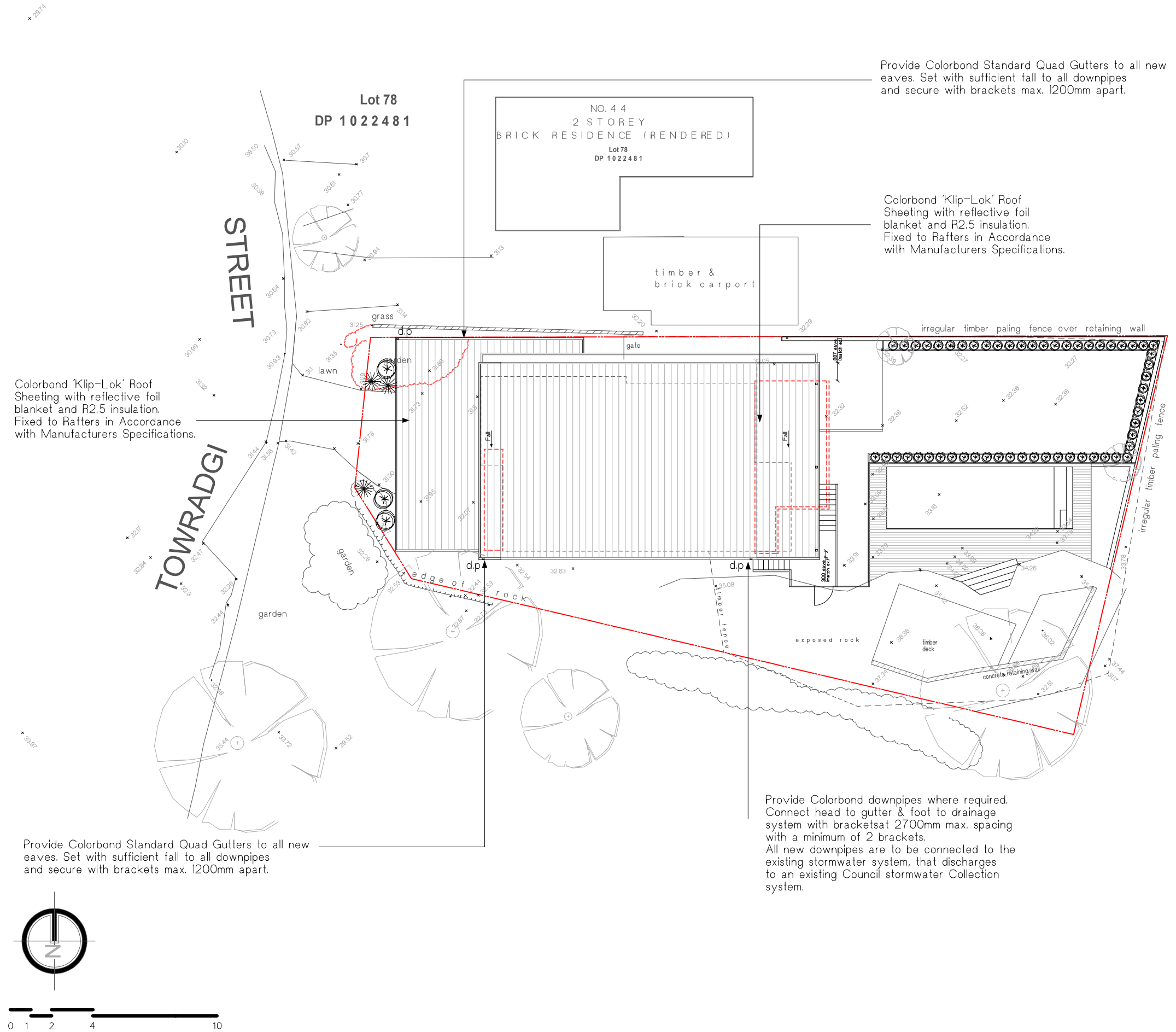


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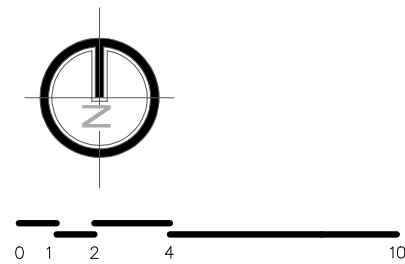
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Sheet
SEDIMENT + EROSION PLAN
Address
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Project No.		Date	
1818		03.04.19	
Drawn By	Checked By	Scale	
LS	LS	1:200@A3	
Dwg No.		Issue	
DA-10		3	



All pipes unless otherwise specified on the plan to be 100 dia. UPVC pipe.
Inspection openings will be required at even spacings not more than 30 metres apart and at any change of direction greater than 45 degrees.
HP – High Points in the guttering
DP – Downpipes
Drainage Pipe Notes.
Slope of pipes to be a minimum of 1:100 i.e. 1%
All levels and dimensions to be checked and confirmed on site.
All design work and works to be in accordance with AS/NZS 3500.5 (2000) and AS/NZS 3500.3.2 (1998)
The Eaves Gutter minimum of 125mm D Gutter with a cross sectional area of 6300 sq. mm (as taken from Lysaght Pty Ltd), or similar. Downpipes attached to the eaves gutter to have a minimum diameter of 90mm or similar.
Downpipes can be connected to existing stormwater pipes. However, existing pipelines need to be checked and repaired in accordance to AS3500.
Dimensions and slope of existing need to be checked in accordance with AS3500 to ensure adequacy.
Tank dimensions shown in drawing is not to scale. Tanks sizes should be determined with consideration on height limits.

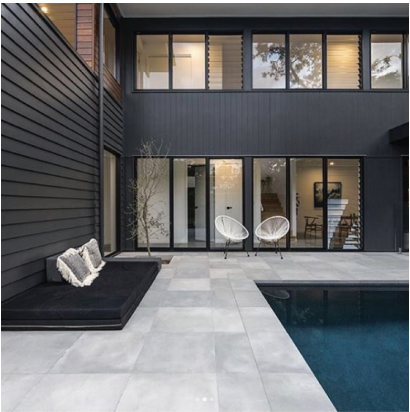


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Sheet
STORMWATER CONCEPT PLAN
Address
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Project No.	1818	Date	03.04.19
Drawn By	LS	Checked By	LS
Dwg No.	DA-11	Scale	1:200@A3
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Sheet

**EXAMPLE OF FINISHES - EXTERIOR
SHEET 1**

Address

40 TOWRADGI STREET
NARRAWEENA, NSW 2099

Project No.

1818

Drawn By

LS

Dwg No.

C-01

Date

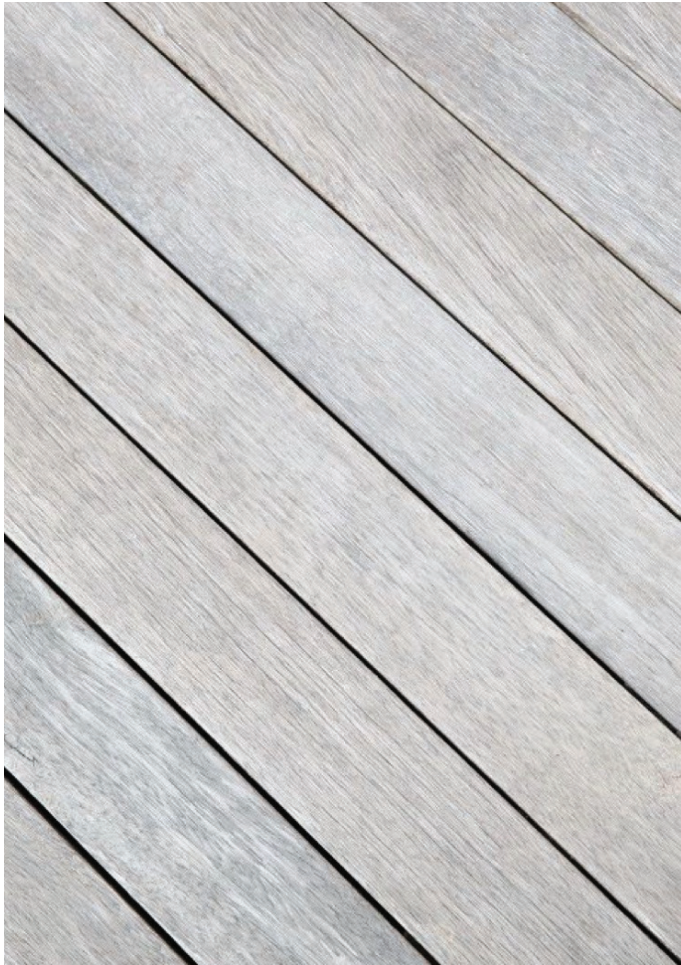
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Issue

3



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EXAMPLE OF FINISHES - EXTERIOR SHEET 2
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40 TOWRADGI STREET NARRAWEENA, NSW 2099

Project No.	1818	Date	03.04.19
Drawn By	LS	Checked By	LS
Dwg No.	C-02	Issue	3