

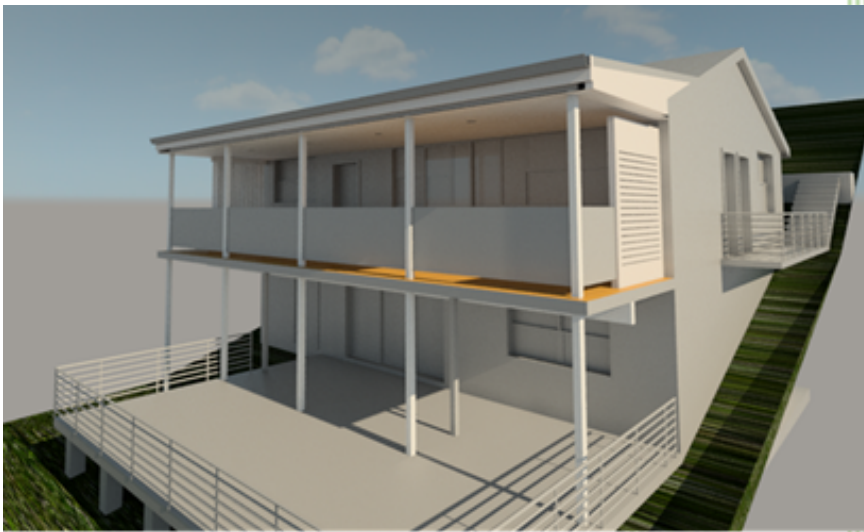


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STATEMENT OF ENVIRONMENTAL EFFECTS



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10 Grandview drive Newport 2106

STATEMENT OF ENVIRONMENTAL EFFECTS
ALTERATIONS AND ADDITIONS
10 GRANDVIEW DRIVE
NEWPORT NSW 2106

MAY 2019

TABLE OF CONTENTS

1.	INTRODUCTION	3
2.	SITE DESCRIPTION AND LOCALITY	4
3.	THE DEVELOPMENT PROPOSAL	5
4.	ZONING & DEVELOPMENT CONTROLS Environmental Living Pittwater 21 Development Control Plan	6-8
5.	IMPACTS AND CONCLUSION	9

1. INTRODUCTION

This application seeks approval for alterations and additions on Lot 96 in DP 16029 which is known as **No. 10 Grandview Drive Newport**.

In preparation of this Development Application consideration has been given to the following:

- Environmental Planning & Assessment Act, 1979C.
- Pittwater 21 Development Control Plan
- Coastal Management SEPP
- SEPP-Environmentally Sensitive area -Proximity Area for Littoral Rainforest
- Geotechnical Hazard area
- Sec 94 Plan for Residential Development
- Biodiversity area
- Land Zoned -E4 Environmental Living
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The following details and documents have been relied upon in the preparation of this document:

- Architectural Plans prepared by openplandesignz, Project No. 10 Grandview NP, dated April 2019
- BASIX Certificate #A236622-02, dated 27 March 2019

This Statement describes the subject site and the surrounding area, together with the relevant planning controls and policies relating to the site and the type of development proposed. It provides an assessment of the proposal and as a result of that assessment it is concluded that the proposal is considered to be acceptable and is worthy of the support of the Council.

2. SITE DESCRIPTION AND LOCALITY

The subject site is identified as on Lot 96 in DP 16029 which is known as **No. 10 Grandview Drive Newport**.

The site is located on the lower Northern side of Grandview Parade.

The site has an area of 537.5m².

The site slopes away dramatically from the South (Road Boundary) to the North.

The locality is depicted in the following map.



Site Location Map

The site is currently occupied by a two storey brick and tile dwelling. A detached Carport which is below road level is located in the front.

The Residence is well below the, both Carport and Residence are not visible from the road.

The existing surrounding development comprises a mix of one and two storey detached Residential dwellings on generally similar sized allotments to the subject site. The site adjoins a Littoral rainforest area on its Northern boundaries.

3. THE DEVELOPMENT PROPOSAL

This proposal seeks approval for the following minor Alterations and Additions

- 1.Extension to an existing Deck on the Northern Elevation of the Residence.
- 2.An Addition of a "Colorbond" Roof over the existing and new portion of the Deck.
- 3.New Sliding doors to the Deck where existing Windows are currently situated.

The Addition to the Deck will have Steel Posts and Beams size and design to Engineers specifications.

The new Sliding door will meet all Basix requirements.

The proposal also provides stormwater to existing stormwater.

The proposed development will not create any shadow as it faces North and the topography of the land ensures any shadow is back on itself.

The proposal does not require the removal of any large trees or shrubs.

The proposal will not affect the Landscaped open space ratio, and not visible from the road.

The proposal is a distance from most neighbor's.

Site: 540.6 sqm

Proposed Deck 10sqm

Proposed roof 29sqm

OSC and FSR unchanged

4. ZONING & DEVELOPMENT CONTROLS

Relevant Planning instruments and Development Control Plans

The proposed development is identified as development requiring the consent of the Council under the provisions of the Environmental Planning and Assessment Act 1979 Amended. The proposal does not go against the relevant provisions of the Act and all of the relevant planning instruments and policies

Pittwater LEP 2014

Zone 4 Environmental Living

11 Development on land in proximity to coastal wetlands or littoral rainforest

Note.

The *Coastal Wetlands and Littoral Rainforests Area Map* identifies certain land that is inside the coastal wetlands and littoral rainforests area as “proximity area for coastal wetlands” or “proximity area for littoral rainforest” or both.

- (1) Development consent must not be granted to development on land identified as “proximity area for coastal wetlands” or “proximity area for littoral rainforest” on the *Coastal Wetlands and Littoral Rainforests Area Map* unless the consent authority is satisfied that the proposed development will not significantly impact on:
 - (a) the biophysical, hydrological or ecological integrity of the adjacent coastal wetland or littoral rainforest, or
 - (b) the quantity and quality of surface and ground water flows to and from the adjacent coastal wetland or littoral rainforest.

Proximity area to Littoral Rainforest

Location

The rear boundary is slightly within the edge of the Littoral Forest.

The proposed development is approx. 21 m from the rear boundary (see Site Plan) (See page 4 this E.I.S)

While hard to determine the exact tree line it looks like it intrudes into the property about the width of the back boundary. (11.46m)

This says the proposal is approximately 10m from the Forest edge.

Groundwater is unaffected.

Proposal Design and Construct and Fire Precautions.

This proposed Deck extension is not a solid wall and is elevated, sitting on poles.

The Proposed “Colorbond” Roof is in line with the proposed Deck, same distance from the Forest.

Fire rated materials (steel posts and beams) minimize fire risk and eliminate termite attack.

Environmental Precautions

Apart from holes there will be no work at ground level.

A silt mesh will eliminate any Construction residual spreading.

7.5 SEPP Coastal Management 2018

The property and proposal is a distance inland, not near any streams or Waterways will have no impact on the coastline.

7.6 Biodiversity

- (1) The objective of this clause is to maintain terrestrial, riparian and aquatic biodiversity by:
 - (a) protecting native fauna and flora, and
 - (b) protecting the ecological processes necessary for their continued existence, and
 - (c) encouraging the conservation and recovery of native fauna and flora and their habitats.
- (2) This clause applies to land identified as “Biodiversity” on the [Biodiversity Map](#).
- (3) Before determining a development application for development on land to which this clause applies, the consent authority must consider:
 - (a) whether the development is likely to have:
 - (i) any adverse impact on the condition, ecological value and significance of the fauna and flora on the land, and
 - (ii) any adverse impact on the importance of the vegetation on the land to the habitat and survival of native fauna, and
 - (iii) any potential to fragment, disturb or diminish the biodiversity structure, function and composition of the land, and
 - (iv) any adverse impact on the habitat elements providing connectivity on the land, and
 - (b) any appropriate measures proposed to avoid, minimise or mitigate the impacts of the development.
- (4) Development consent must not be granted to development on land to which this clause applies unless the consent authority is satisfied that:
 - (a) the development is designed, sited and will be managed to avoid any significant adverse environmental impact, or
 - (b) if that impact cannot be reasonably avoided by adopting feasible alternatives—the development is designed, sited and will be managed to minimise that impact, or
 - (c) if that impact cannot be minimised—the development will be managed to mitigate that impact.

Proximity area to Littoral Rainforest

Biodiversity

The Construction of the proposal is off the ground and a distance from The Littoral Rain Forest and will not affect Biodiversity or impact any local Species.

Geotechnical Hazzard Mapping 2007-GHD

5.0 Geotechnical Report 5.1 Development Application or Application for a Building Certificate A Geotechnical Report is required to be lodged with a Development Application or an Application for a "Building Certificate" as follows: a) For all development activities on land described in Paragraph 3.2(b) Clauses (i) and (ii) – private land. b) For all development activities on land described in Paragraph 3.2(b) Clause (iii) – Works by Utility Companies and Public Authorities. 5.2 Construction Certificate Stage A Geotechnical Report is required to be lodged with a Construction Certificate as follows: a) For all Excavation and Landfill activities for all development as described in Paragraph 3.2(b) Clause (iv). 6.0 Preparation of the Geotechnical Report 6.1 Level of Geotechnical Investigation It is the responsibility of the Geotechnical Engineer/Engineering Geologist to determine the level of investigation required for a particular site/proposal.

A Geotechnical Report will be summitted if needed.

Recommendations will be in conjunction with the Engineers report and will be followed in the Construction process.

The proposal is elevated off the ground.

There will be three holes needed for Structural footings for the Posts.

The Likely Impacts of the Development

It is considered that the proposal will enhance current occupiers' lifestyle without any detrimental impact on the Environment, social and economic status of the locality.

The Suitability of the Site for the proposal

The subject site is zoned R4 Environmental Living Bulk and scale is in keeping with existing structure. The proposal is unseen from road and some distance from rear Neighbor's.

For these reasons it is considered that the site is suitable for the proposed development.

The proposal will have a no effect on the public.

No principal development standards are affected.

Colours and finishes will be in keeping with the locality and existing structure.

Conclusion

This application seeks approval for the proposed Alterations and Additions. As demonstrated in this report. The proposal is consistent with the aims and objectives of the [Pittwater 21 Development Control Plan](#). And the Environmental Planning and Assessment Act.

The proposal does not have any detrimental impact on the amenity of the adjoining properties or the character of the locality.

It will enhance Family lifestyle and Leisure time.

It is therefore considered that the proposal at **No. 10 Grandview Drive Newport** is worthy of the consent of Council.

Robert George Paul
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Open Plan Designz
MAY 2019

