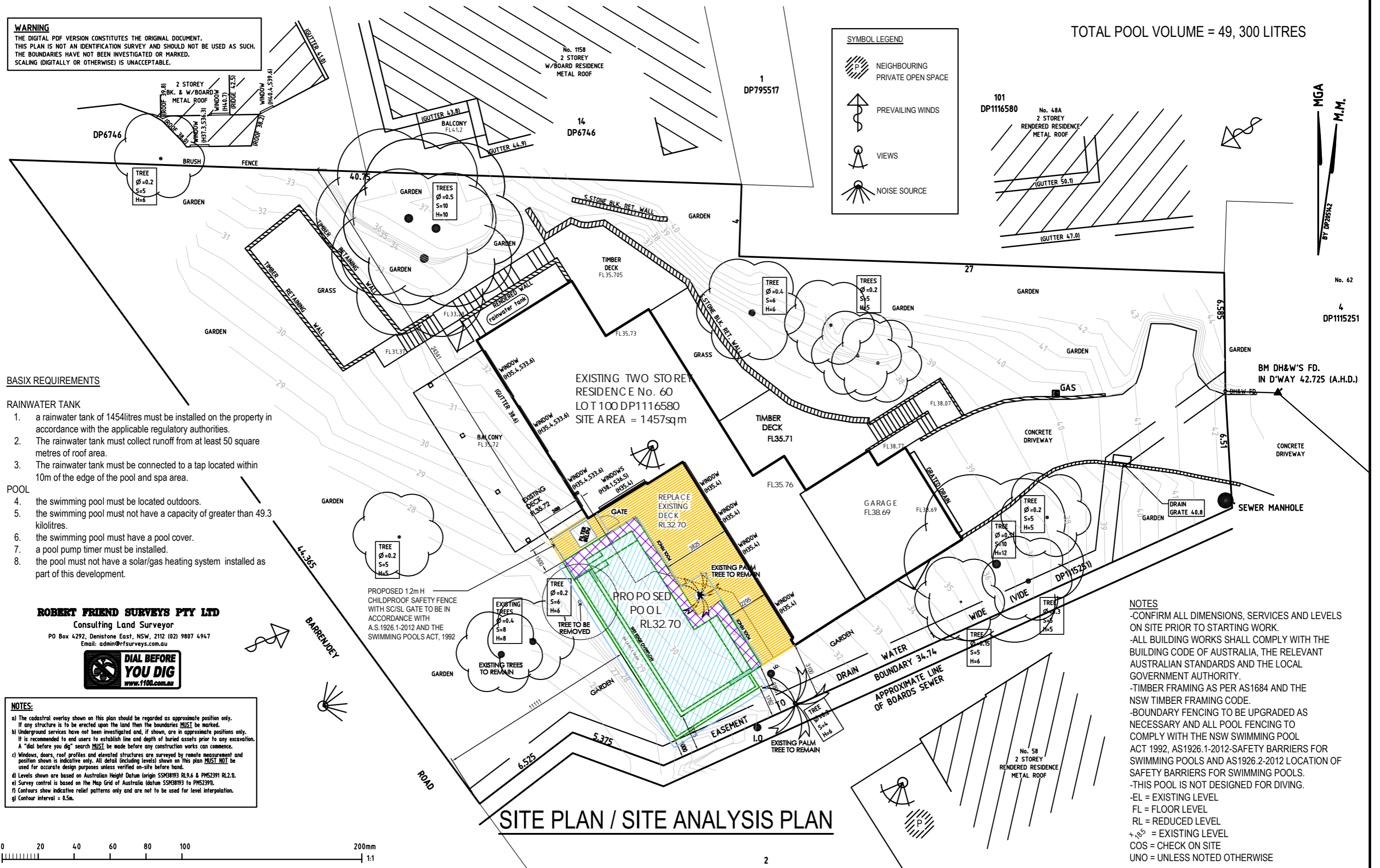


WARNING
 THE DIGITAL PDF VERSION CONSTITUTES THE ORIGINAL DOCUMENT.
 THIS PLAN IS NOT AN IDENTIFICATION SURVEY AND SHOULD NOT BE USED AS SUCH.
 THE BOUNDARIES HAVE NOT BEEN INVESTIGATED OR MARKED.
 SCALING (DIGITALLY OR OTHERWISE) IS UNACCEPTABLE.

TOTAL POOL VOLUME = 49,300 LITRES

SYMBOL LEGEND

- NEIGHBOURING PRIVATE OPEN SPACE
- PREVAILING WINDS
- VIEWS
- NOISE SOURCE



BASIX REQUIREMENTS

- RAINWATER TANK**
- a rainwater tank of 1454litres must be installed on the property in accordance with the applicable regulatory authorities.
 - The rainwater tank must collect runoff from at least 50 square metres of roof area.
 - The rainwater tank must be connected to a tap located within 10m of the edge of the pool and spa area.
- POOL**
- the swimming pool must be located outdoors.
 - the swimming pool must not have a capacity of greater than 49.3 kilolitres.
 - the swimming pool must have a pool cover.
 - a pool pump timer must be installed.
 - the pool must not have a solar/gas heating system installed as part of this development.

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 Consulting Land Surveyor
 PO Box 4292, Denistone East, NSW, 2112 (02) 9807 4947
 Email: admin@rfsurveys.com.au

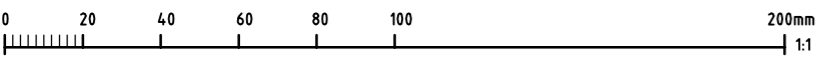


NOTES:

- The cadastral overlay shown on this plan should be regarded as approximate position only. If any structure is to be erected upon the land then the boundaries **MUST** be marked.
- Underground services have not been investigated and, if shown, are in approximate positions only. It is recommended to end users to establish line and depth of buried assets prior to any excavation. A "dial before you dig" search **MUST** be made before any construction works can commence.
- Windows, doors, roof profiles and elevated structures are surveyed by remote measurement and position shown is indicative only. All detail (including levels) shown on this plan **MUST NOT** be used for accurate design purposes unless verified on-site before hand.
- Levels shown are based on Australian Grid Datum (origin SSM38193 RL8.6 & PMS2391 RL2.1).
- Survey control is based on the Map Grid of Australia (datum SSM38193 to PMS2391).
- Contours show indicative relief patterns only and are not to be used for level interpolation.
- Contour interval = 0.5m.

NOTES

- CONFIRM ALL DIMENSIONS, SERVICES AND LEVELS ON SITE PRIOR TO STARTING WORK.
- ALL BUILDING WORKS SHALL COMPLY WITH THE BUILDING CODE OF AUSTRALIA, THE RELEVANT AUSTRALIAN STANDARDS AND THE LOCAL GOVERNMENT AUTHORITY.
- TIMBER FRAMING AS PER AS1684 AND THE NSW TIMBER FRAMING CODE.
- BOUNDARY FENCING TO BE UPGRADED AS NECESSARY AND ALL POOL FENCING TO COMPLY WITH THE NSW SWIMMING POOL ACT 1992, AS1926.1-2012-SAFETY BARRIERS FOR SWIMMING POOLS AND AS1926.2-2012 LOCATION OF SAFETY BARRIERS FOR SWIMMING POOLS.
- THIS POOL IS NOT DESIGNED FOR DIVING.
- EL = EXISTING LEVEL
- FL = FLOOR LEVEL
- RL = REDUCED LEVEL
- COS = CHECK ON SITE
- UNO = UNLESS NOTED OTHERWISE



RIG H T A N G L E D E S I G N & D R A F T I N G P T Y L T D

ROBYN GOOD
 HORTICULTURE CERT III
 ASSOC. DIPLOMA STRUCTURAL ENGINEERING
 NZCD ARCHITECTURAL DRAUGHTING

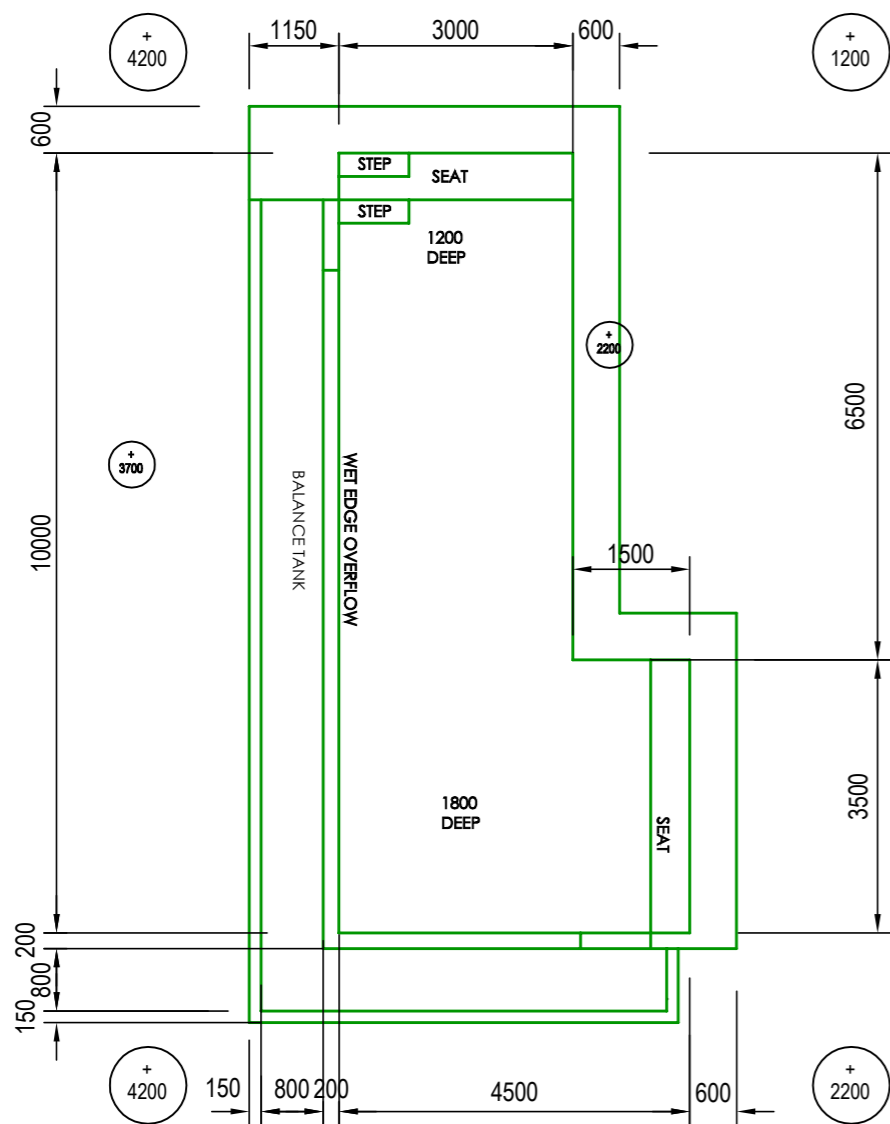
P.O. Box 1049 SURRY HILLS 2010
 PH: 8399-0072
 EMAIL: info@rightangledesign.com.au
 ABN: 70 150 745 556

REVISIONS:

2
 DP116580

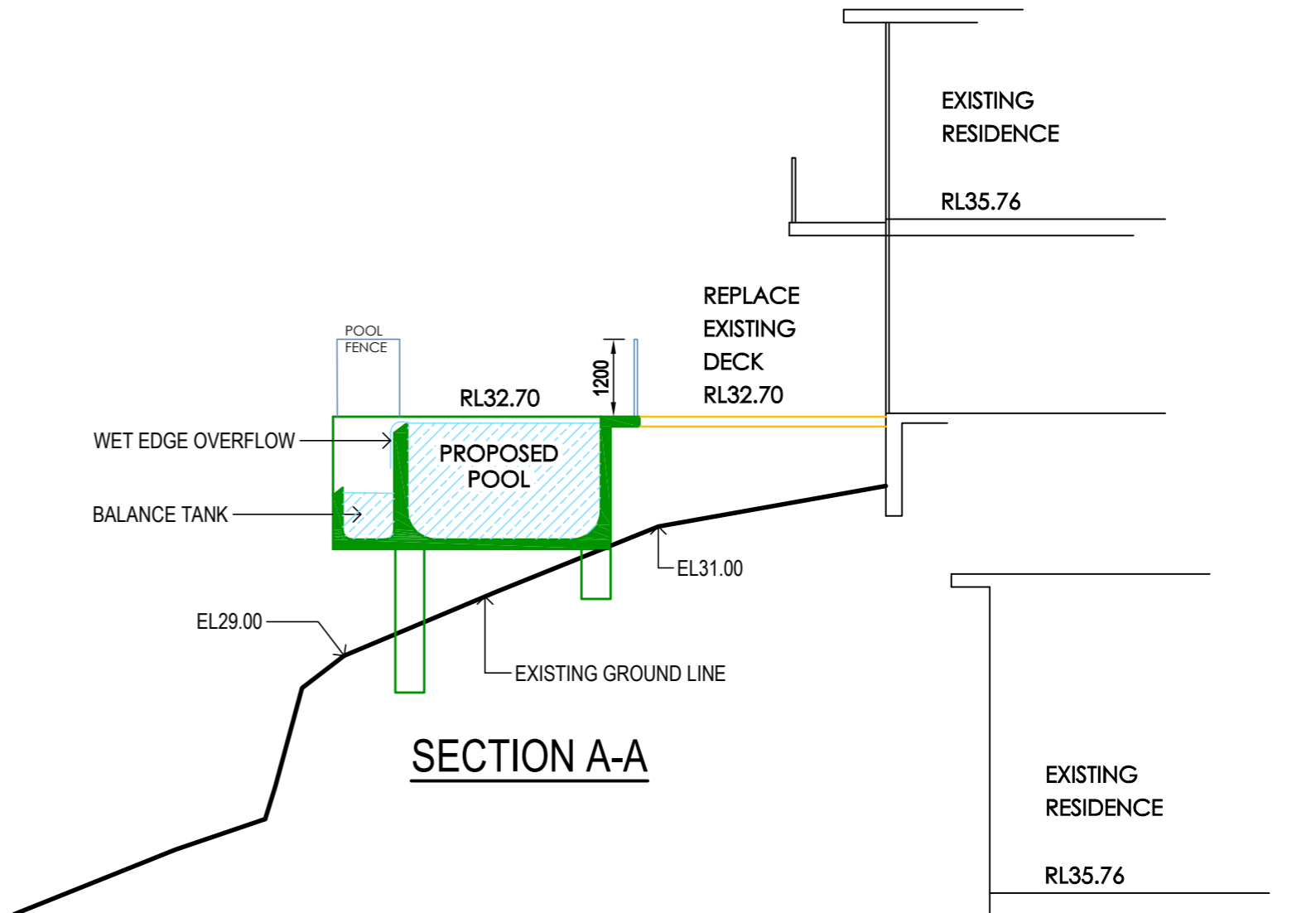
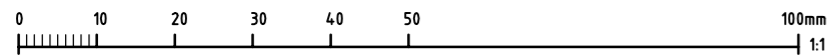
PROPOSED POOL & ASSOCIATED WORKS
 LESLIE AND LYN MATHESON
 LOT 100 DP116580
 No. 60 PALM BEACH ROAD
 PALM BEACH 2108

DWG NAME			
SITE PLAN / SITE ANALYSIS PLAN			
DATE	SCALE AT A3	JOB NUMBER	DWG NUMBER
JUN 19	1:200	RADD19035	P1

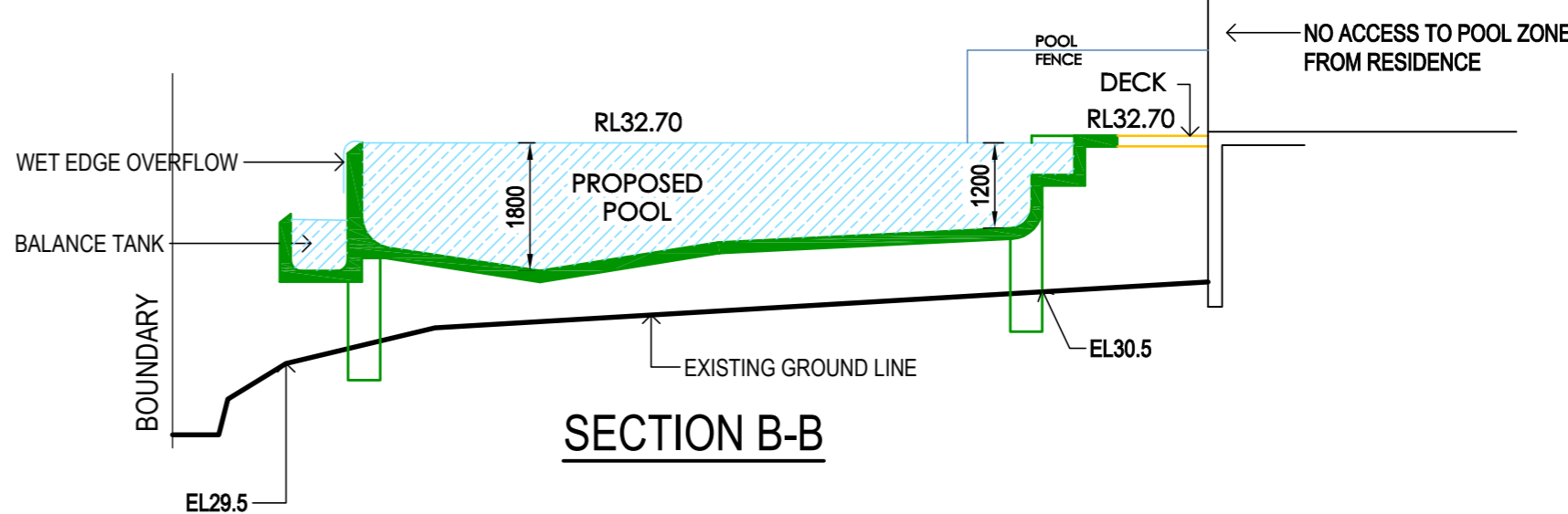


POOL PLAN

+ 500 DENOTES TOP OF POOL RELATIVE TO NATURAL GROUND LEVEL



SECTION A-A



SECTION B-B

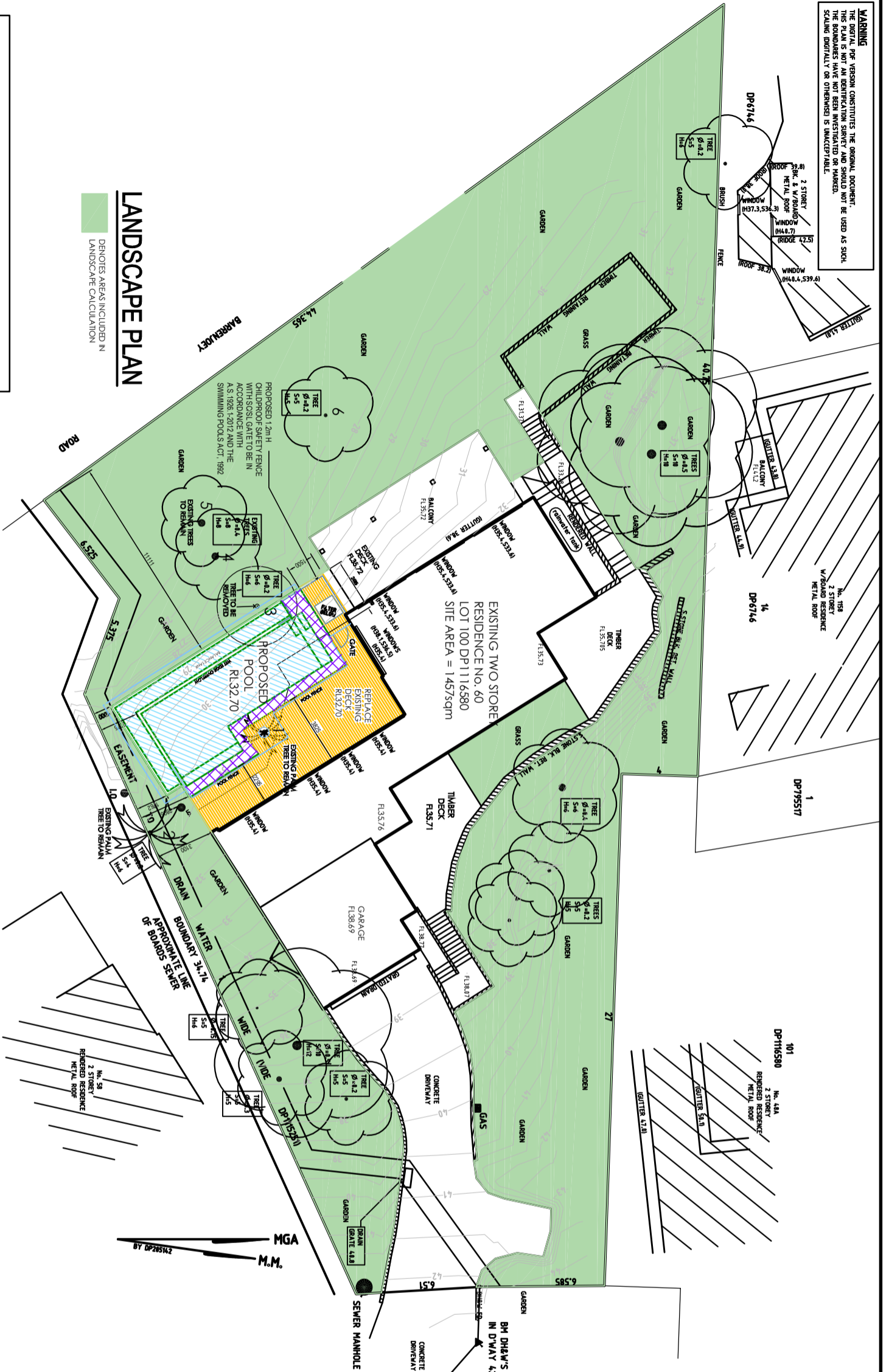
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 ROBYN GOOD
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REVISIONS:

PROPOSED POOL & ASSOCIATED WORKS
 LESLIE AND LYN MATHESON
 LOT 100 DP1116580
 No. 60 PALM BEACH ROAD
 PALM BEACH 2108

DWG NAME			
POOL PLAN AND SECTIONS			
DATE	SCALE AT A3	JOB NUMBER	DWG NUMBER
JUN 19	1:100	RADD19035	P3

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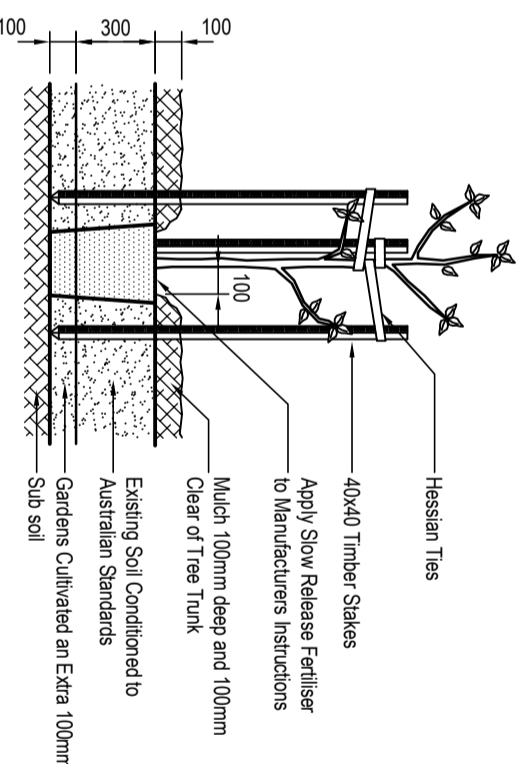
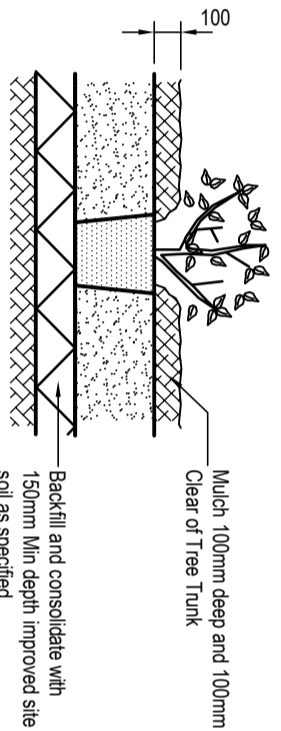


LANDSCAPE PLAN
 DENOTES AREAS INCLUDED IN LANDSCAPE CALCULATION

LANDSCAPE CALCULATION

SITE AREA = 1457 sq m

HARD SURFACE	
HOUSE incl garage	= 190.5 m ²
TIMBER DECKS & STAIRS	= 79.3 m ²
DRIVEWAY	= 91.6 m ²
BALCONY	= 47.2 m ²
PROPOSED DECK	= 44.6 m ²
PROPOSED POOL	= 62.7 m ²
TOTAL HARD SURFACE	= 515.9 m ²
OR 35% OF THE SITE	
TOTAL SOFT SURFACE	= 941.1 m ²
OR 65% OF THE SITE.	
REQUIRED LANDSCAPED	= 874.2 m ² / 60%



LANDSCAPE NOTES:

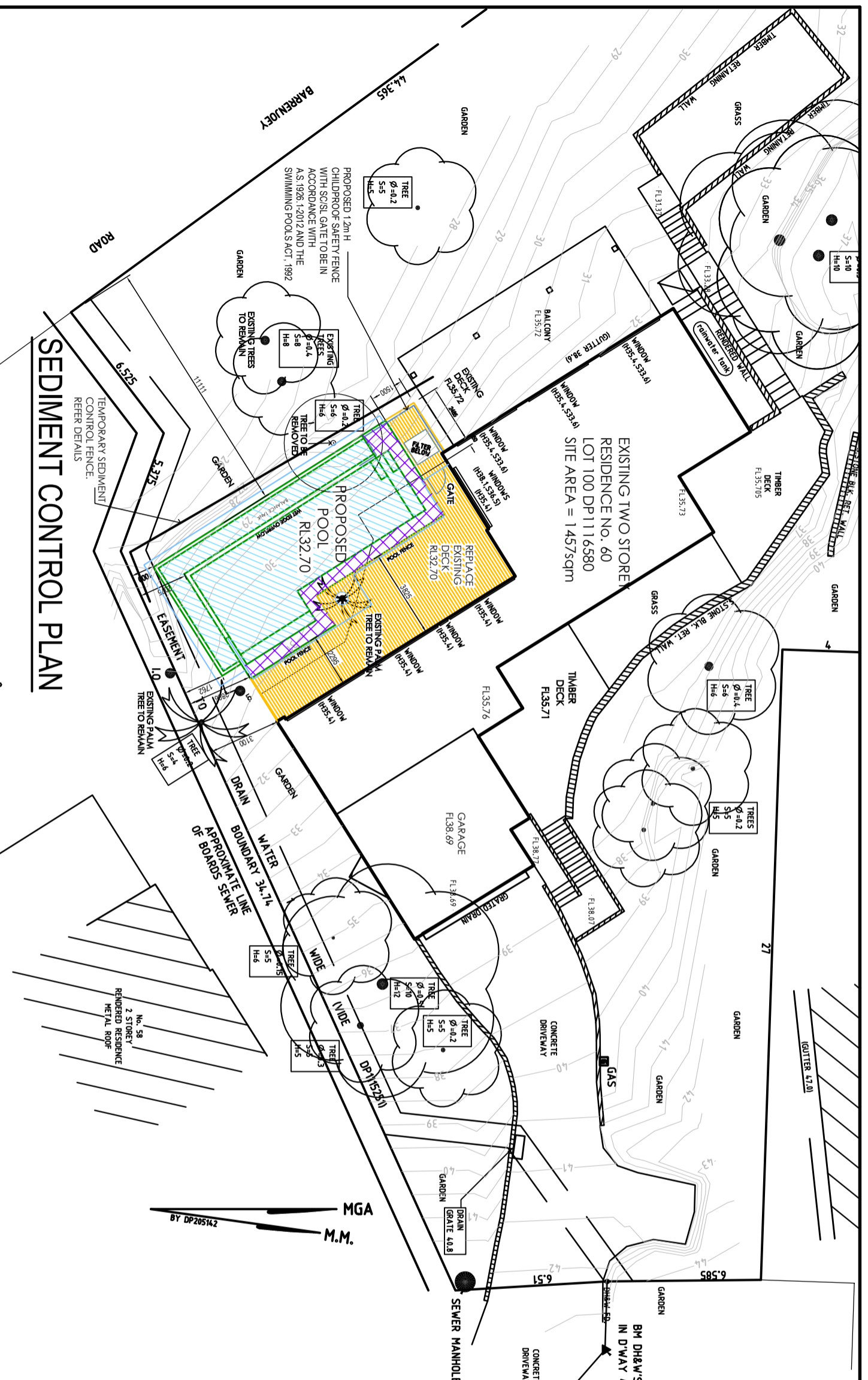
- Check boundaries, levels, dimensions and locate services on site prior to starting work.
- Clear site of any builders rubbish and set up erosion and sediment control as per councils requirements.
- Protect any trees to be retained to council requirements.
- Grade site to achieve proposed final grades. Cultivate sub grade to a depth of 300mm.
- Stockpile soil if suitable for reuse or provide landscape soil that meets Australian Standards to replace site top soil.
- Install plant material as per plan. Keep planting areas moist, stake plants as required and 'water in'. Fertilise exotic plants with Osmocote 'Plus' 8-9 month slow release fertiliser and native plants with Osmocote zero Phosphorus 5-6 month slow release. Apply as per manufacturer's instructions.
- Gardens are to be mulched to a 75mm depth using Native Leaf Litter Mulch or wood chip that meets Australian Standards. Keep mulch clear of all plant stems.
- Level turf areas and spread lawn food as per manufacturers instructions. Lay turf, water well and roll with turf roller. Keep moist at all times.
- Fill gaps and depressions with sand and allow 4 weeks before cutting.
- Paving to be laid on compacted surface of 50mm sand bed on 100mm compacted fine crushed rock. Ensure ground below is also compacted. Check paving and setout prior to laying.
- Retaining walls and concrete driveways / paths to engineers details.

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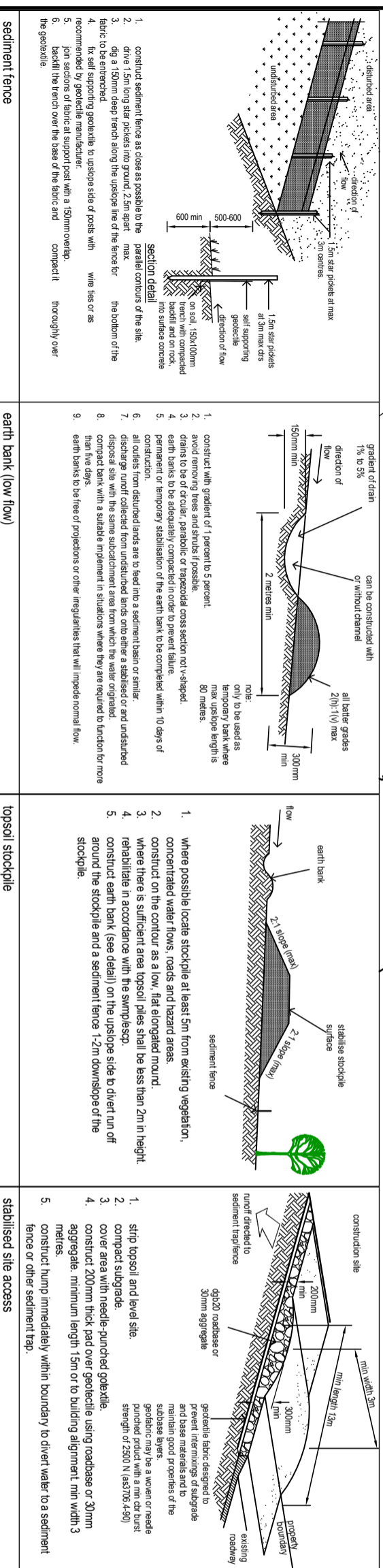
ROBIN GOOD
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 NZCC ARCHITECTURAL ENGINEERING
 NZCC ARCHITECTURAL DRAFTING
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 ABN: 70 150 745 556

PROPOSED POOL & ASSOCIATED WORKS
 LESLIE AND LYN MATHESON
 LOT 100 DP1116580
 No. 60 PALM BEACH ROAD
 PALM BEACH 2108

DWG NAME	LANDSCAPE PLAN
DATE	JUN 19
SCALE	AT A3
JOB NUMBER	RADD19035
DWG NUMBER	P5



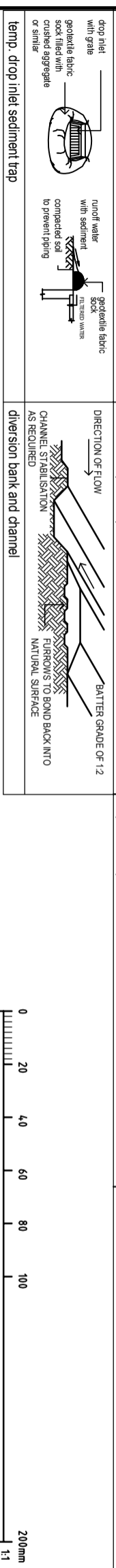
SEDIMENT CONTROL PLAN



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 LANDSCAPE ARCHITECTURAL ENGINEERING
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PROPOSED POOL & ASSOCIATED WORKS
 LESLIE AND LYN MATHESON
 LOT 100 DP1 116580
 NO. 60 PALM BEACH ROAD
 PALM BEACH 2108

DWG NAME: SEDIMENT CONTROL PLAN
 DATE: JUN 19
 SCALE: AT A3
 JOB NUMBER: RADD19035
 DWG NUMBER: P6



PLUMBING LAYOUT
 DIAGRAMMATIC ONLY

High level overflow pipe with non-return valve, connected to backwash line. Min. 1% natural fall

Surface Skimmer Box (S.B)

Discharge/Backwash

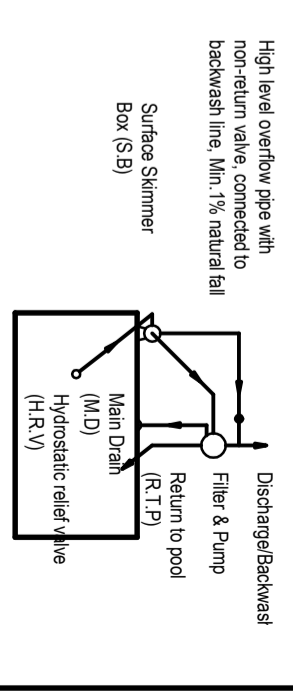
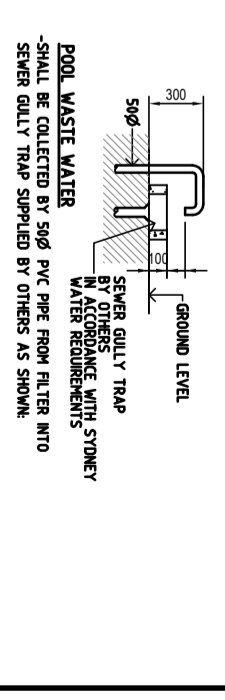
Return to pool (R.T.P)

Filler & Pump

Main Drain (M.D)

Hydrostatic relief valve (H.R.V)

- all works to be carried out in accordance with landcom publication -managing urban stormwater: soils and construction "the blue book".
- site works will not start until the erosion and sediment control works outlined in clauses 2 to 4 below are installed and functional.
- the entry to and departure of vehicles from the site will be confined to one stabilised point, sediment or barriers fencing will be used to restrict all vehicular movements to that point, stabilisation will be achieved by either:
 - constructing a sealed driveway to the street.
 - constructing a stabilised site access or other suitable technique approved by council.
- sediment fences and barrier fences shall be installed as shown.
- topsoil from the work's area will be stripped and stockpiled for later use in landscaping the site if necessary, otherwise the excavation material is to be removed from site at the responsibility of the excavation contractor.
- all stockpiles will be placed at least 2m clear of possible areas of concentrated water flow including driveways.
- lands outside of the scope of works and on the footpath will not be disturbed during works except where essential eg. drainage works across footpath, where works are necessary they will be undertaken in such a way to minimise the occurrence of soil erosion, even for short periods, they will be rehabilitated (grassed) as soon as possible, stockpiles will not be placed on these lands and they will not be used as vehicle parking areas.
- approved bins for building waste, concrete and mortar slurries, paints, acid washings and letter will be provided and arrangements made for regular collection and disposal.
- guttering will be connected to the stormwater system or the rainwater tank as soon as possible.
- topsoil will be respread and all disturbed areas will be stabilised within 20 working days of the completion of works.
- all erosion and sediment controls will be checked at least weekly and after rain to ensure they are maintained in a fully functional condition.



MATERIALS AND FINISHES FOR 60 PALM BEACH ROAD, PALM BEACH



TRAVERTINE TILE FOR THE SWIMMING POOL COPING AND SURROUNDS



SWIMMING POOL FENCING—TO COMPLY WITH POOL FENCING ACT



HARDWOOD OR MODWOOD FOR DECK REPLACEMENT