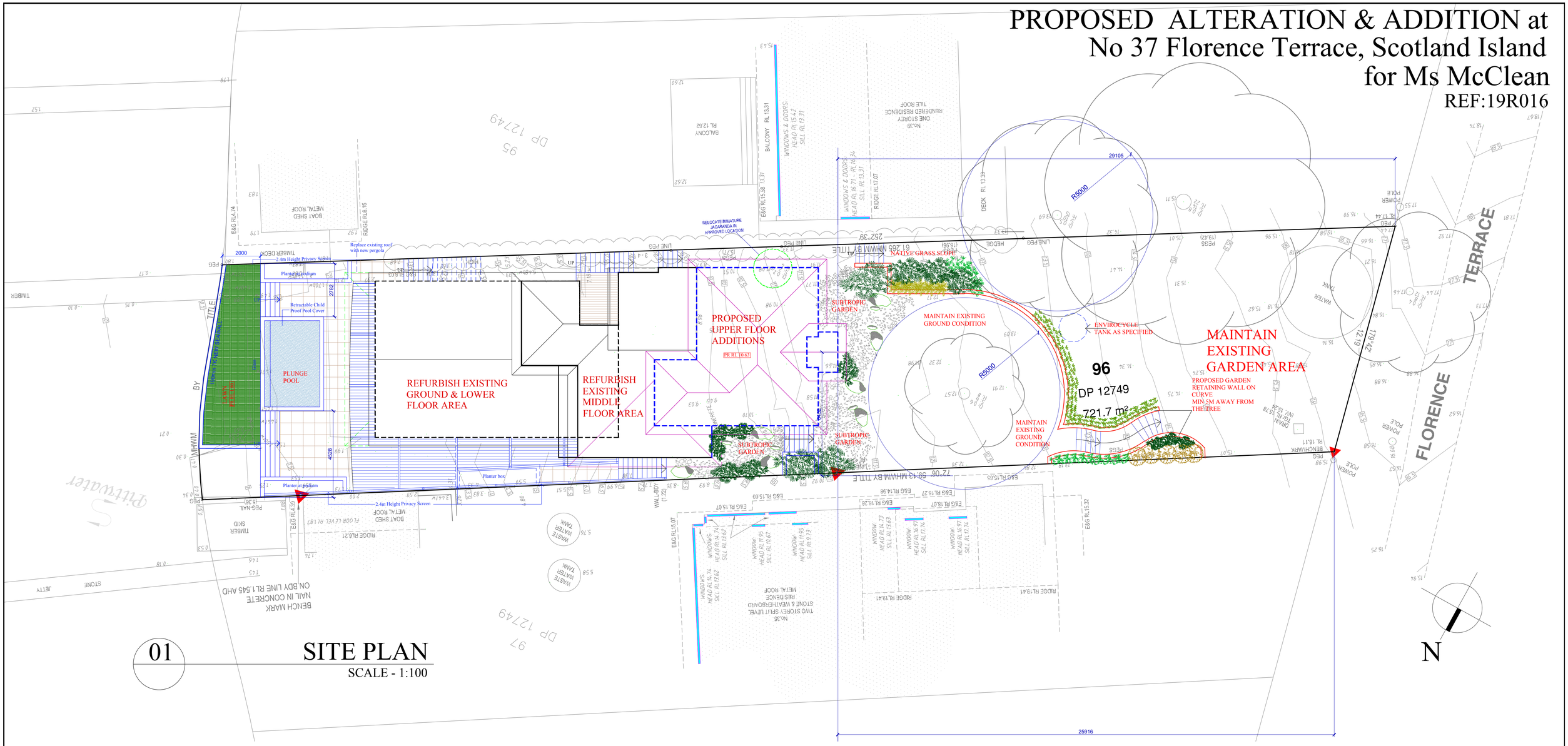
PROPOSED ALTERATION & ADDITION at No 37 Florence Terrace, Scotland Island for Ms McClean

REF:19R016

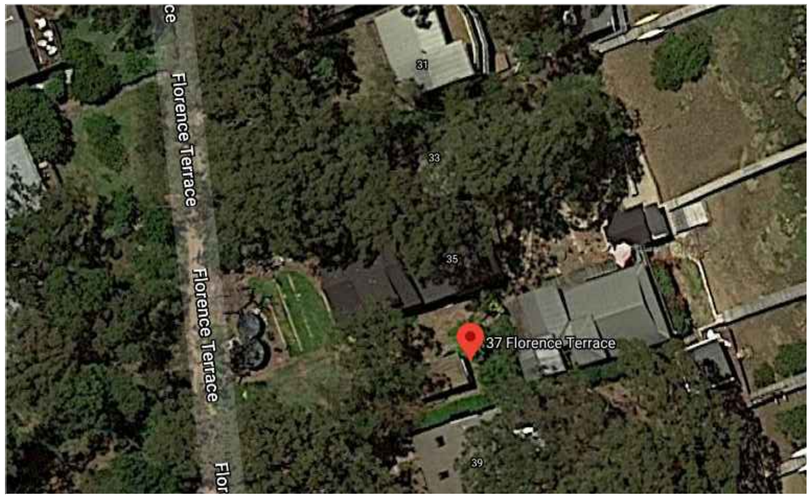


01 SITE PLAN

SCALE - 1:100

DRAWING LIST

DOCUMENT No.	DOCUMENT TITLE
01	SITE PLAN / LOCATION PLAN / CALCULATION TABLE
02	SITE ANALYSIS PLAN
03	DEMOLITION PLAN
04	EXISTING LOWER FLOOR PLAN
05	EXISTING GROUND FLOOR PLAN
06	EXISTING MIDDLE FLOOR PLAN
07	EXISTING ELEVATIONS
08	LOWER & GROUND FLOOR PLAN
09	MIDDLE & UPPER FLOOR PLAN
10	FLOOR DIMENSION PLANS
11	ELEVATIONS
12	SECTION 1-1
13	LANDSCAPE PLAN & DETAILS
14	SHADOW DIAGRAM 9AM
15	SHADOW DIAGRAM 12N
16	SHADOW DIAGRAM 3PM



LOT 96 DP 12749	SITE AREA	721.7 m²

EXISTING BUILDING AREA	
LOWER FLOOR	65 m²
GROUND FLOOR	125 m²
MIDDLE LEVEL FLOOR	58 m²
GRANNY FLAT + BALCONY	25 m²
FRONT PORCH	3 m²
EXISTING DECKING	16.5 m²
TOTAL	292.5 m²

EXISTING SITE COVERAGE: 292.5 / 721.7 = 0.405	40.5 %
EXIST EXTERNAL PATH + STEPS + RETAINING WALL + PAVING	84.5 m²
EXISTING LANDSCAPE AREA: (292.5+84.5) / 721.7 = 0.522	52.2 %

DEMOLISHED EXISTING AREAS	
EXISTING DECKING	16.5 m²
EXISTING PORCH AREA	3 m²
EXISTING SELF-CONTAINED GRANNY FLAT + BALCONY	25 m²
TOTAL	44.5 m²

PROPOSED AREA	
LOWER FLOOR EXTENSION	50 m²
GROUND FLOOR EXTENSION	14.5 m²
MIDDLE FLOOR EXTENSION	18.5 m²
UPPER FLOOR	59.0 m²
FRONT PORCH EXTENSION	3.0 m²
TOTAL ADDITIONAL AREA	144.0 m²

PROPOSED TOTAL BUILDING AREA FOR SITE AREA	310.0 m²
PROPOSED SITE COVERAGE: 310 / 721.7 = 0.43	43.0%
PROPOSED EXTERNAL PATH + STEPS + RETAINING WALL = PAVING	75.7 m²
PLUNGE POOL AREA	16.2 m²
PROPOSED LANDSCAPE AREA: (310+75.7+16.2) / 721.7 = 0.557	55.7 %

ISSUE	AMENDMENT	DATE
DA/CC		2-9-21

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REF 19R016 DATE DEC. 2019
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Development Application

SITE PLAN

01

PROPOSED ALTERATION & ADDITION at No 37 Florence Terrace, Scotland Island for Ms McClean

REF:19R016

COMMENCEMENT OF WORKS

THE CONTRACTOR SHALL ENSURE THAT NO SPOIL OR FILL ENCROACHES UPON ADJACENT AREAS FOR THE DURATION OF WORKS.

THE CONTRACTOR SHALL ENSURE THAT KERB INLETS AND DRAINS RECEIVING STORMWATER SHALL BE PROTECTED AT ALL TIMES DURING DEVELOPMENT. KERB INLET SEDIMENT TRAPS SHALL BE INSTALLED ALONG THE IMMEDIATE VICINITY ALONG THE STREET FRONTAGE.

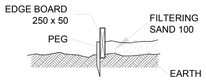
SEDIMENT FENCING SHALL BE SECURED BY POST (WHERE METAL STAR PICKETS ARE USED PLASTIC SAFETY CAPS SHALL BE USED) AT 2000 INTERVALS WITH GEOTEXTILE FABRIC EMBEDDED 200 IN SOIL.

ALL TOPSOIL STRIPPED FORM THE SITE AND STOCKPILED DOES NOT INTERFERE WITH DRAINAGE LINES AND STORMWATER INLETS AND WILL BE SUITABLY COVERED WITH AN IMPERVIOUS MEMBRANE MATERIAL AND SCREENED BY SEDIMENT FENCING.

SEDIMENT TRAP

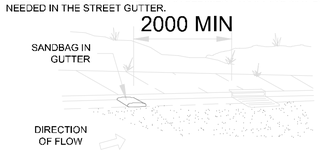
1000 x 1000 WIDE 500 DEEP PIT, LOCATED AT THE LOWEST POINT TO THE TRAP SEDIMENT.

WASHOUT AREA TO BE 1800 x 1800 ALLOCATED FOR THE WASHING OF TOOL & EQUIPMENT.



SANDBAG KERB SEDIMENT TRAP

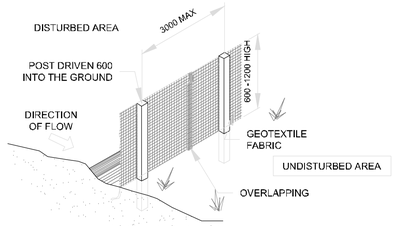
IN CERTAIN CIRCUMSTANCES EXTRA SEDIMENT TRAPPING MAY BE NEEDED IN THE STREET GUTTER.

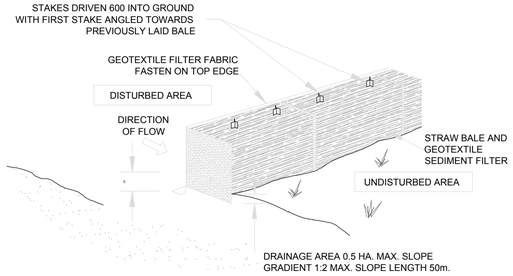


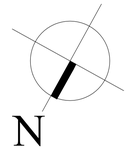
SEDIMENT FENCE

PROVIDE 'SEDIMENT FENCE ON DOWN SLOPE BOUNDARY AS SHOWN ON PLAN.

FABRIC TO BE BURIED BELOW GROUND AT LOWER EDGE.

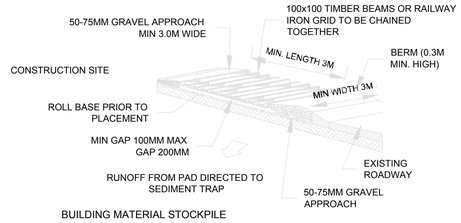






TEMPORARY CONSTRUCTION ENTRY/EXIT

VEHICLE ACCESS TO THE BUILDING SITE SHOULD BE RESTRICTED TO A SINGLE POINT SO AS TO REDUCE THE AMOUNT OF SOIL DEPOSITED ON THE STREET PAVEMENT.



BUILDING MATERIAL STOCKPILE

ALL STOCKPILES OF BUILDING MATERIAL SUCH AS SAND AND SOIL MUST BE PROTECTED TO PREVENT SCOUR AND EROSION.

THEY SHOULD NEVER BE PLACED IN THE STREET GUTTER WHERE THEY WILL WASH AWAY WITH THE FIRST RAINSTORM.

GENERAL NOTES

THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH OTHER CONSULTANTS' DRAWINGS AND SPECIFICATIONS AND WITH OTHER SUCH WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ANY DISCREPANCY SHALL BE REFERRED TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.

ALL DIMENSIONS ARE IN MILLIMETRES & ALL LEVELS ARE IN METRES, UNO (UNLESS NOTED OTHERWISE). NO DIMENSION SHALL BE OBTAINED BY SCALING THE DRAWINGS.

ALL LEVELS AND SETTING OUT DIMENSIONS SHOWN ON THE DRAWINGS SHALL BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF THE WORK.

DURING EXCAVATION WORK THE STRUCTURE SHALL BE MAINTAINED IN A STABLE AND NO PART SHALL BE OVERSTRESSED.

ALL WORK IS TO BE UNDERTAKEN IN ACCORDANCE WITH THE DETAILS SHOWN ON THE DRAWINGS & THE SPECIFICATION.

EXISTING SERVICES WHERE SHOWN HAVE BEEN PLOTTED FROM SUPPLIED DATA AND SUCH THEIR ACCURACY CAN NOT BE GUARANTEED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH THE LEVEL OF ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF WORK.

ALL SERVICE TRENCHES UNDER VEHICULAR PAVEMENTS SHALL BE BACK FILLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL COUNCIL.

ALL TRENCH BACK FILL MATERIAL SHALL BE COMPACTED TO THE SAME DENSITY AS THE ADJACENT MATERIAL.

ON COMPLETION OF STORMWATER INSTALLATION, ALL DISTURBED AREAS MUST BE RESTORED TO ORIGINAL CONDITION, INCLUDING KERBS, FOOTPATHS, CONCRETE AREAS, GRAVEL AND GRASSED AREAS AND ROAD PAVEMENTS, UNLESS DIRECTED OTHERWISE.

CONTRACTOR TO OBTAIN ALL AUTHORITY APPROVALS UNLESS DIRECTED OTHERWISE.

STORMWATER DRAINAGE

THE STORMWATER DRAINAGE DESIGN HAS BEEN CARRIED OUT IN ACCORDANCE WITH AS/NZS 3500.3 - 1990 "STORMWATER DRAINAGE" & AS/NZS 3500.3.2-1998 "STORMWATER DRAINAGE - ACCEPTABLE SOLUTIONS".

ANY VARIATIONS TO THE NOMINATED LEVELS SHALL BE REFERRED TO ENGINEER IMMEDIATELY.

ANY VARIATIONS TO SPECIFIED PRODUCTS OR DETAILS SHALL BE REFERRED TO THE ENGINEER FOR APPROVAL.

DOWN PIPES SHALL BE A MINIMUM OF DN100 SW GRADE uPVC OR 100 X 100 COLORBOND OR ZINCALUME STEEL, UNO.

BOX COLORBOND OR ZINCALUME STEEL. GUTTERS SHALL BE A MINIMUM OF 450 WIDE X 150 DEEP.

EAVES GUTTERS SHALL BE A MINIMUM OF 125 WIDE X 100 DEEP (OR OF EQUIVALENT AREA) COLORBOND OR ZINCALUME STEEL.

SUBSOIL DRAINAGE SHALL BE PROVIDED TO ALL RETAINING WALLS & EMBANKMENTS, WITH THE LINES FEEDING INTO THE STORMWATER DRAINAGE SYSTEM.

SEDIMENT AND EROSION CONTROL NOTES

SEDIMENT AND EROSION CONTROL SHALL BE EFFECTIVELY MAINTAINED AT ALL TIMES DURING THE COURSE OF CONSTRUCTION AND SHALL NOT BE REMOVED UNTIL THE SITE HAS BEEN STABILISED OR LANDSCAPED TO THE SUPERINTENDENT'S SATISFACTION

A SINGLE ALL WEATHER ACCESS WAY WILL BE PROVIDED AT THE FRONT OF THE PROPERTY CONSISTING OF 50-75 AGGREGATE OR SIMILAR MATERIAL AT A MINIMUM THICKNESS OF 150 LAID OVER NEEDLE-PUNCHED GEOTEXTILE FABRIC AND CONSTRUCTED PRIOR TO COMMENCEMENT OF WORKS.

SOIL CONSERVATION NOTE

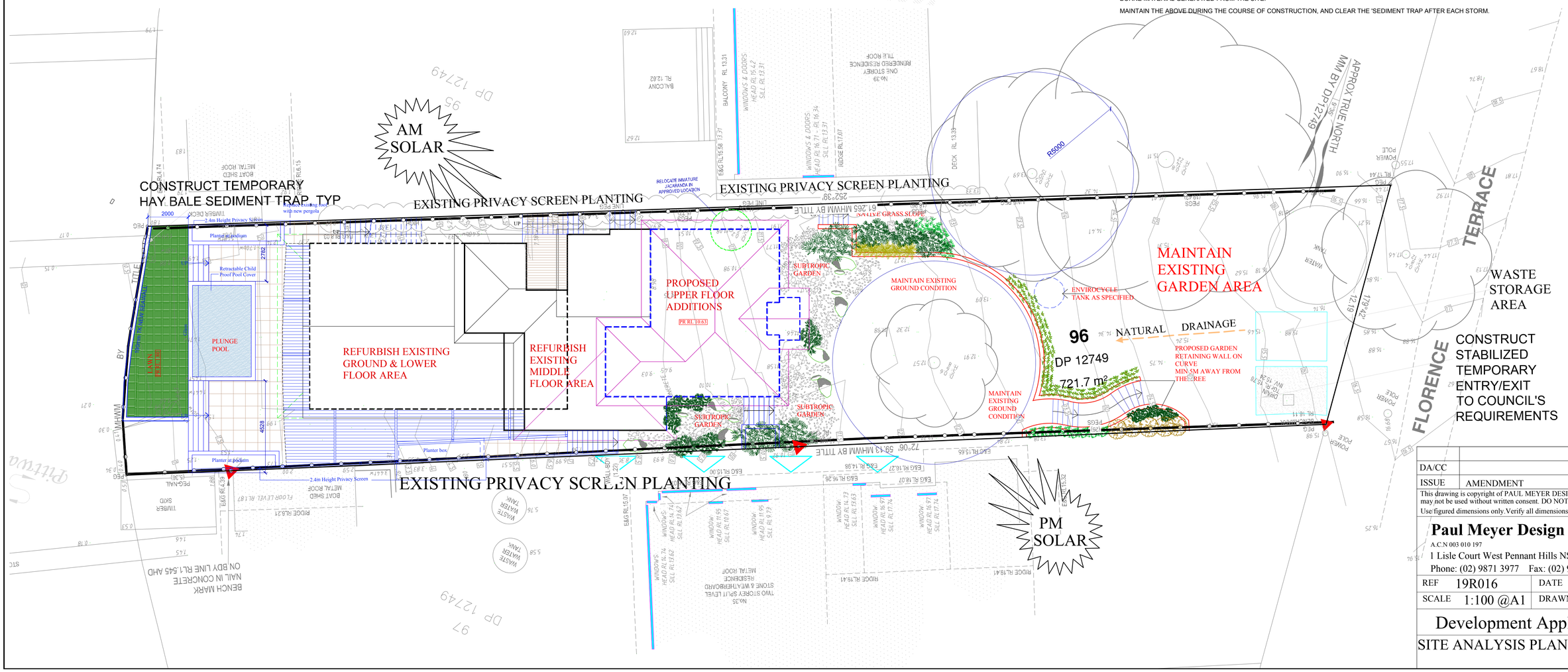
PRIOR TO COMMENCEMENT OF CONSTRUCTION PROVIDE 'SEDIMENT FENCE,' 'SEDIMENT TRAP' AND WASHOUT AREA TO ENSURE THE CAPTURE OF WATER BORNE MATERIAL GENERATED FROM THE SITE.

MAINTAIN THE ABOVE DURING THE COURSE OF CONSTRUCTION, AND CLEAR THE 'SEDIMENT TRAP AFTER EACH STORM.

01

SITE ANALYSIS PLAN

SCALE - 1:100



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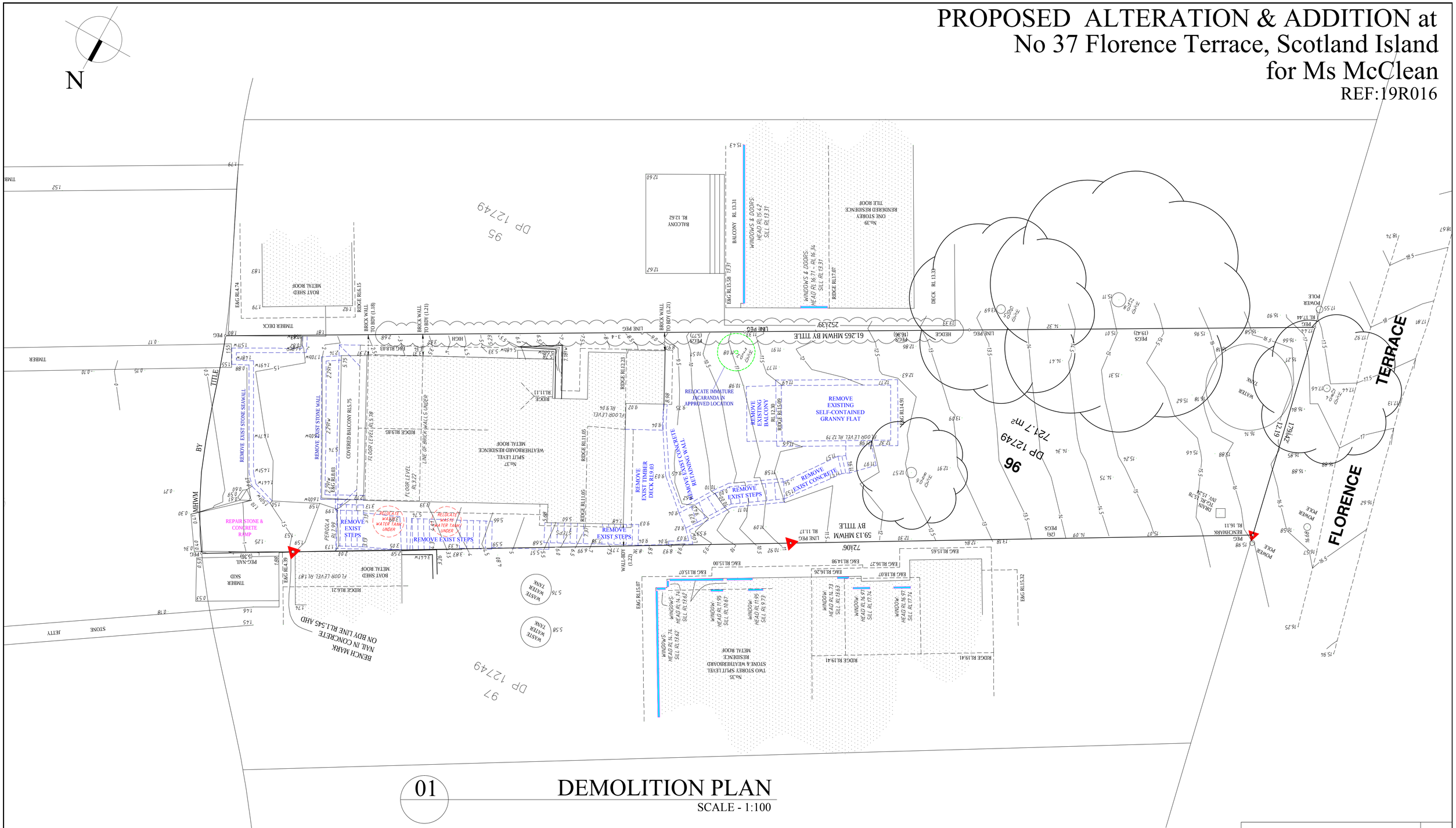
REF	19R016	DATE	DEC. 2019
SCALE	1:100 @A1	DRAWN	

Development Application

SITE ANALYSIS PLAN

02

PROPOSED ALTERATION & ADDITION at
No 37 Florence Terrace, Scotland Island
for Ms McClean
REF:19R016



01 DEMOLITION PLAN
SCALE - 1:100

WORK PROCEDURE – HAND DEMOLITION

*The demolition on site will be carried out in accordance with SEPP 2008 Part 7 and AS2601-2001.
*At the discretion of either site instructions from the onsite competent person, any parts of the structure that may cause damage to fences or neighbouring properties during the mechanical demolition process shall be isolated by hand to reduce or remove the risk of possible damage.
*Any works over 1.8m in height shall have some form of fall arrest system put in place (i.e.; enertia reel/harness) this will be set up by a qualified person on site. Staff will be briefed in required "hook on" "hook off" procedure.
*All roof tiles or steel sheeting will be removed by hand. A drop zone for the roof tiles will be established and marked out by barrier tape to stop staff from entering area. Roof tiles will be thrown down to waiting truck or drop zone.
*Roof sheeting will be removed and passed to staff on ground to be stockpiled or placed directly into truck.
*Any part of the roof frame requiring hand isolation will be cut down with chainsaws or pried apart with crowbars. The material will be passed to staff on ground to be stockpiled or placed directly into truck.
*Any part of the timber framed walls requiring hand isolation will be cut down with chainsaws or pried apart with crowbars, while working off internal floors or scaffolding. Any part of the brick walls requiring hand isolation will be hammered down by staff using club hammers or sledge hammers. All staff will work off internal floors with chainsaws or pried apart with crowbars, while working off internal floors or external scaffolding.
*All material will be stockpiled in-situ or wheel barrowed to stockpile, drop zone or placed directly into truck.
*Staff on site shall hose the structure as it is being demolished to reduce airborne dust leaving site.

WORK PROCEDURE – MECHANICAL DEMOLITION

*The demolition on site will be carried out in accordance with SEPP 2008 Part 7 and AS2601-2001.
*At the discretion of either site instructions from James Compagnon or the onsite competent person, any parts of the structure that may cause damage to fences or neighbouring properties during the mechanical demolition process shall be isolated by hand to reduce or remove the risk of possible damage.
*Any works over 1.8m in height shall have some form of fall arrest system put in place (i.e.; enertia reel/harness).
*The building structure will then be demolished by an excavator and separated by use of grabs into stockpiles for loading out.
*Staff on site shall hose the structure as it is being demolished to reduce airborne dust leaving site.
*The material will then be loaded by excavator into trucks for disposal (all loads to be tarped prior to leaving site).
*All debris will be carted to a licensed landfill or recycling yard.

WORK PROCEDURE – ROOF WORK ('HOOK' & 'UNHOOK' PROCEDURE)

*All works over 1.8 metres in height shall have a fall arrest system in place. (i.e. enertia reels).
*Inspect ladder for damages. If damaged discontinue use of ladder and notify management immediately, if in good working order proceed to next step.
*Place ladder on level ground and extend ladder so it passes gutter/fascia by at least 1m. The ladder should be set up at a ratio of 4:1 meaning for every 4 metres in height it should be 1 metre away from its vertical point of origin.
*A suitably qualified person shall then secure the ladder to the structure by use of rope or strap to either a truss or joist.
*A suitable qualified person with then put on his/her safety harness and take an enertia reel up the ladder and secure it to the roof truss within reach of the ladder. This work will be performed while remaining on the ladder.
*After securing themselves to the enertia reel, they will grab the required amount of additional enertia reels and proceed onto the roof; they will fit them to the peak of the roof using the straps & carabineers attached to the reels.
*They will then 'hook' themselves to the new enertia reel. Once this is done they can remove the original hook from the enertia reel adjacent to the ladder.
*The suitable qualified person will then grab the remaining unused enertia reel hooks and proceed to the ladder.
*All additional staff will then fit their harness and proceed up the ladder. Before leaving the ladder, the supervisor will 'hook' them onto their reel so they can proceed onto the roof to carry out required task.
*Anytime any staff need to come down from the roof they must stay 'hooked' onto their enertia until they are safely onto the ladder. Once on the ladder they will 'unhook' their enertia reel and 'hook' it onto the ladder or roof truss adjacent to the ladder so it is within reach of the ladder if they must return to the roof.
*Once work on roof is completed and remaining staff has 'unhooked' while on the ladder and preceded to the ground, the suitably qualified person will then remove the enertia reels in a reverse order to how they were set up.

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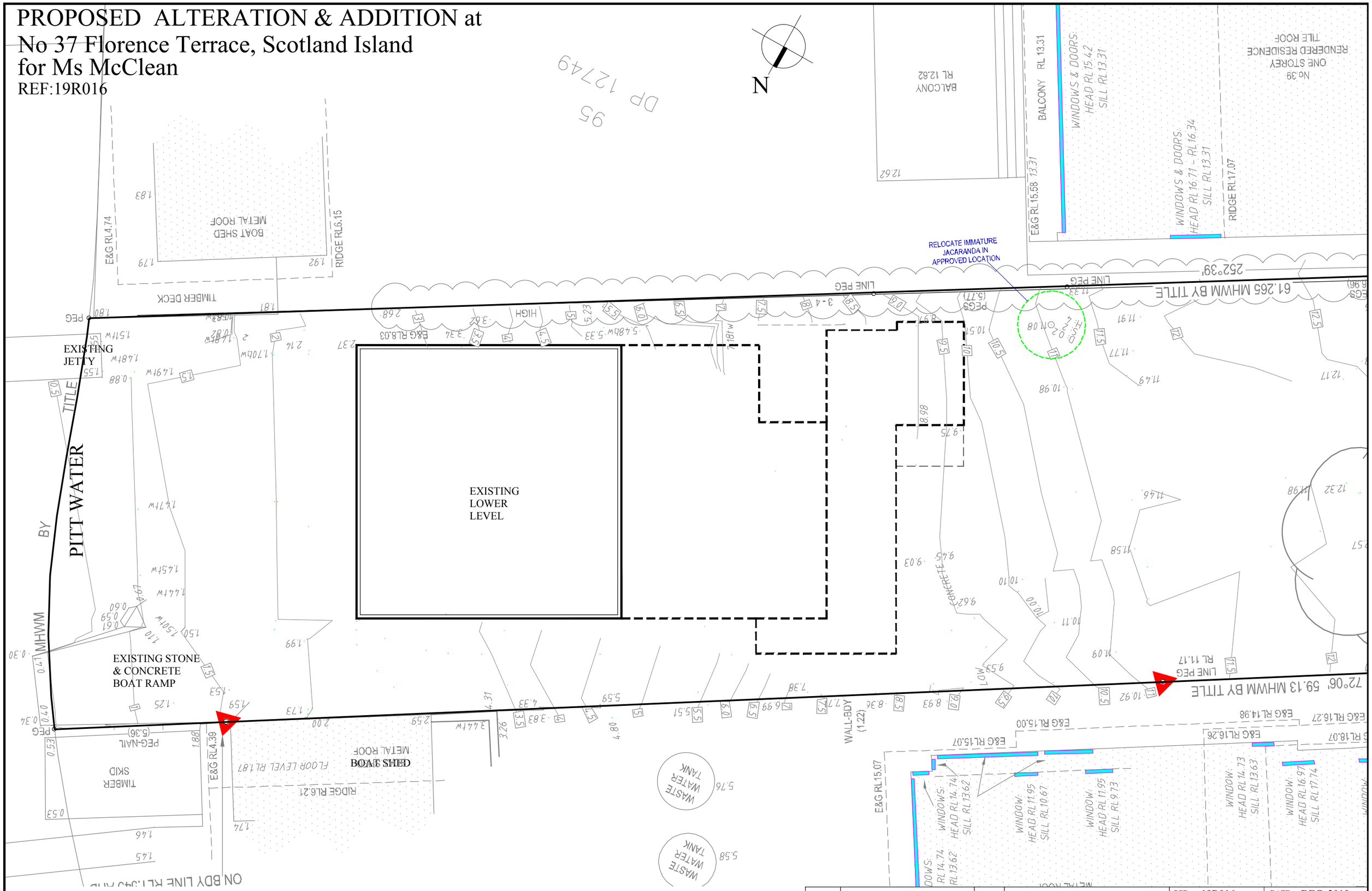
DATE DEC. 2019
DRAWN

Development Application
DEMOLITION PLAN
03

PROPOSED ALTERATION & ADDITION at
No 37 Florence Terrace, Scotland Island
for Ms McClean
REF:19R016



01 EXISTING LOWER FLOOR PLAN
SCALE - 1:100

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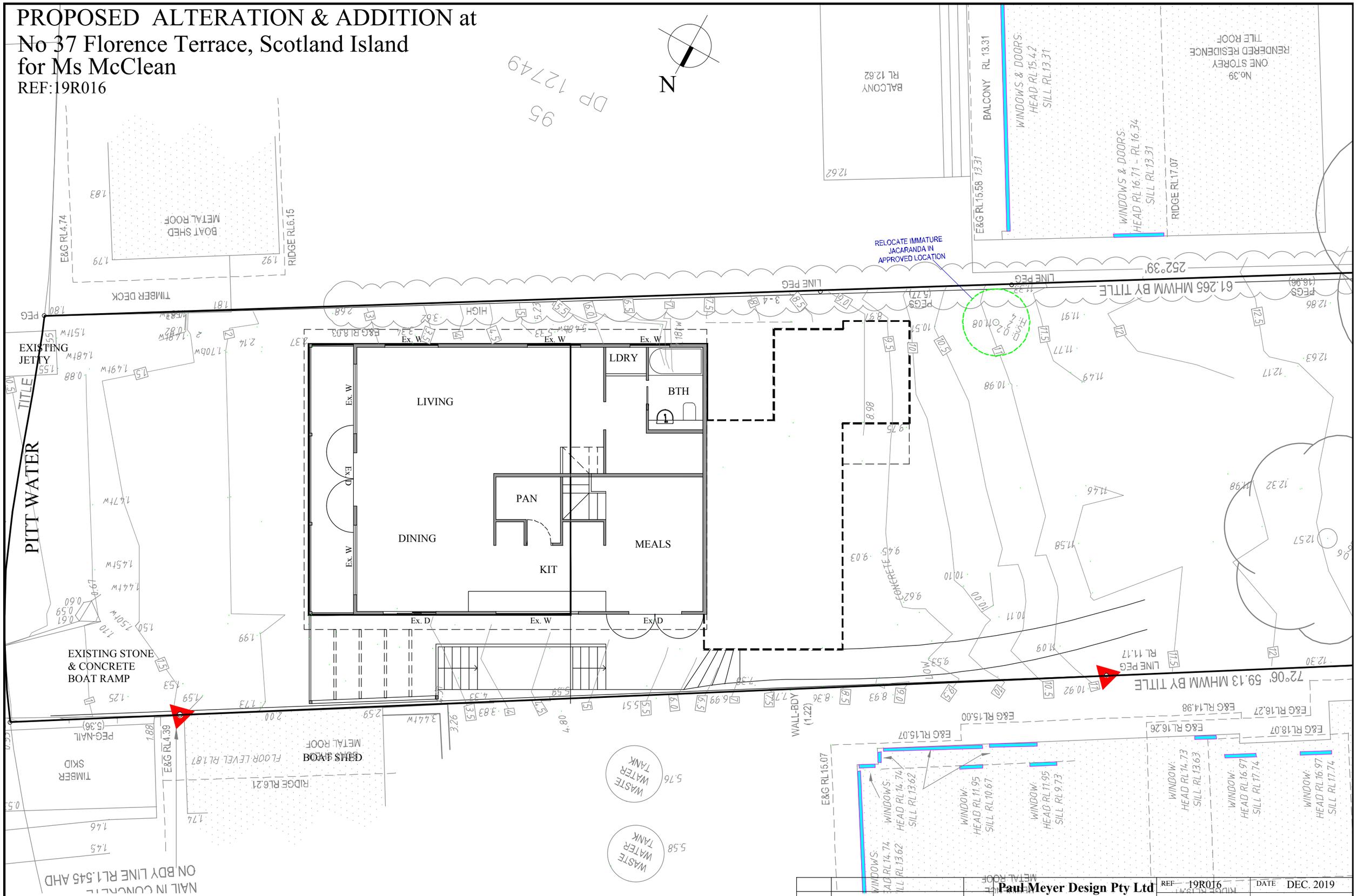
EXISTING LOWER FLOOR PLAN

04

PROPOSED ALTERATION & ADDITION at
No 37 Florence Terrace, Scotland Island
for Ms McClean
REF:19R016



01 EXISTING MIDDLE FLOOR PLAN

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EXISTING MIDDLE FLOOR PLAN

05

PROPOSED ALTERATION & ADDITION at
No 37 Florence Terrace, Scotland Island
for Ms McClean

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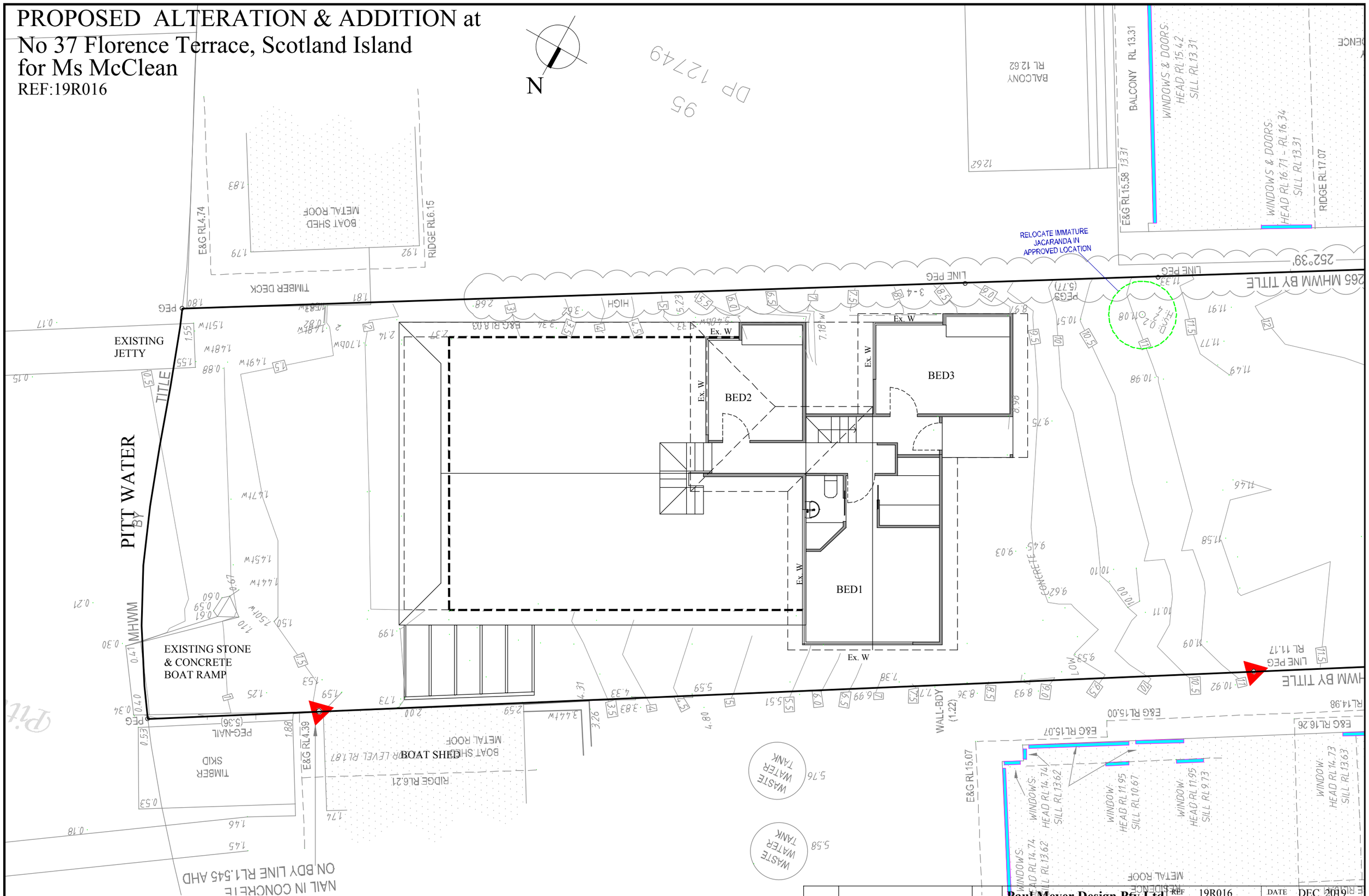

01 EXISTING UPPER FLOOR PLAN

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EXISTING UPPER FLOOR PLAN

06

PROPOSED ALTERATION & ADDITION at
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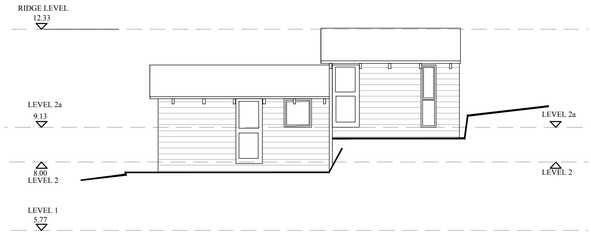
REF:19R016

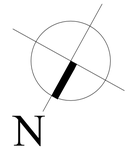
01 EXIST NORTH EAST ELEVATION

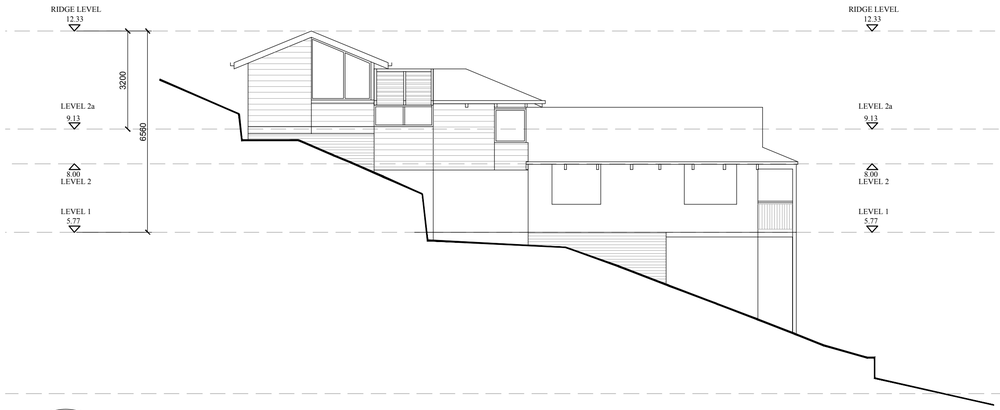
SCALE - 1:100



02 EXIST SOUTH WEST ELEVATION

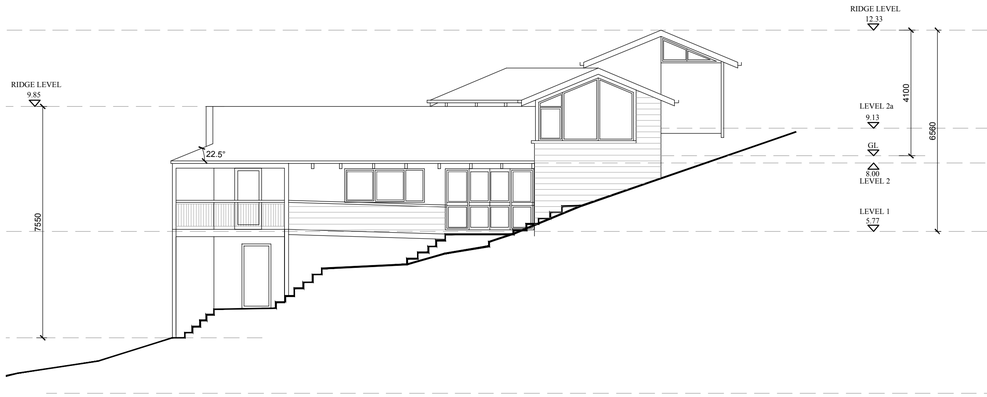
SCALE - 1:100





03 EXIST SOUTH EAST ELEVATION

SCALE - 1:100



04 EXIST NORTH WEST ELEVATION

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Development Application

EXISTING ELEVATIONS

07

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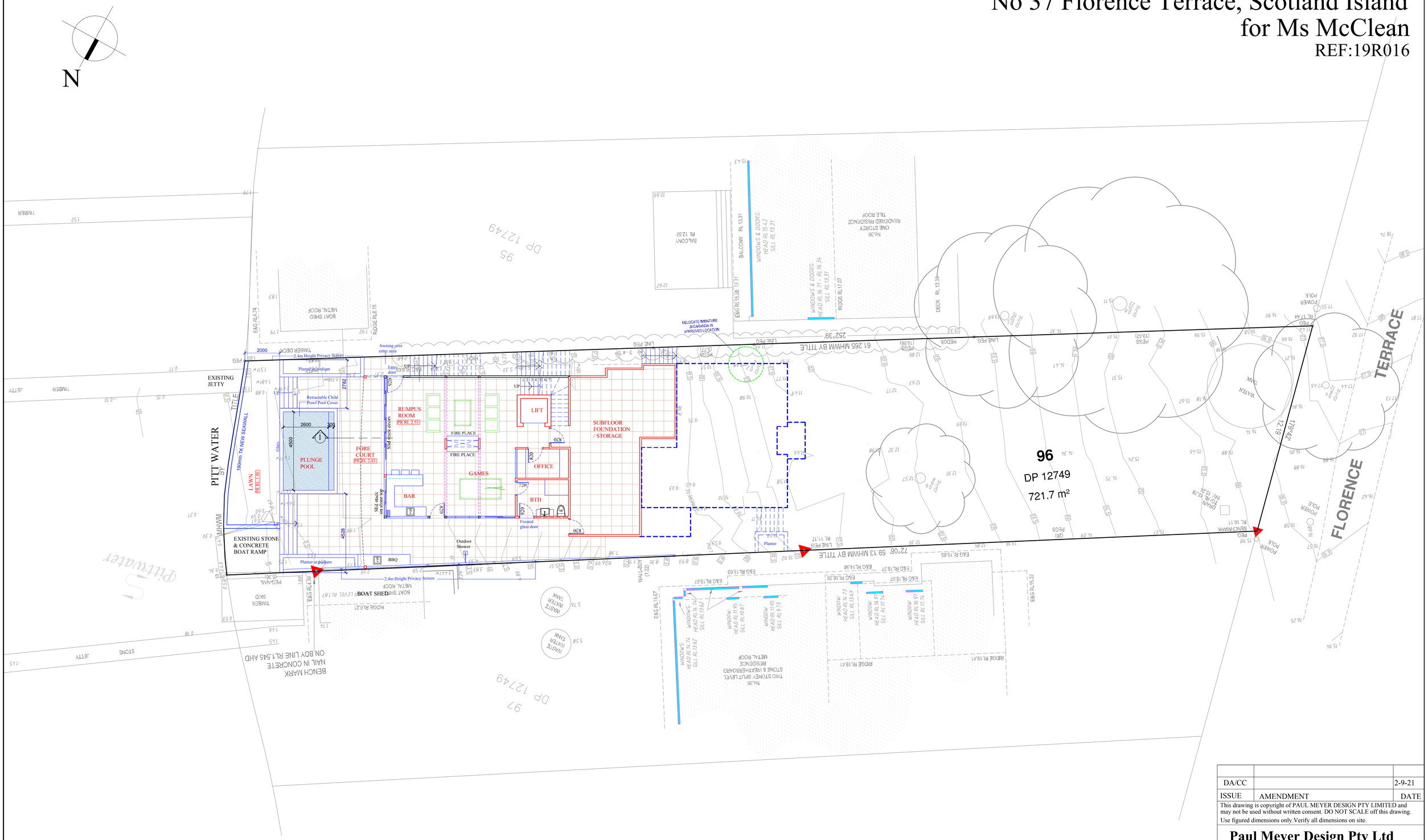

01 PROPOSED LOWER FLOOR PLAN
SCALE - 1:100

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Development Application

PROPOSED LOWER FLOOR PLAN

08

PROPOSED ALTERATION & ADDITION at No 37 Florence Terrace, Scotland Island for Ms McClean

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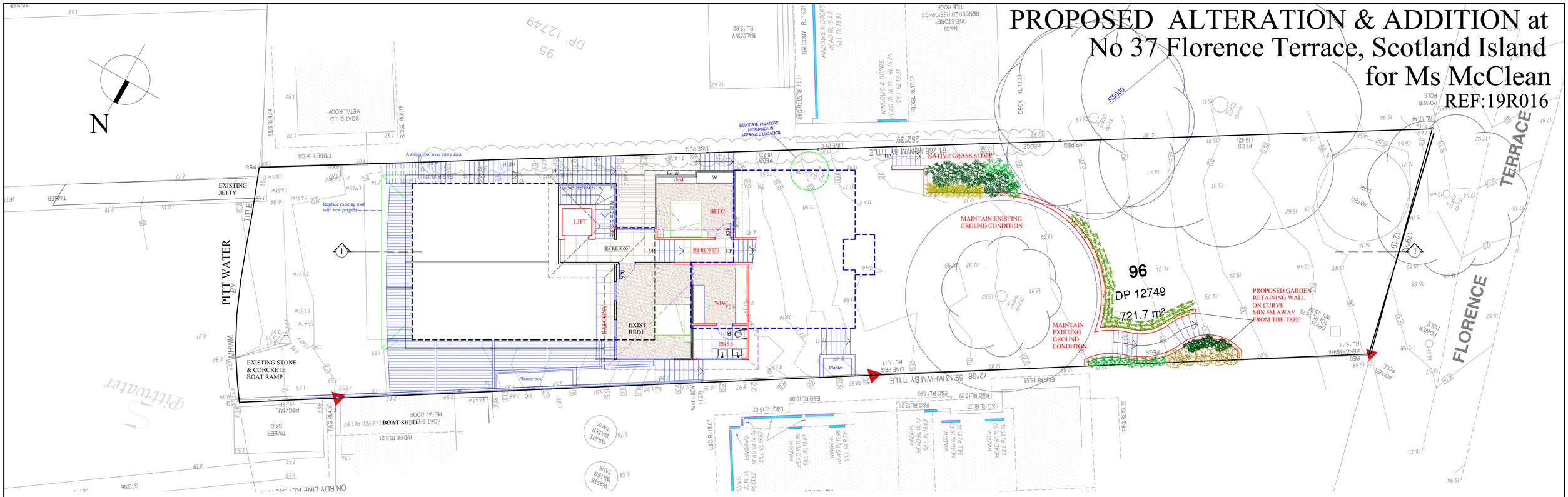
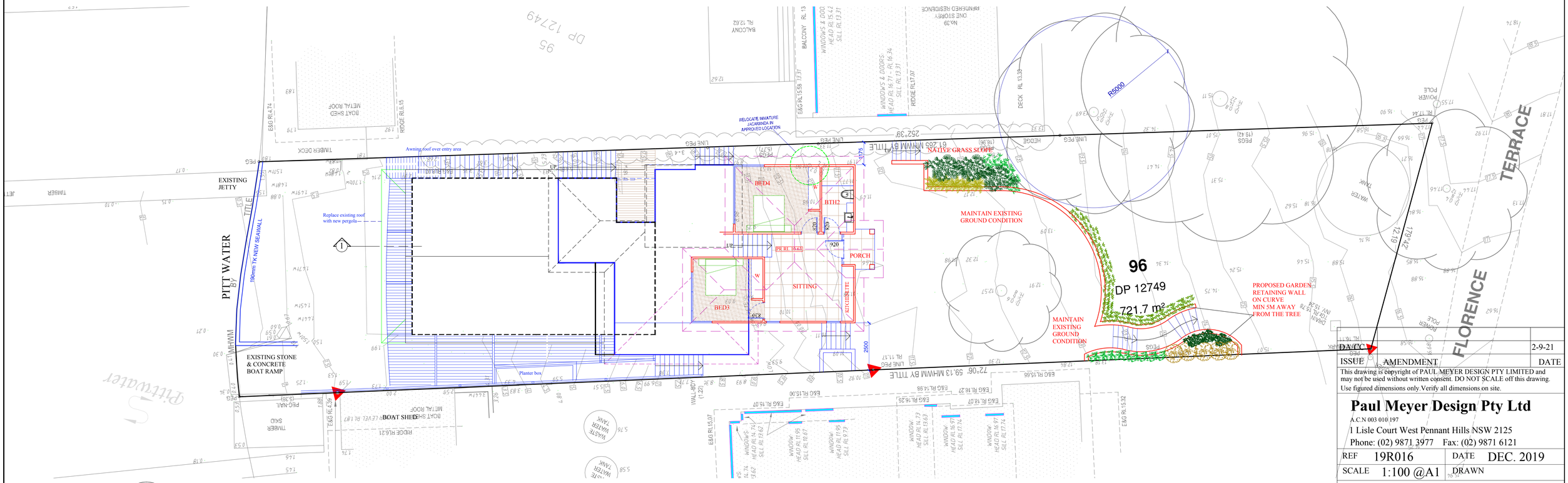


01 PROPOSED BED 1&2 FLOOR PLAN

SCALE - 1:100



02 PROPOSED BED 3&4 FLOOR PLAN

SCALE - 1:100

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REF	19R016	DATE	DEC. 2019
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Development Application

PROPOSED FLOOR PLAN 2

09

PROPOSED ALTERATION & ADDITION at
No 37 Florence Terrace, Scotland Island
for Ms McClean

REF:19R016

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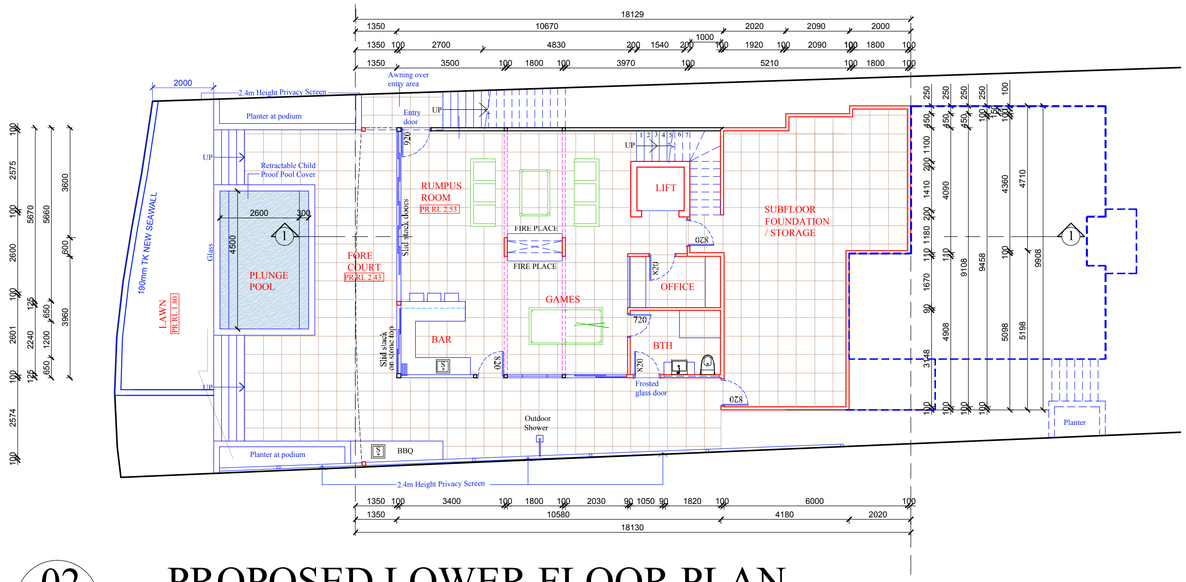

02 PROPOSED LOWER FLOOR PLAN

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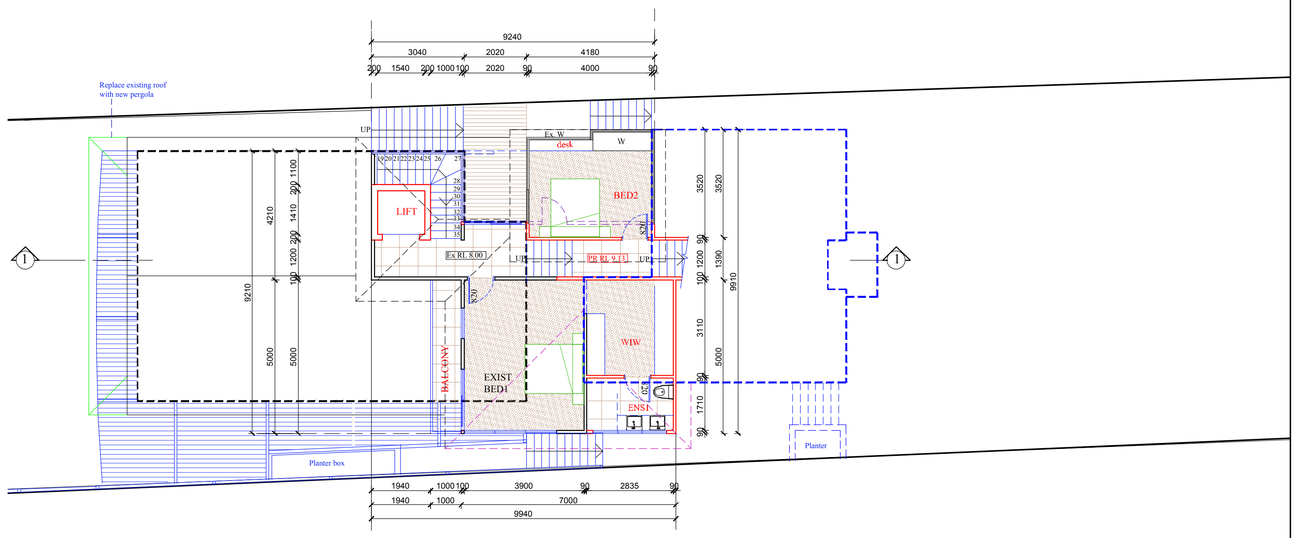

03 PROPOSED BED 1&2 FLOOR PLAN

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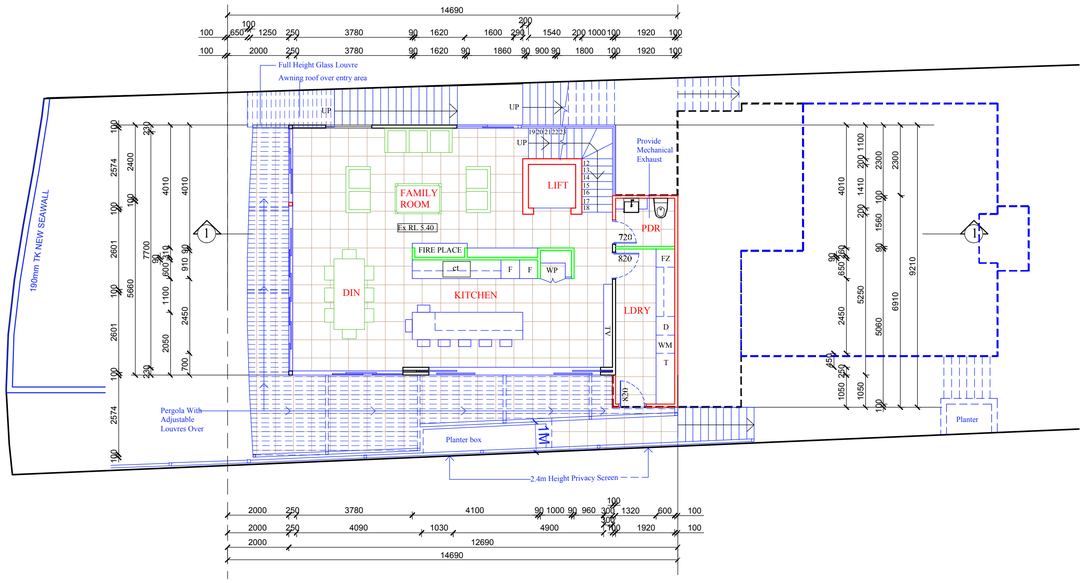

01 PROPOSED MIDDLE FLOOR PLAN

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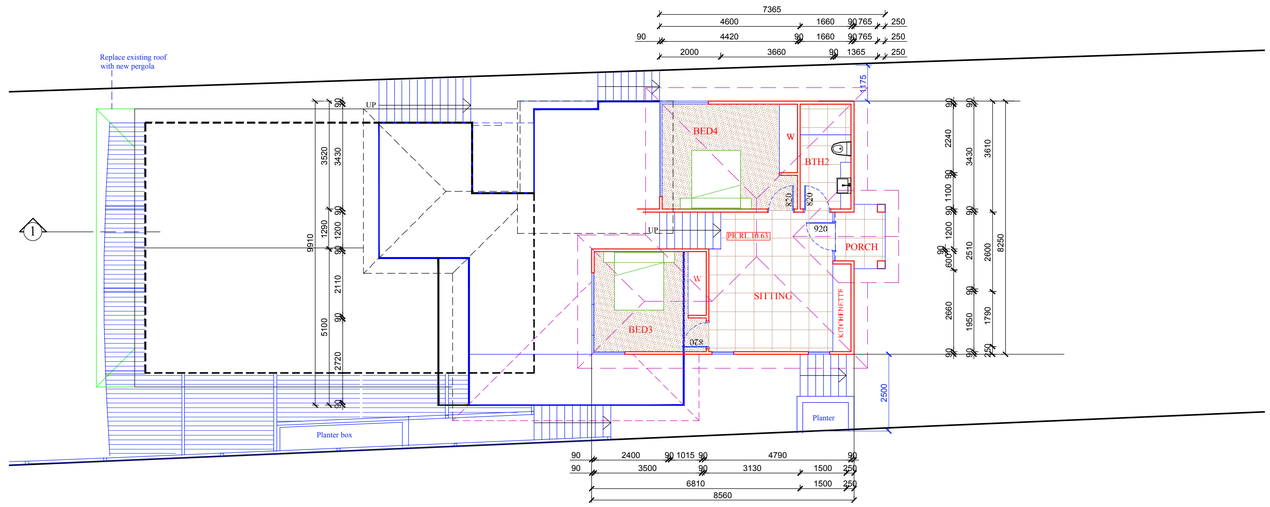

04 PROPOSED BED 3&4 FLOOR PLAN

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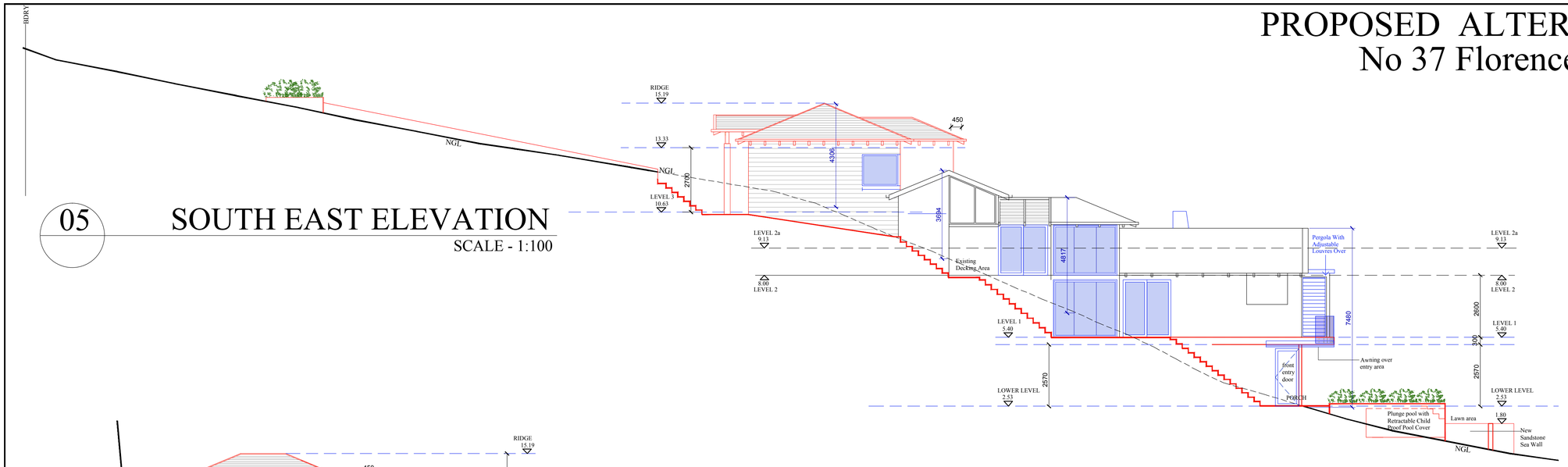
Development Application

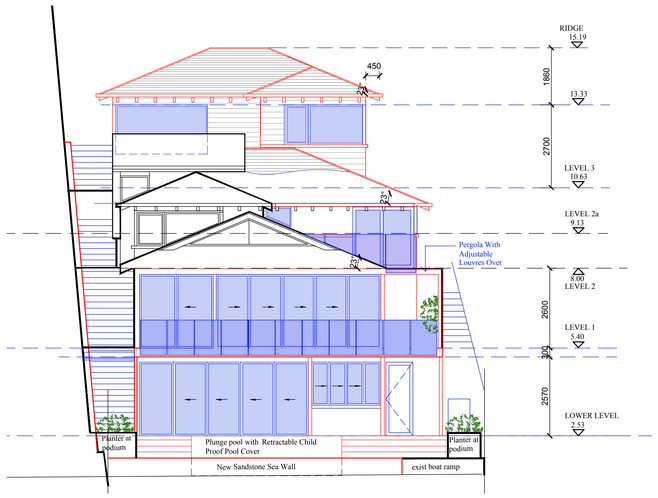
PROPOSED DETAIL FLOOR PLANS

10

PROPOSED ALTERATION & ADDITION at
No 37 Florence Terrace, Scotland Island
for Ms McClean
REF:19R016



05 SOUTH EAST ELEVATION
SCALE - 1:100



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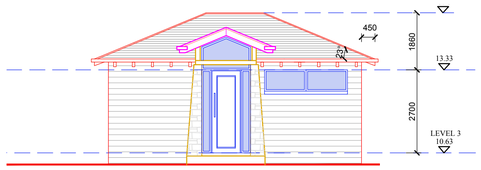
SCALE - 1:100



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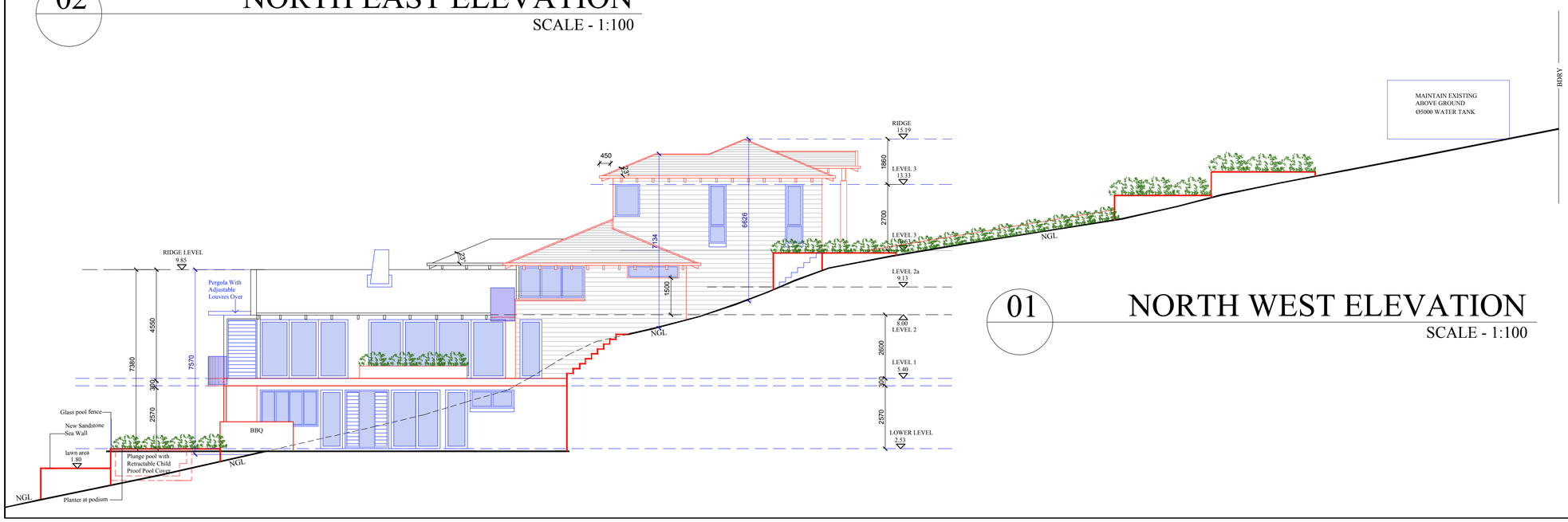

01 NORTH WEST ELEVATION
SCALE - 1:100

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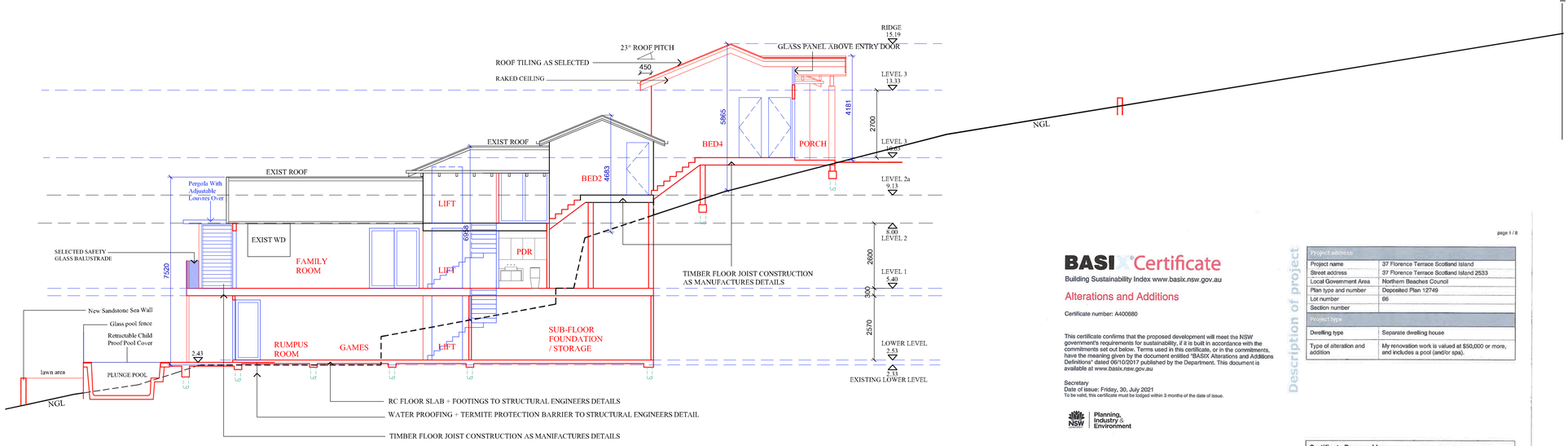
Development Application

PROPOSED ELEVATIONS

PROPOSED ALTERATION & ADDITION at
No 37 Florence Terrace, Scotland Island
for Ms McClean

REF:19R016



01

SECTION 1-1

SCALE - 1:100

BASIX® Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A400680

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 05/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Friday, 30, July 2021
To be valid, this certificate must be lodged within 3 months of the date of issue.

NSW GOVERNMENT | Planning, Industry & Environment

Description of project

Project address	
Project name	37 Florence Terrace Scotland Island
Street address	37 Florence Terrace Scotland Island 2533
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 12749
Lot number	98
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at $50,000 or more, and includes a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)

Name / Company Name: Paul & C associates

ABN (if applicable): 26834614848

Pool and Spa	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Rainwater tank			
The applicant must install a rainwater tank of at least 700 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rainwater runoff from at least 230 square metres of roof area.		✓	✓
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.		✓	✓
Outdoor swimming pool			
The swimming pool must be outdoors.	✓	✓	✓
The swimming pool must not have a capacity greater than 17 kilolitres.	✓	✓	✓
The swimming pool must have a pool cover.		✓	✓
The applicant must install a pool pump timer for the swimming pool.		✓	✓
The applicant must not incorporate any heating system for the swimming pool that is part of this development.		✓	✓

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements			
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.	✓	✓	✓

Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
suspended floor with open subfloor: concrete (R0.6).	R0.9 (down) (or R1.50 including construction)	
floor above existing dwelling or building.	nil	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (100 mm)	medium (solar absorptance 0.475 - 0.70)

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors			
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:		✓	✓
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.		✓	✓
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.		✓	✓
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓	✓	✓
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✓	✓
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✓	✓
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.	✓	✓	✓

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Overshadowing Distance (m)	Shading device	Frame and glass type
W1	NE	13.2	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W2	NE	3.15	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Overshadowing Distance (m)	Shading device	Frame and glass type
W3	NE	5.76	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W4	NE	12.88	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W5	NE	0.415	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W6	NE	4	0	0	eave/verandah/pergola/balcony >=450 mm	aluminium, single Lo-Tsol low-e, (U-value: 5.6, SHGC: 0.36)
W7	NE	4.8	0	0	eave/verandah/pergola/balcony >=450 mm	aluminium, single Lo-Tsol low-e, (U-value: 5.6, SHGC: 0.36)
W8	NE	3.445	0	0	eave/verandah/pergola/balcony >=450 mm	aluminium, single Lo-Tsol low-e, (U-value: 5.6, SHGC: 0.36)
W9	NW	3.555	12.47	3.8	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W10	NW	4.32	12.47	3.8	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W11	NW	4.8	12.47	3.8	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W12	NW	1.62	12.47	3.8	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W13	NW	8.592	9.6	3.8	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W14	NW	13.44	9.6	3.8	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W15	NW	5.67	7	3.8	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Overshadowing Distance (m)	Shading device	Frame and glass type
W16	NW	0.55	7	3.8	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W17	NW	1.274	4.37	3.8	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W18	NW	1.68	4.37	3.8	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W19	NW	1.68	4.37	3.8	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W20	SW	1.89	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W21	SE	4.8	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W22	SE	4.362	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W23	SE	1.937	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D1	NW	1.968	12.47	3.8	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D2	NW	1.968	12.47	3.8	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

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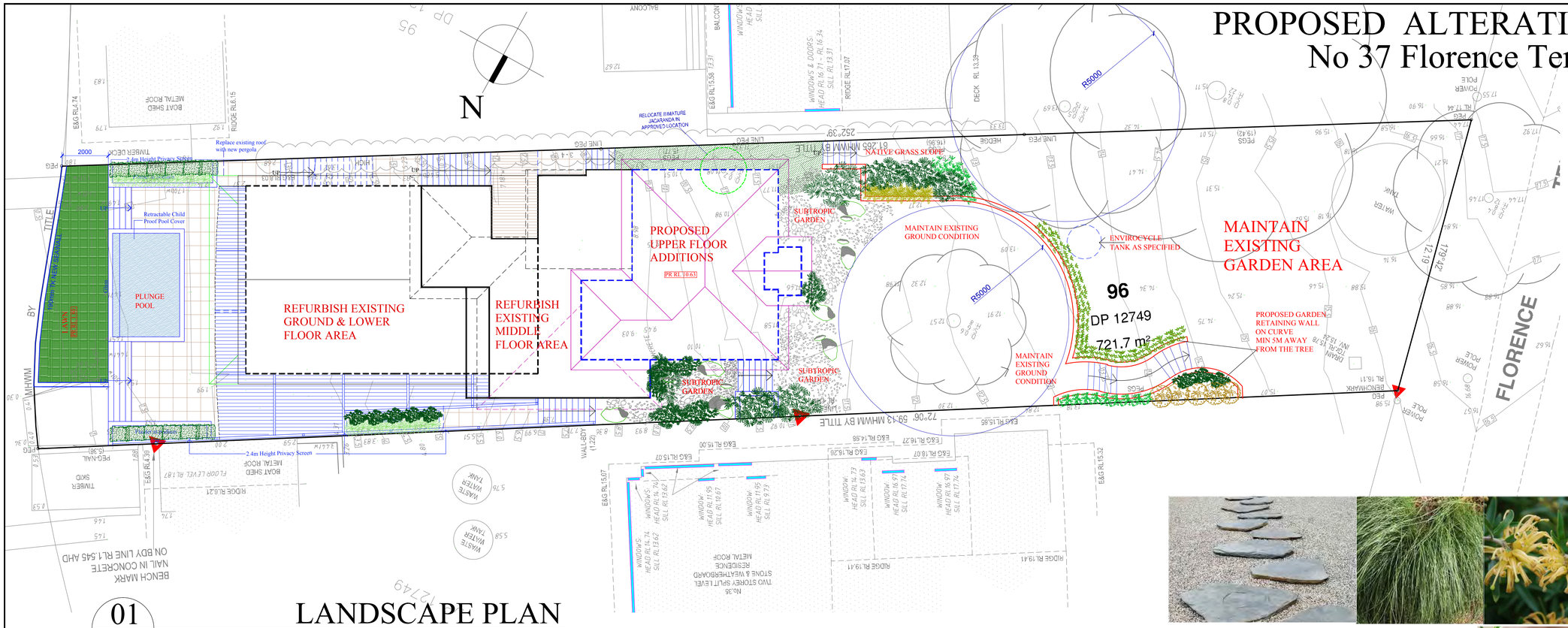
Development Application

SECTION 1-1

PROPOSED ALTERATION & ADDITION at No 37 Florence Terrace, Scotland Island for Ms McClean

REF:19R016



01 LANDSCAPE PLAN

SCALE - 1:100

LANDSCAPING & PLANTING SCHEDULE

No	TYRE	BOTANICAL NAME	COMMON NAME	HT	S	POT SIZE	QTY
1 EL		Grevillea Canterbury Gold		2m	2m	350ml	15
2 LL		Boronia serrulata	Native Rose	1-2 m	1-2 m	200ml	15
3 DL		Dianella caerulea	Blue Flax Lily	0.6m	0.6m	150ml	10
4 GR		Grevillea 'Forest Rambler'		1-2 m	1-2 m	200ml	12
5 PL		Poa labillardieri var. labillardieri	Tussock Grass	0.5m	0.5m	100ml	36
6 OP		Ophiopogon Planiscapus	Black Mondo Grass	0.1m		tube stock	65
7		Agave attenuata	Agave	1m	2 m	D-0.25m	
8		TIMBER DECK AS SELECTED					
9		SUITABLE HARD WEARING TURF					
10		POOL					

Landscaping Specification Notes

1.0 Scope
This section covers: Siteworks, including preliminaries and soil preparation. Works associated with planting and planting establishment. Building works including brick edging and stepping stones

2.0 Site Inspections
Contractors are expected to visit and familiarise themselves with the site and the nature and extent of the works required.

3.0 Underground Services
The contractor shall be responsible for investigating and location of underground services prior to any site works.

4.0 Storage of Materials
The contractor is responsible for the safe and proper storage of all materials, equipment, plants and tools. There shall be no storage of materials beneath the canopy of any existing tree, either located on the site or on council's nature strip.

5.0 Damage
The contractor shall be responsible for making good any damage to trees, piping, fencing utility services, footpaths, kerbs, roads, surfaces in general.

6.0 Variations
No variations shall be made without written approval from the superintendent.

7.0 Program
Landscape contractor's quoting shall state the time for the completion of the landscape construction work. Prior to commencement the contractor shall submit a program of work and the time involved in the various sections of work.

8.0 Insurance
The contractor shall present to the superintendent before commencement of the contract details of insurance policies covering Workers Compensation and Public Liability.

9.0 Foreman
Whilst work is being conducted on site the contractor shall ensure that a competent Foreman is on-site. Any instruction given to him by the superintendent shall be deemed to be given to the landscape contractor.

10.0 Defects Liability Period
The contractor shall be held responsible for the replacement of any work and or materials that fail during the first 12 weeks following the date of practical completion.

11.0 Completion
Remove all landscape construction debris from site and leave the site in finished condition.

12.0 Maintenance
The contractor shall continuously maintain all areas of the contract during the progress of the works specified. The contractor shall commence and fully implement the short term maintenance and establishment after practical completion has been confirmed.

13.0 Practical Completion
The site shall be jointly inspected by the client/proprietor and the superintendent. If the completed works meet the approval of both parties, then the works shall be handed over to the client/proprietor. Practical completion shall be confirmed in writing to the superintendent.

14.0 Site Preparation
Areas the be landscaped should be left clean of building materials and rubbish so that the landscape contractor can proceed without undue delays. Any minor levelling either cutting or fulling shall be undertaken by the landscape contractor so that areas are left ready for final finishes.

15.0 Earthworks
The site shall receive final shaping to ensure a smooth, even surface allowing for final finishes to conform to levels as determined by the landscape contractor/superintendent.

16.0 Tree Protection
Avoid compaction of the ground beneath the canopy of any existing tree. Do not use machinery beneath the canopy on any existing trees. Do not store building materials harmful materials or chemicals beneath the canopy of any existing tree.

17.0 Brick Edging
Brick Edging: lay as selected bricks end to end in a mortar bed. Ensure the tope of the brick is below lawn level to allow for movement of the lawn.

18.0 Compost
Compost shall be spend mushroom, free from any material toxic to plant growth of any nature.

19.0 Topsoil
Topsoil shall be sandy moan comprising 85% course and fine sands and no more than 15% humus and fine materials. It shall be in a friable state and free from materials toxic to plant growth and free from stumps, roots, clay lumps or similar materials. Topsoil shall be free from noxious weeds, grass etc. Samples shall be submitted to the superintendent for approval.

20.0 Planting Soil
For planting areas a mixture of 4 parts by volume of topsoil a.b.s and 1part by volume of compost, thoroughly mixed shall be spread to a depth of 300mm to all planted areas outside the canopy of existing trees. For areas within the canopy of existing trees a mixture of 4 parts by volume of topsoil a.b.s. and 1 part by volume of compost, thoroughly mixed shall be spread to a depth of 100mm to planting beds.

21.0 Fertiliser
The areas to be planted and grassed shall be fertilised with a complete lawn fertiliser with an NPK ration of 10:9:8 such as Shirleys No 17 applied evenly at the rate of 4kg/100 square meters.

22.0 Mulch
All planted areas shall be mulched with 75mm depth of pine bark. Ensure that soil and mulch are not mixed together and that finished levels of mulch are flush with surrounding kerbs, edges or paths.

23.0 Planted Areas
For all areas beneath the canopy of existing trees, hand cultivate the soil to a depth of 200mm to assist drainage and minimise disturbance to existing trees. For other planting areas, excavate to a depth of 300mm and place 225mm of planting soil into planting areas. Supply and plant trees, shrubs and ground covers listed in the Planting Schedule. Stake trees with hardwood stakes and tie Hessian webbing material, using a figure eight method and staple to stake. Following planting place 75mm specified mulch to al mass planted areas.

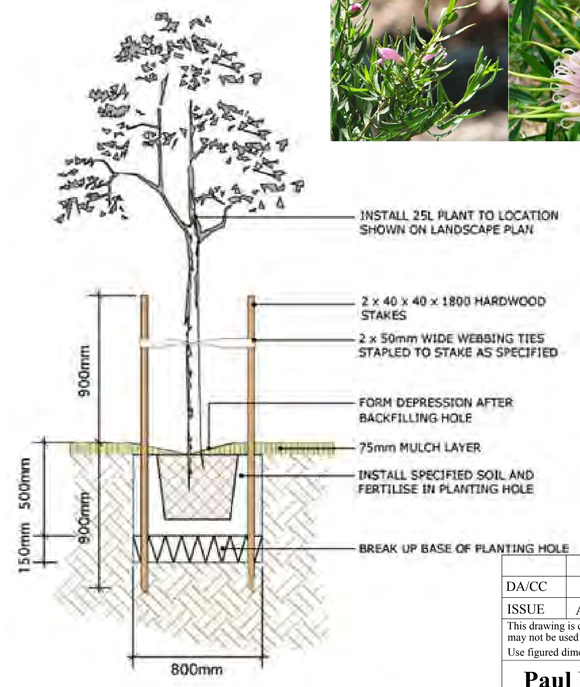
24.0 Staking and Tying
Stakes shall be sound hardwood, free from k nots and twists, pointed at one end. Ties shall be 50mm wide Hessian webbing or approved equivalent. Drive stakes into the ground clear of the root ball on the windward side. Fix one tie per plant in a figure eight pattern and staple to stake at least 300mm above the ground.

25.0 Planting Materials
Plants shall be true to name and variety. Substitutes in size or variety shall not be made without the approval of the superintendent. All plants supplied shall be as specified. Plants shall be well grown, free from disease, insect pests and packed in an approved manner and not soft, forced or root bound. All necessary precautions shall be taken to ensure that the plants arrive at the destination in good condition for successful growth. If plants are found to be unavailable, details of alternative species shall be submitted to the superintendent fro approval. Such substitutes shall have similar qualities and be equivalent to the original plant(s) specified. Stock which has been allowed to dry out or which has suffered any mechanical damage prior to planting shall be replaced at no cost to the principal. Planting operations are to be suspended in periods of drought or when the soil is very wet or water logged or during periods of frost. Plant locations shall not be varied unless otherwise directed. If it appears necessary to very the locations and spacing to avoid service lines or to cover the areas uniformly, or for any other reasons, apply for directions. Remove all empty planting containers from the site. Plants shall be clearly identified with a fixed label to stake

26.0 Turfing
Turf shall be a shade tolerate species , obtained from an approved commercial grower of cultivated turf. The area to be turfed shall be cultivated to a depth of 100mm. Install 75mm of topsoil a.d.s. Level, compact slightly and rake to a smooth surface prior to turf laying. Apply a fertiliser evenly over levelled surface. Ensure that turf finished flush with kerbs and pavements and that no ponding occurs as a result of turf levels. Lay turf sods without excessive joints, thoroughly water without delay and roll with light roller to bring into firm contact with soil. Top dress joints with sandy loam to give a good cover whilst still revealing the grass roots.

27.0 Stepping Stones
Excavate to establish and maintain required levels, remove soil from site and compact sub grade. Position the stepping stones as indicated on the landscape plan. The paving shall be laid over a 50mm layer of bedding sand. Allow a gap of least 100mm between the stepping stones for decorative gravel. The stepping stones shall be 500 x 500 x 50mm in size and of limestone colour/as selected by the home owner. Do not use precast units with chips, cracks, voids, discolorations or any other visible defects.

28.0 Planting Maintenance
The contractor shall carry out and fully implement the short term maintenance and establishment for a period of 12 weeks on completion of the specified landscape works. Throughout the maintenance period continue to carry our recurrent works of the maintenance nature as specified else where in this specification, including but not limited to watering, mowing, weeding, fertilising, pest and disease control, plant replacements and the like as follows: Watering: as required to maintain the best possible conditions and growth rates of plant materials.
Replacements: Immediately replace plants which die or fail to thrive or are damages or stolen with plants of the same species and of similar size and quantity unless otherwise specified.
Mulched Surfaces: Maintain in a clean and tidy condition and reinstate the mulch as much as necessary. Stakes and Ties: Adjust and/ore replace as required. Remove at the end of the maintenance period if directed.
Grassed Areas: Water and weed as required to maintain a health and week free growth. Mow as required to maintain grass height within the range of 25mm to 75mm. Apply lawn fertiliser at the completion of the first and last mowing and at other times as necessary to maintain healthy grass cover. Carry out the last mowing and fertilisation not less than seven days before the end of the maintenance period. Remove grass clippings from site.



Typical Tree Planting Detail (25L)

ISSUE	AMENDMENT	DATE
DA/CC		2-9-20

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Paul Meyer Design Pty Ltd
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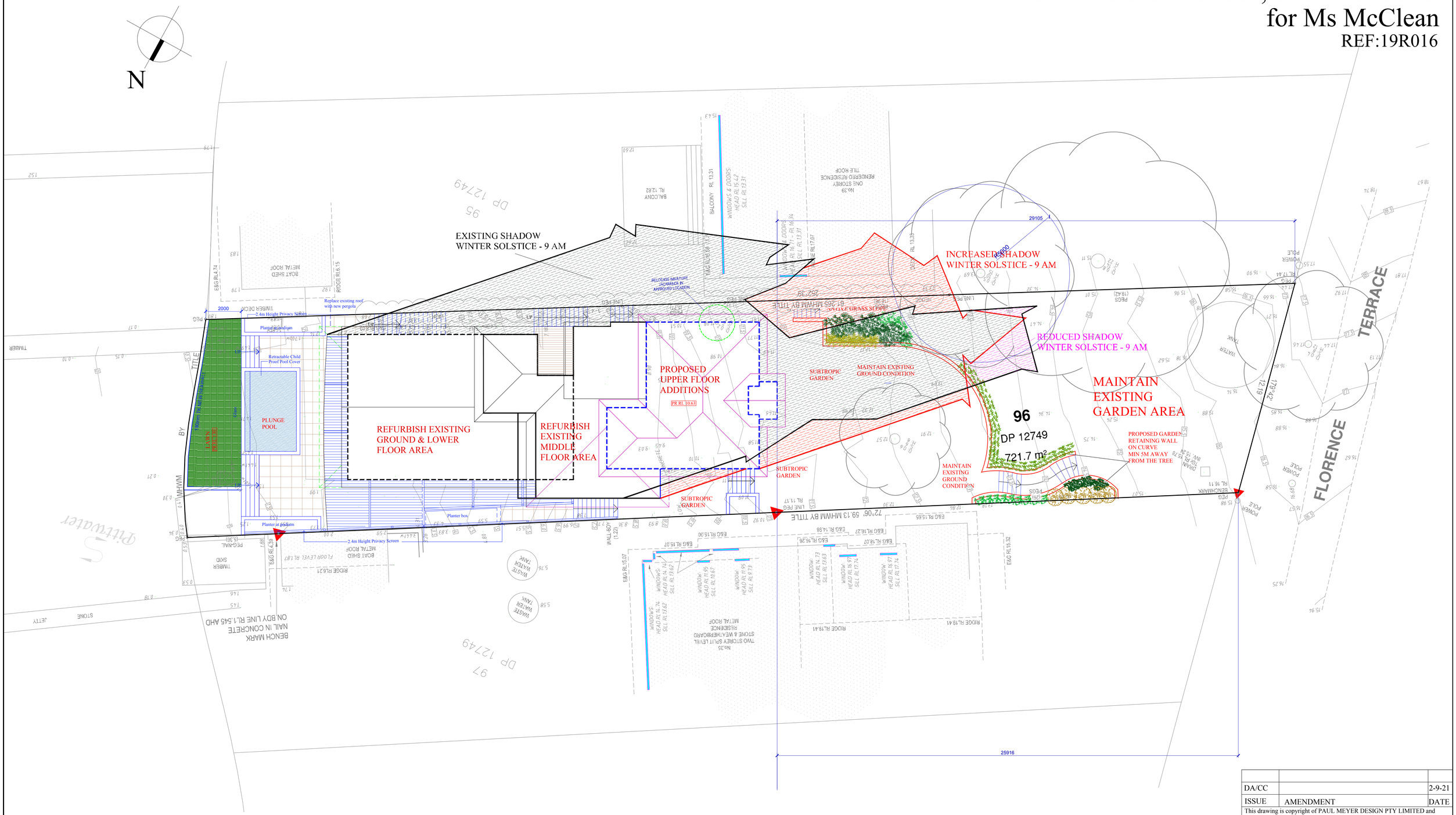
1 Lisle Court West Pennant Hills NSW 2125
Phone: (02) 9871 3977 Fax: (02) 9871 6121

REF 19R016 DATE DEC. 2019
SCALE 1:100 @A1 DRAWN

Development Application

LANDSCAPE PLAN

PROPOSED ALTERATION & ADDITION at
No 37 Florence Terrace, Scotland Island
for Ms McClean
REF:19R016



01

SHADOW DIAGRAM 9AM

SCALE - 1:100

DA/CC		2-9-21
ISSUE	AMENDMENT	DATE

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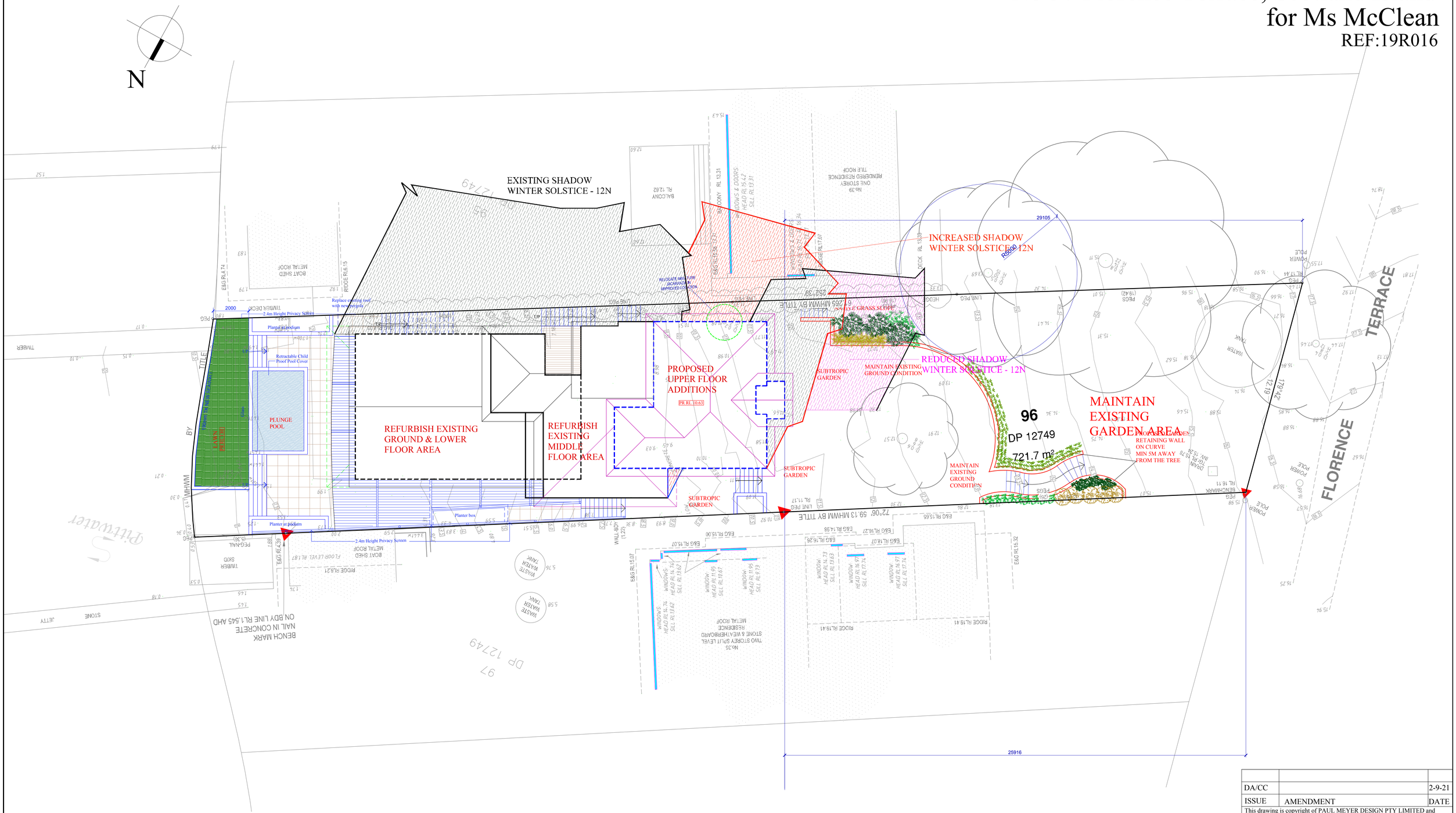
REF	19R016	DATE	DEC. 2019
SCALE	1:100 @A1	DRAWN	

Development Application

SHADOW DIAGRAM 9AM

PROPOSED ALTERATION & ADDITION at
No 37 Florence Terrace, Scotland Island
for Ms McClean

REF:19R016



01 SHADOW DIAGRAM 12N

SCALE - 1:100

DA/CC		2-9-21
ISSUE	AMENDMENT	DATE

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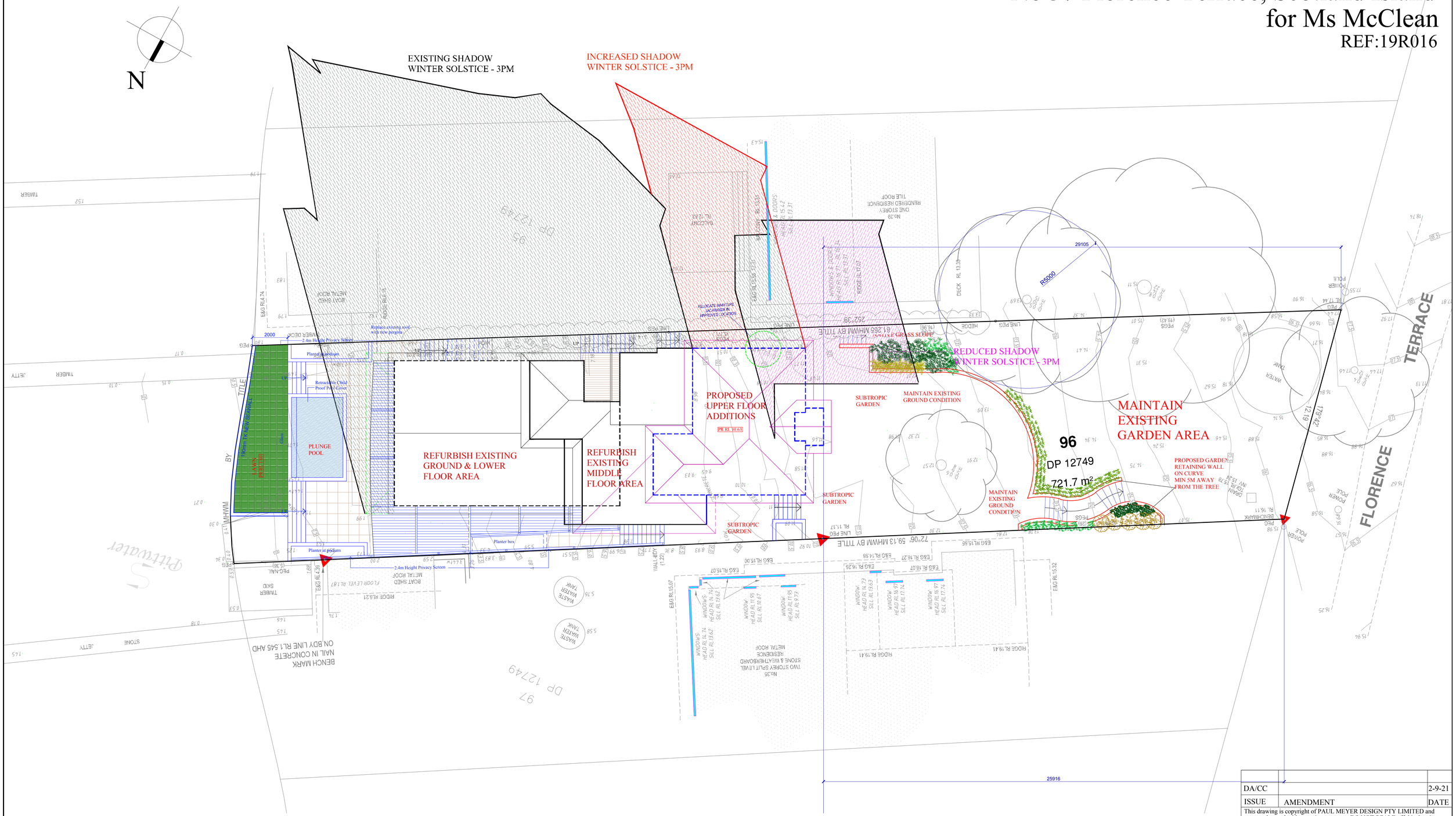
REF	19R016	DATE	DEC. 2019
SCALE	1:100 @A1	DRAWN	

Development Application

SHADOW DIAGRAM 12N

PROPOSED ALTERATION & ADDITION at
No 37 Florence Terrace, Scotland Island
for Ms McClean
REF:19R016



01

SHADOW DIAGRAM 3PM
SCALE - 1:100

DA/CC		2-9-21
ISSUE	AMENDMENT	DATE

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REF	19R016	DATE	DEC. 2019
SCALE	1:100 @A1	DRAWN	

Development Application

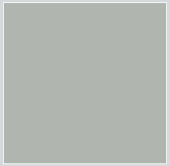
SHADOW DIAGRAM 3PM

FOR DEVELOPMENT
APPLICATION PURPOSES
ONLY
NOT FOR CONSTRUCTION

Notes:
1. DO NOT SCALE FROM DRAWINGS

1 Proposal Photo Montage

2 Existing View



FC weatherboard
Colorbond 'Shale Grey'

Timber windows & trims:
Colorbond 'Vivid White'

Roofing, gutters & downpipes:
Colorbond 'Basalt'

Tiled floor's & balconies:
'Travertine'

Stone:
Selected sandstone

Shancarlz Productions:
m 10/10-12 Robertson St, Narrabeen, NSW, 2101
p 0451 636 996
e shannoncarless@gmail.com
w www.shancarlz.wordpress.com

SHANCARLZ PRODUCTIONS

New dwelling
at 37 Florence Terrace, Scotland Island, NSW, 2105
title Lot 96 in DP 12749

Development Application

Photo Montage and Finshes Schedule

Scale:

Date of printing: 01/09/2021

Project No: 0001

Drawing No: **DA-01**

Rev: