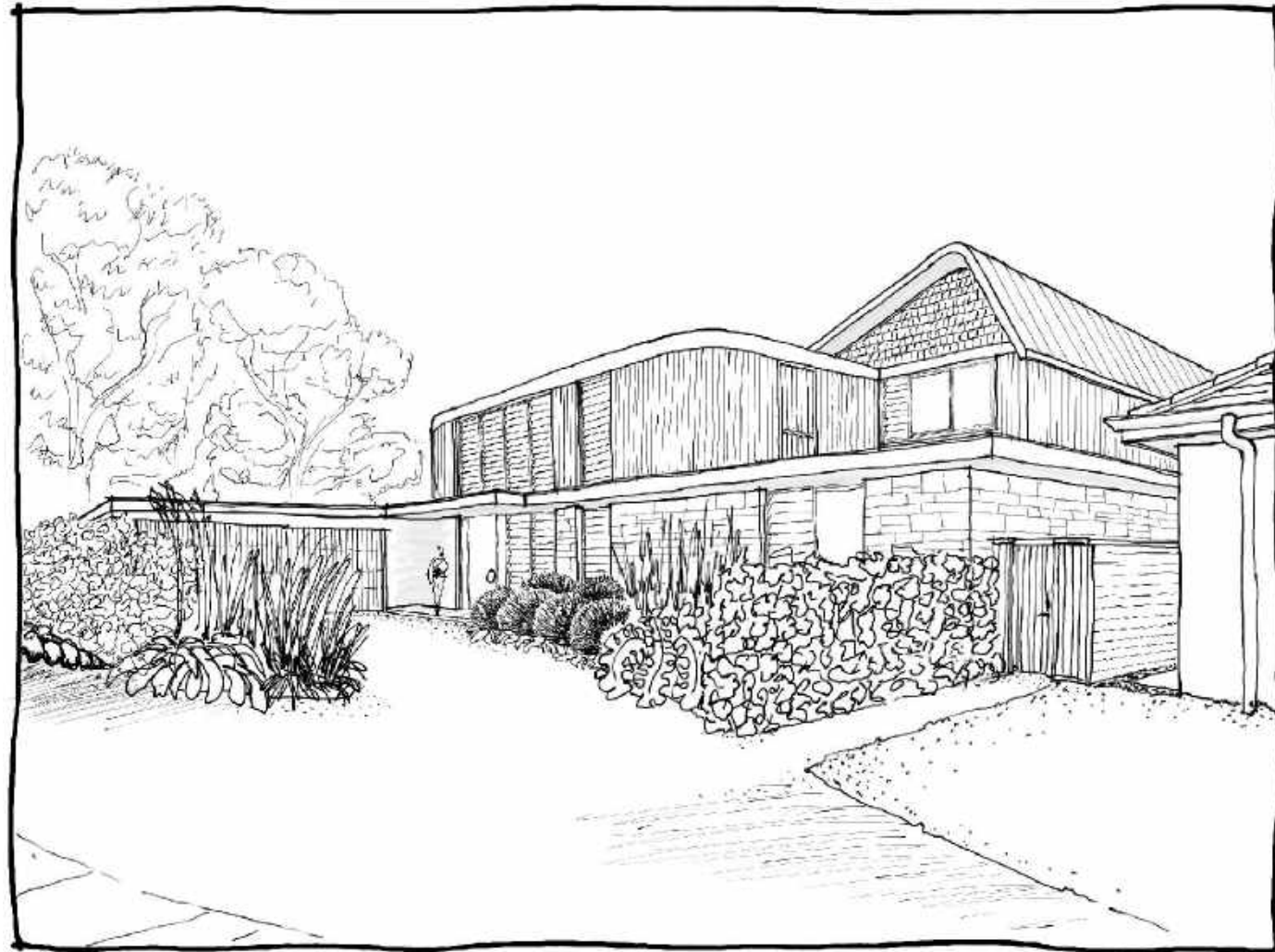


note: images are for illustrative purposes only



BASIX certificate requirements

Hot Water

The applicant must install the following hot water system in the development: solar (gas-boosted) system that is eligible to create Renewable Energy Certificates under the (Commonwealth) Renewable Energy (Electricity) Regulations 2001 (incorporating Amendment Regulations 2005 (No. 2)).

Insulation Requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table in the BASIX certificate, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

Windows and Glazed Doors

The applicant must install the new or altered windows, glazed doors and shading devices, in accordance with the specifications listed in the table in the BASIX certificate. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimeters, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the center and the base of the window and glazed door, as specified in the 'Overshadowing' column in the table in the BASIX Certificate.

Windows and Glazed Doors

The applicant must install the skylights in accordance with the specifications listed in the table below.

site details

address : 132D Rose Avenue,
WHEELER HEIGHTS NSW 2088
property : Lot 2: DP1196029
council zoning: R2 Low density Residential
site area : 1650 m² (survey calculated)

drawing list

DA00	cover	-
DA01	site analysis	-
DA02	site & roof plan	-
DA03-5	ground floor plan	-
DA06	first floor plan	-
DA07	elevations	-
DA08	elevations	-
DA09	section	-
DA10	shadow diagrams - winter solstice - 9am	-
DA11	shadow diagrams - winter solstice - 12pm	-
DA12	shadow diagrams - winter solstice - 3pm	-
DA13	erosion & sediment control plan	-
DA14	landscape plan	-
DA15	external finishes	-
DA16	demolition plan - ground floor	-
DA17	demolition plan - roof	-

finishes & notations legend

(st)	- stone	(tmb)	- timber
(cr/r)	- painted render	(dp)	- down pipe
(fc/p)	- fiber cement smooth	J	- joinery
(fc/g)	- fiber cement grooved	HWU	- hot water unit
(ml)	- metal	EGL	- existing ground level
(alu)	- aluminium	A/C	- airconditioning unit
(og)	- semi-opaque glass	dr	- drain
(gl)	- glass	dp	- downpipe

materials legend

glass	fc/framed wall
timber	plaster/rendered walls
concrete	stone
brick	tiles/paving
steel/ aluminium	existing

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All dimensions in millimeters unless otherwise shown. Check all dimensions onsite prior to construction. To be read in conjunction with other issued documents. Report any discrepancies to Carl Rutherford Design. All boundary dimensions & bearings to be verified by licensed surveyor prior to proceeding with work.

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02.04.2019 | rev -

19.05 DEVELOPMENT APPLICATION

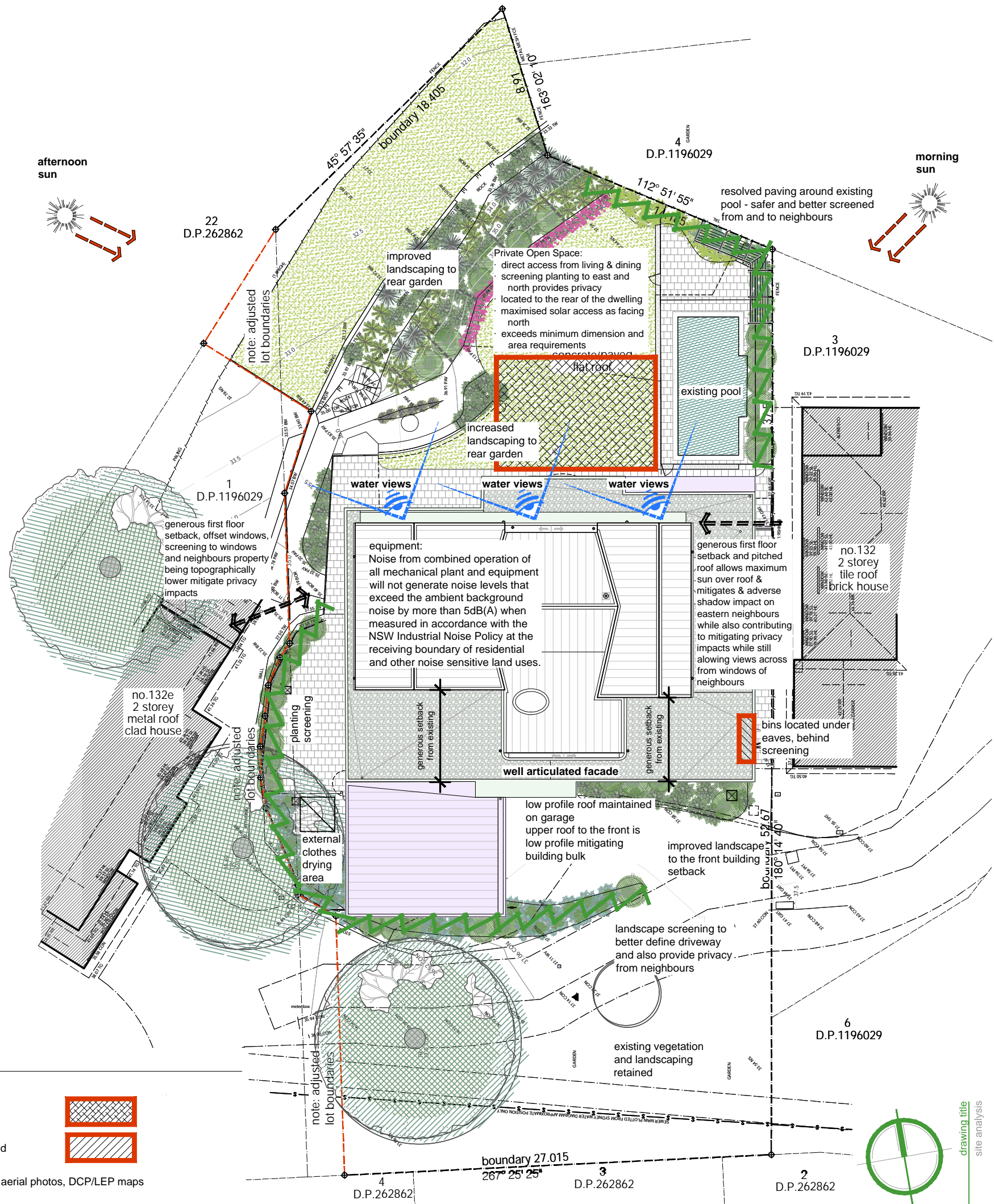
132D rose avenue wheeler heights

site analysis plan

scale 1:250

legend elements to be removed roof to be removed finished RL screening planting		private open space
		bins / utilities as noted
	+ RL 10.10	

NOTE: drawing based on site survey & where unavailable, estimates from aerial photos, DCP/LEP maps & department of land maps.



drawing title
 site analysis
stage
 development application
drawing title
 alterations & additions
project address
 132D rose avenue
 wheeler heights
19.05 DA01
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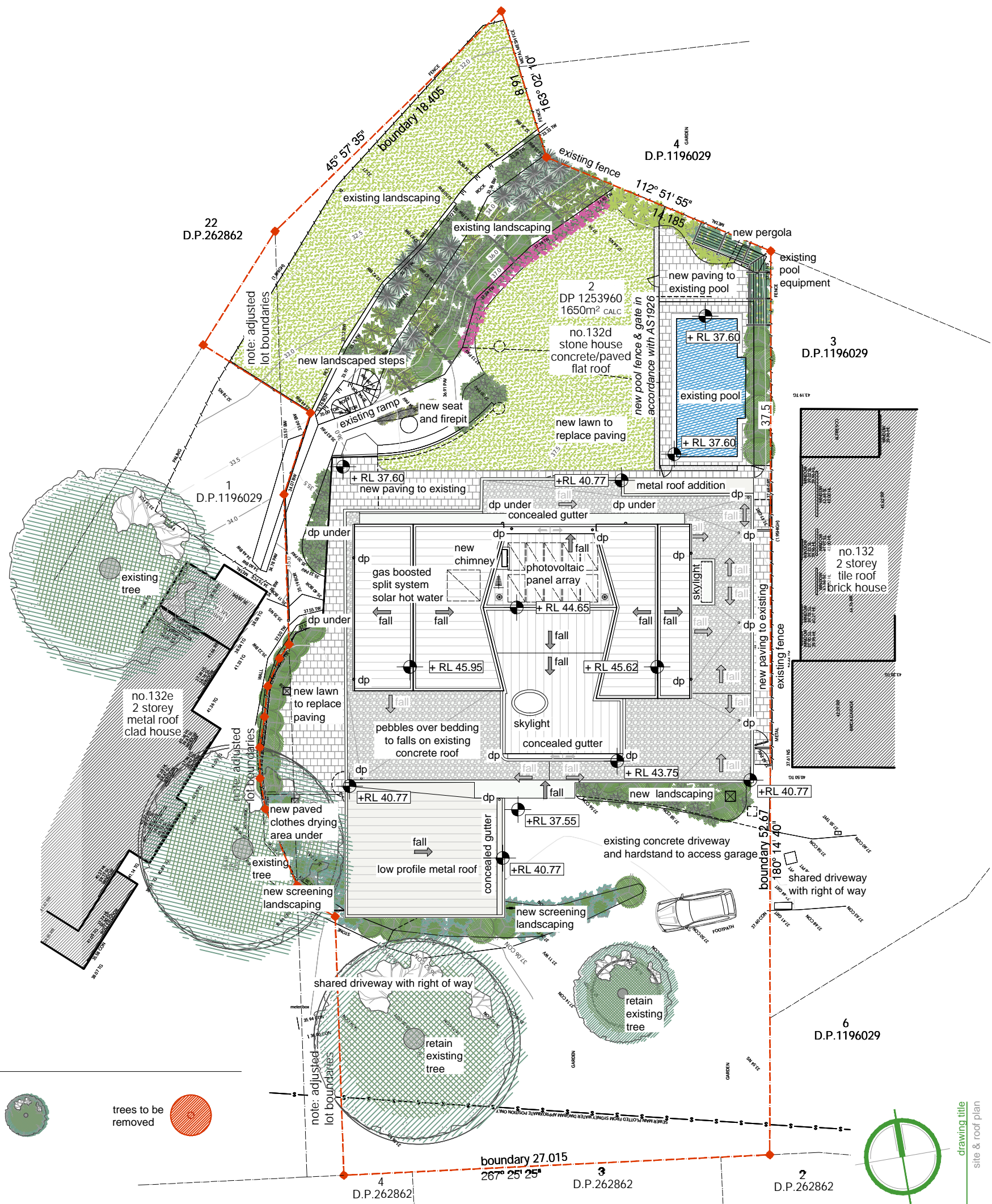
site plan

scale 1:250

- legend**
- building elements over
 - building elements under
 - elements to be removed
 - roof to be removed
 - finished RL

tree legend

- trees to be retained
- trees to be removed



drawing title
site & roof plan

stage
development application

drawing title
alterations & additions

project address
132D rose avenue
pyrmont NSW 2009

19.05 DA02

CARL RUTHERFOORD DESIGN

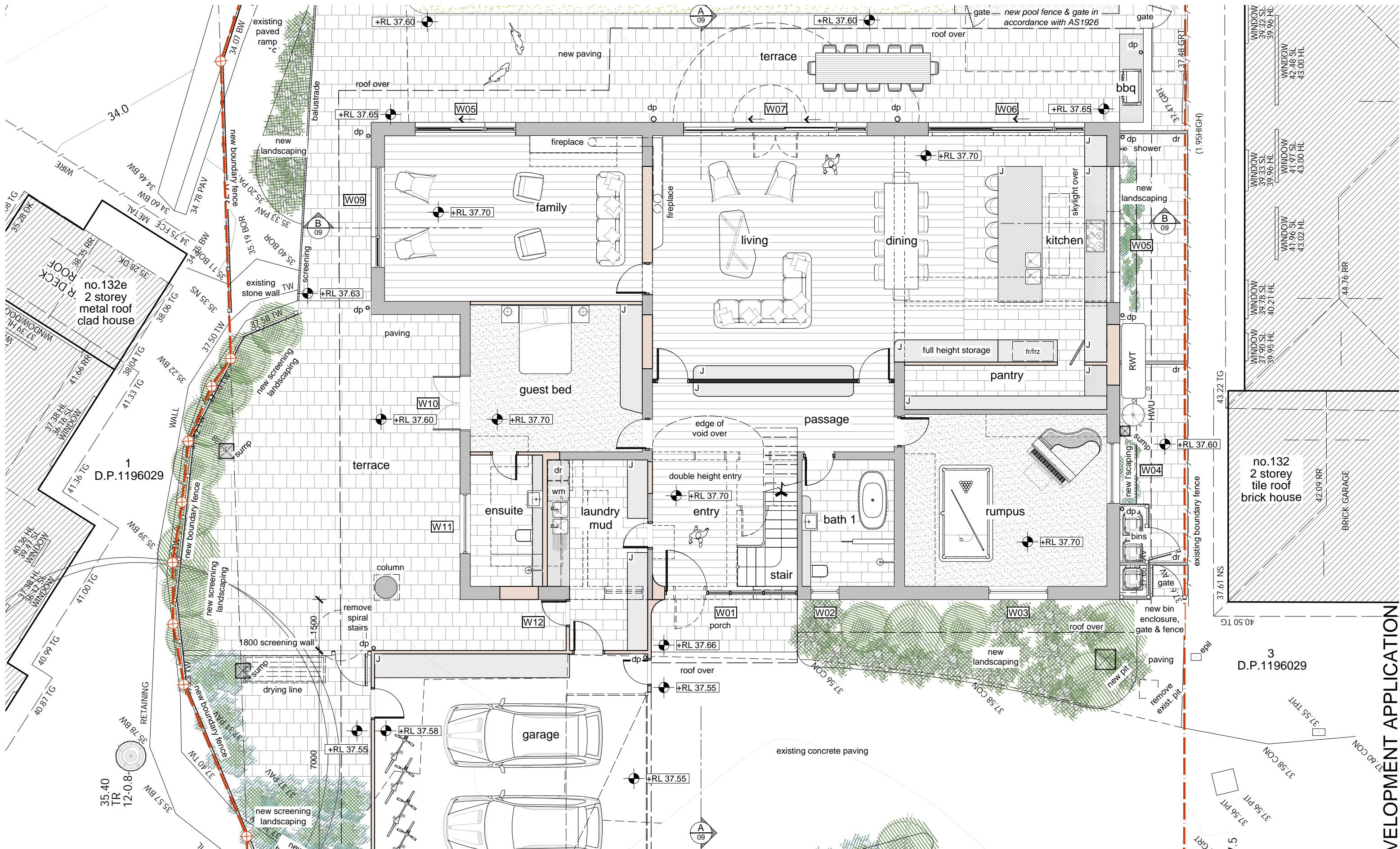
address
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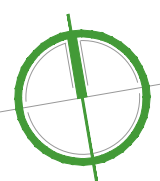
ABN
54 504 271 329



ground floor plan

scale 1:100

- | | | | |
|---|---|--|--|
| <p>wall legend</p> <ul style="list-style-type: none"> existing walls new walls (colour as per legend) joinery | <ul style="list-style-type: none"> | <p>legend</p> <ul style="list-style-type: none"> building elements over building elements under elements to be removed roof over finished floor level | <ul style="list-style-type: none"> |
|---|---|--|--|



drawing title
floor plan

stage
measured drawings

drawing title
alterations & additions

project address
132D rose avenue/
wheeler heights

19.05 DA03

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DEVELOPMENT APPLICATION



ground floor plan

scale 1:100

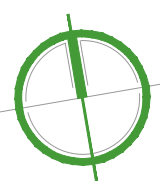
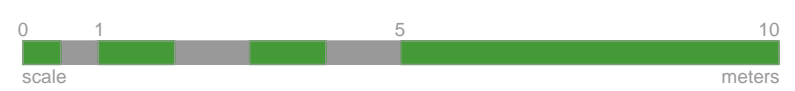
wall legend

- existing walls
- new walls (colour as per legend)
- joinery

legend

- building elements over building elements to be removed
- roof over
- finished floor level

family



drawing title
ground floor plan
stage
development application
drawing title
alterations & additions
project address :HIGH
132D rose avenue
wheeler heights

19.05 DA04

CARL RUTHERFOORD DESIGN

address
A307/24 point street
pyrmont NSW 2009

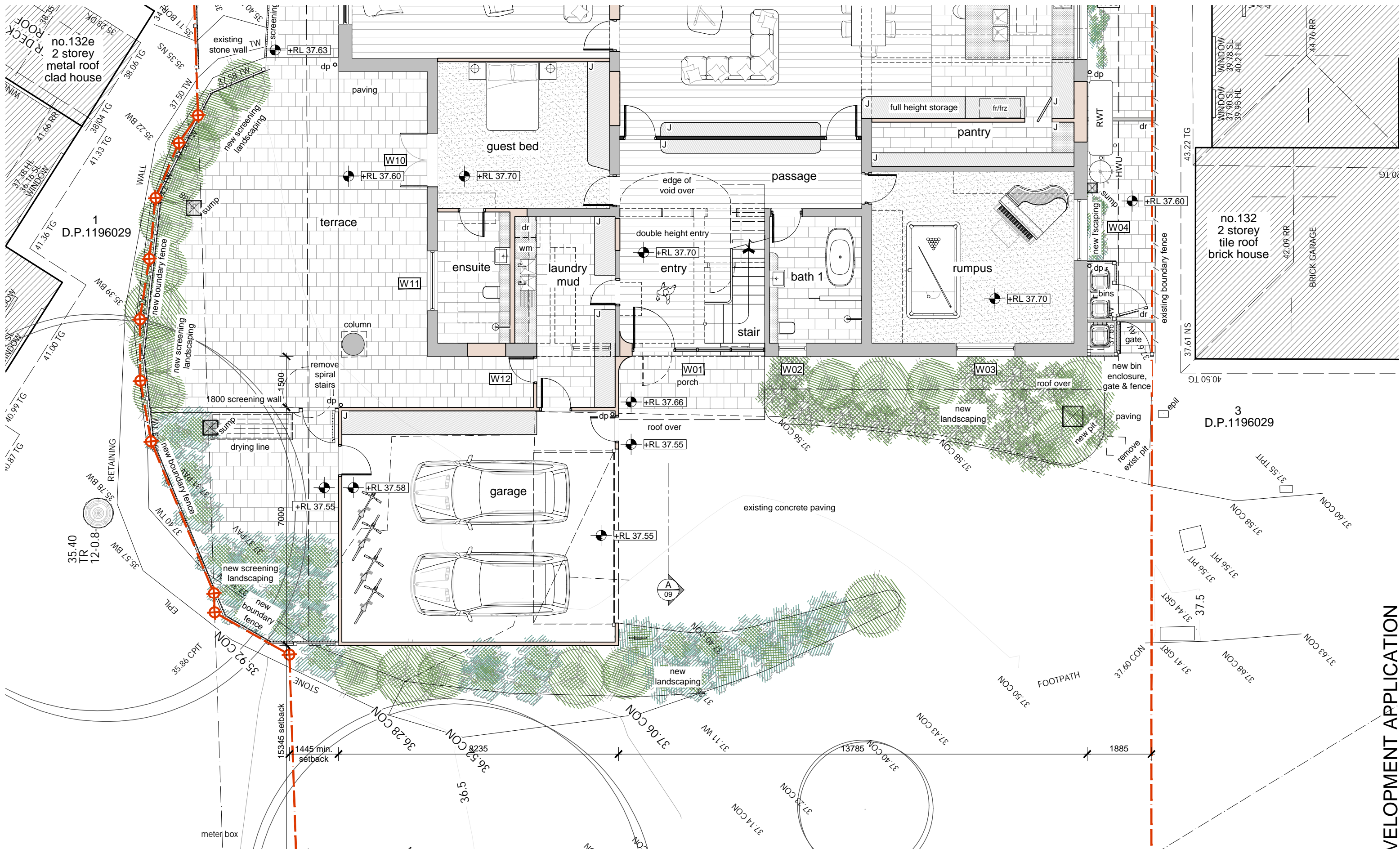
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DEVELOPMENT APPLICATION

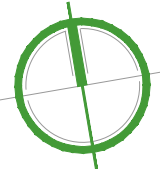
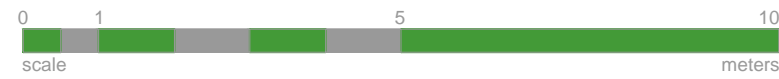


ground floor plan

scale 1:100

wall legend	existing walls	
	new walls (colour as per legend)	
	joinery	

legend	building elements over building elements under elements to be removed	
	roof over	
	finished floor level	



drawing title
ground floor plan

stage
development application

drawing title
alterations & additions

project address
132D rose avenue
wheeler heights

19.05 DA05

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DEVELOPMENT APPLICATION

no.132e
2 storey
metal roof
clad house

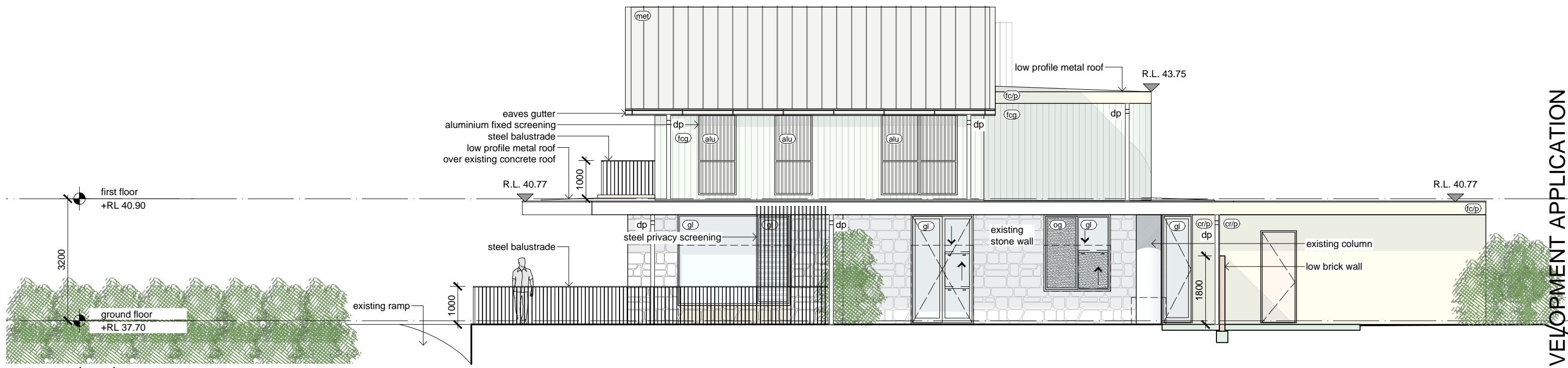
D.P.1196029

no.132
2 storey
tile roof
brick house

D.P.1196029



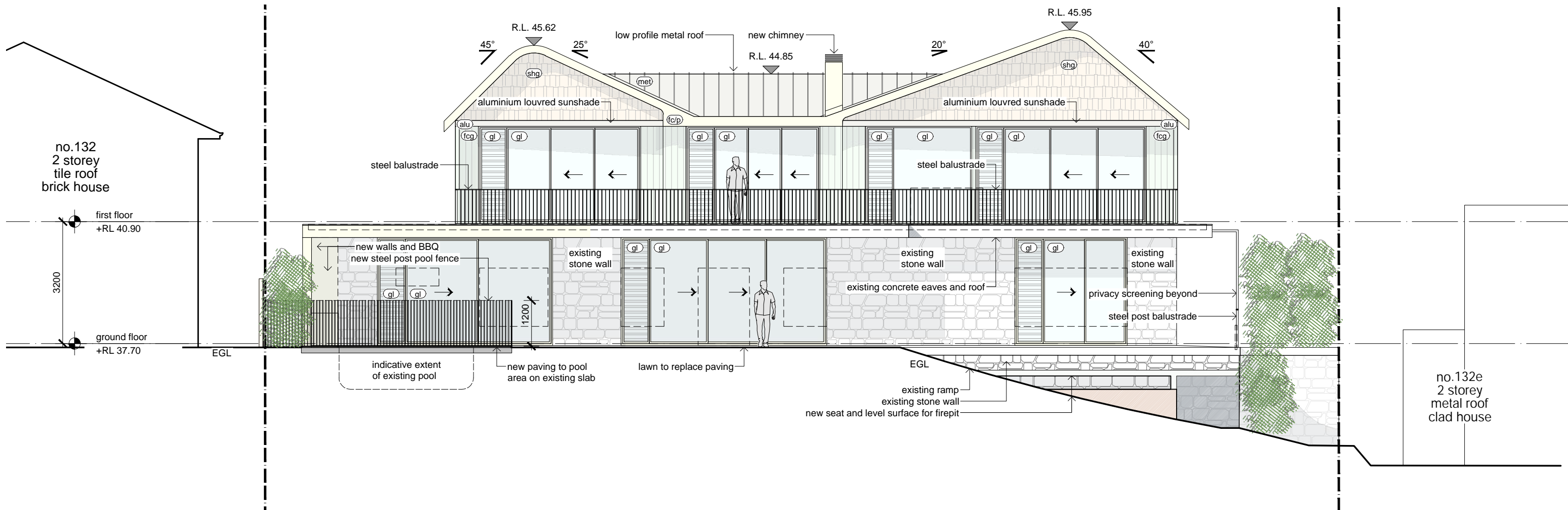
south elevation
scale 1:100



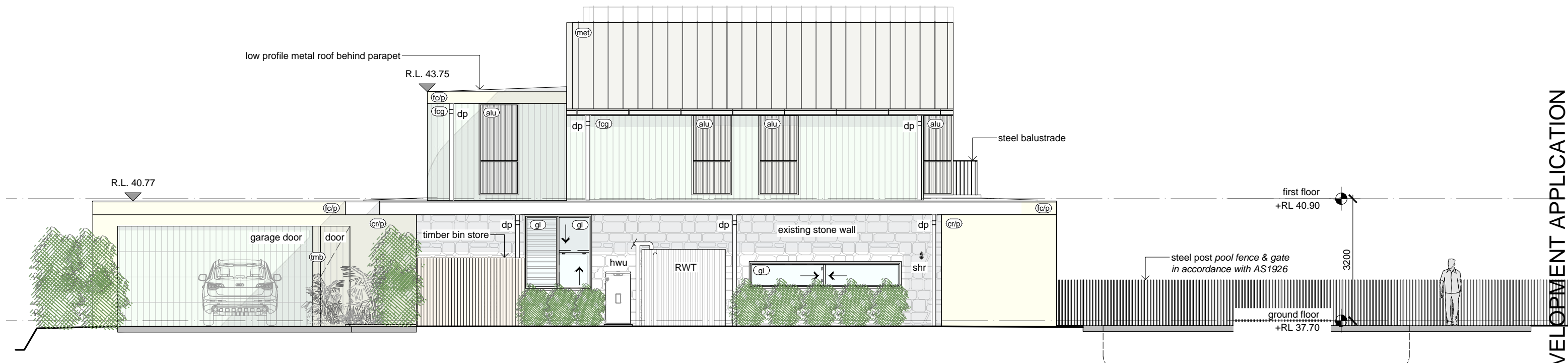
west elevation
scale 1:100

DEVELOPMENT APPLICATION

drawing title elevations
stage development application
drawing title alterations & additions
project address 132D rose avenue wheeler heights
19.05 DA07
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north elevation
scale 1:100

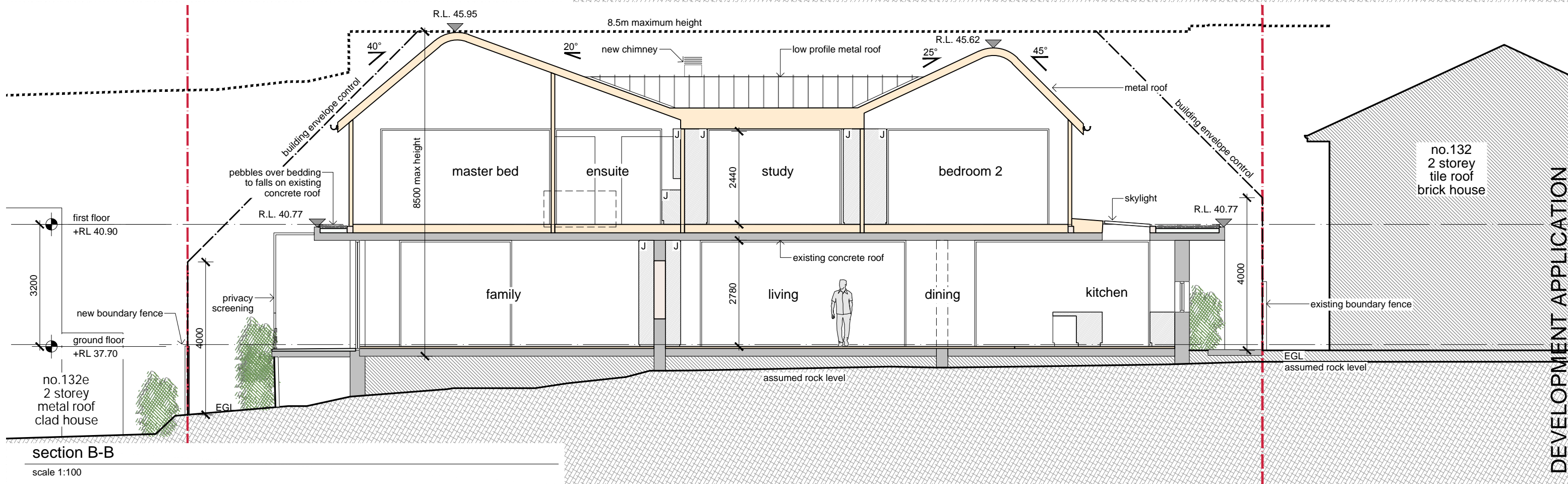
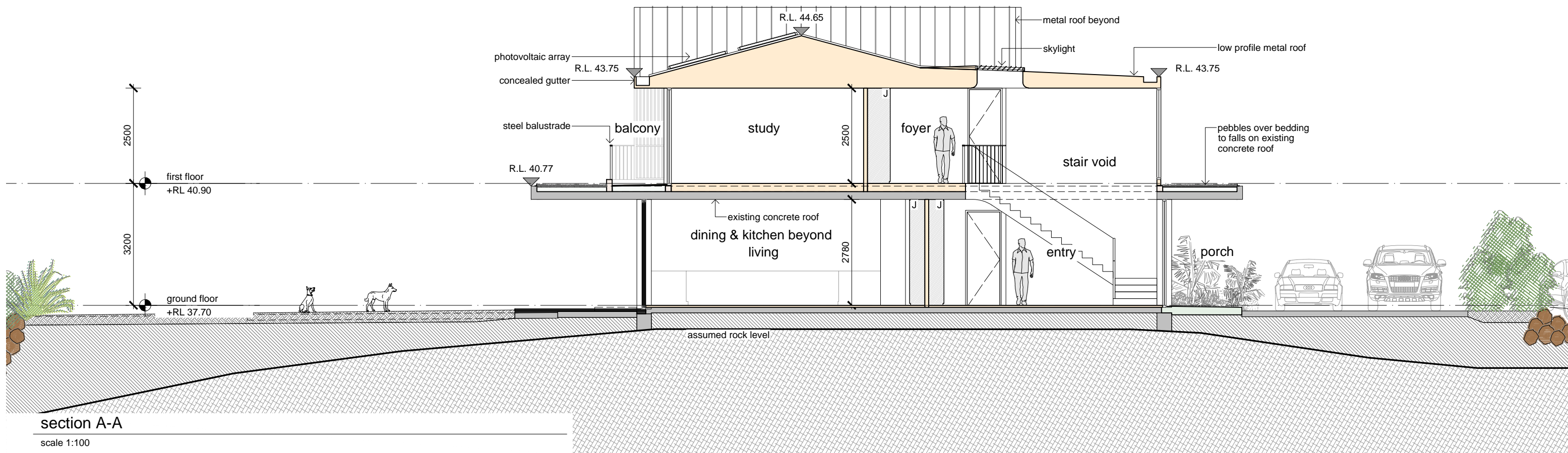


east elevation
scale 1:100



drawing title elevations
stage development application
drawing title alterations & additions
project address 132D rose avenue wheeler heights
19.05 DA08
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DEVELOPMENT APPLICATION



drawing title
sections

stage
development application

drawing title
alterations & additions

project address
132D rose avenue
wheeler heights

19.05 DA09

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DESIGN**

address
A307/24 point street
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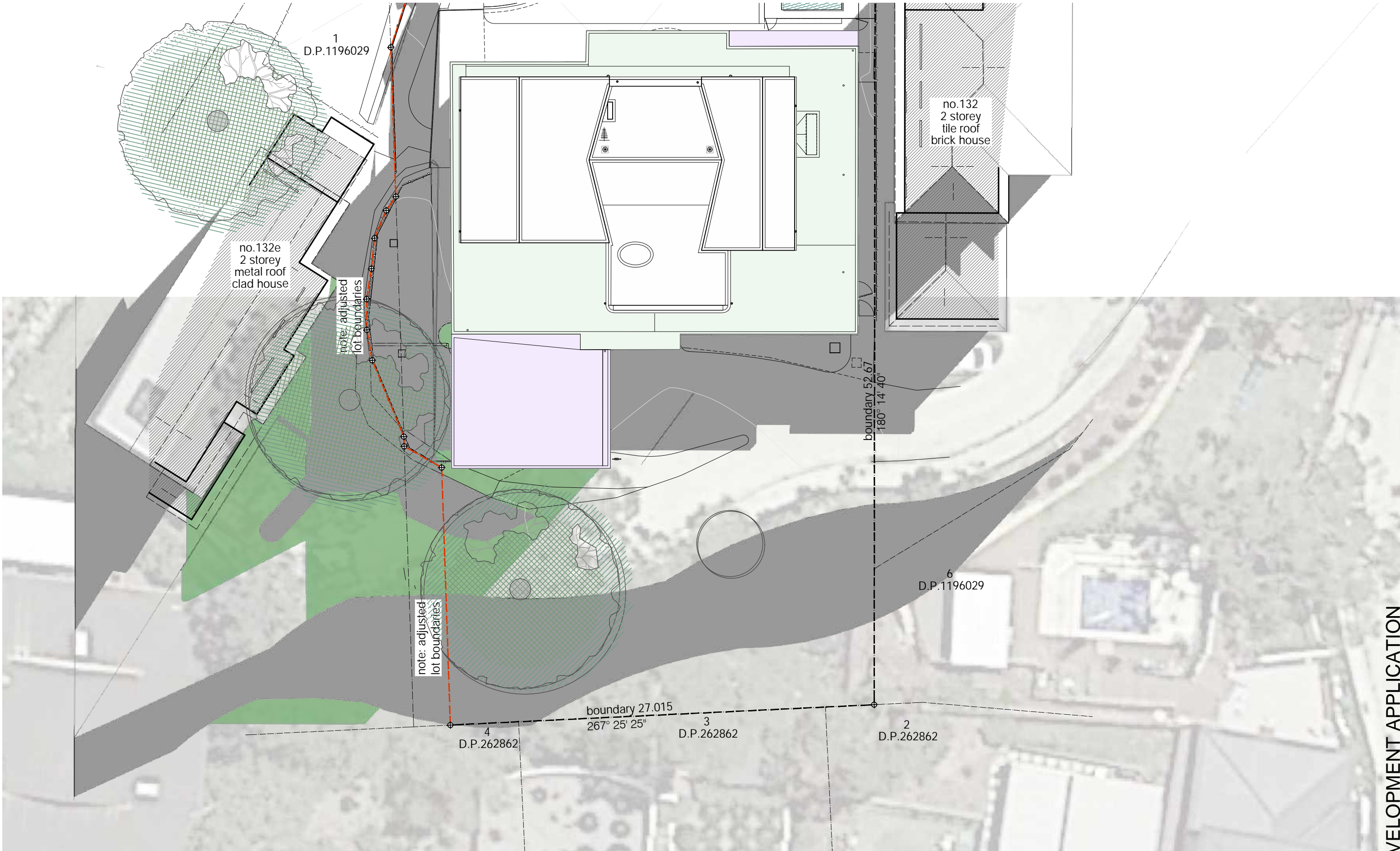
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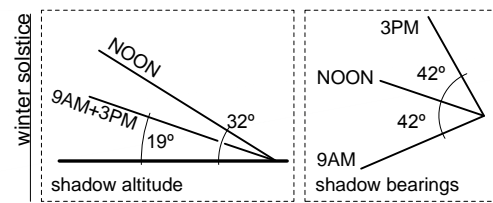
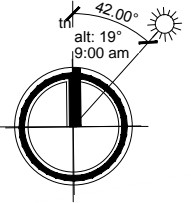
ABN
54 504 271 329

DEVELOPMENT APPLICATION



shadows - 9am - winter solstice

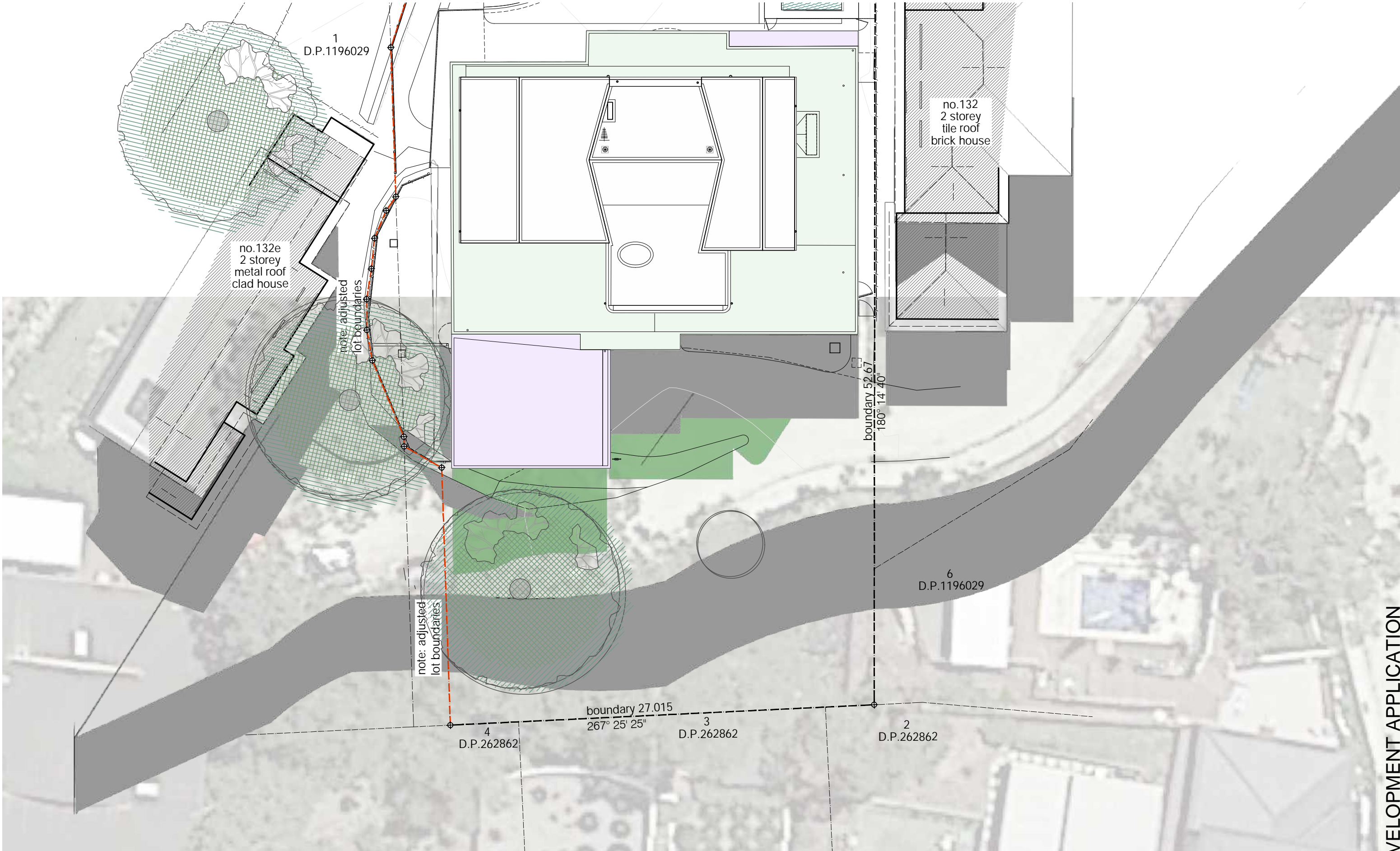
scale 1:200



- existing shadows
- proposed shadows
- deleting shadow

note drawing based on site survey & where unavailable, estimates from aerial photos, DCP/LEP maps & department of land maps

drawing title	shadow diagram
stage	development application
drawing title	alterations & additions
project address	132D rose avenue wheeler heights
19.05	DA10
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shadows - 12pm - winter solstice

scale 1:200

alt: 32°
12:00

winter solstice

shadow altitude

shadow bearings

<p>existing shadows</p> <p>proposed shadows</p> <p>deleting shadow</p>	<p>■</p> <p>■</p> <p>■</p>	<p>note drawing based on site survey & where unavailable, estimates from aerial photos, DCP/LEP maps & department of land maps</p>
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drawing title
shadow diagram

stage
development application

drawing title
alterations & additions

project address
132D rose avenue
wheeler heights

19.05 DA11

CARL RUTHERFOORD DESIGN

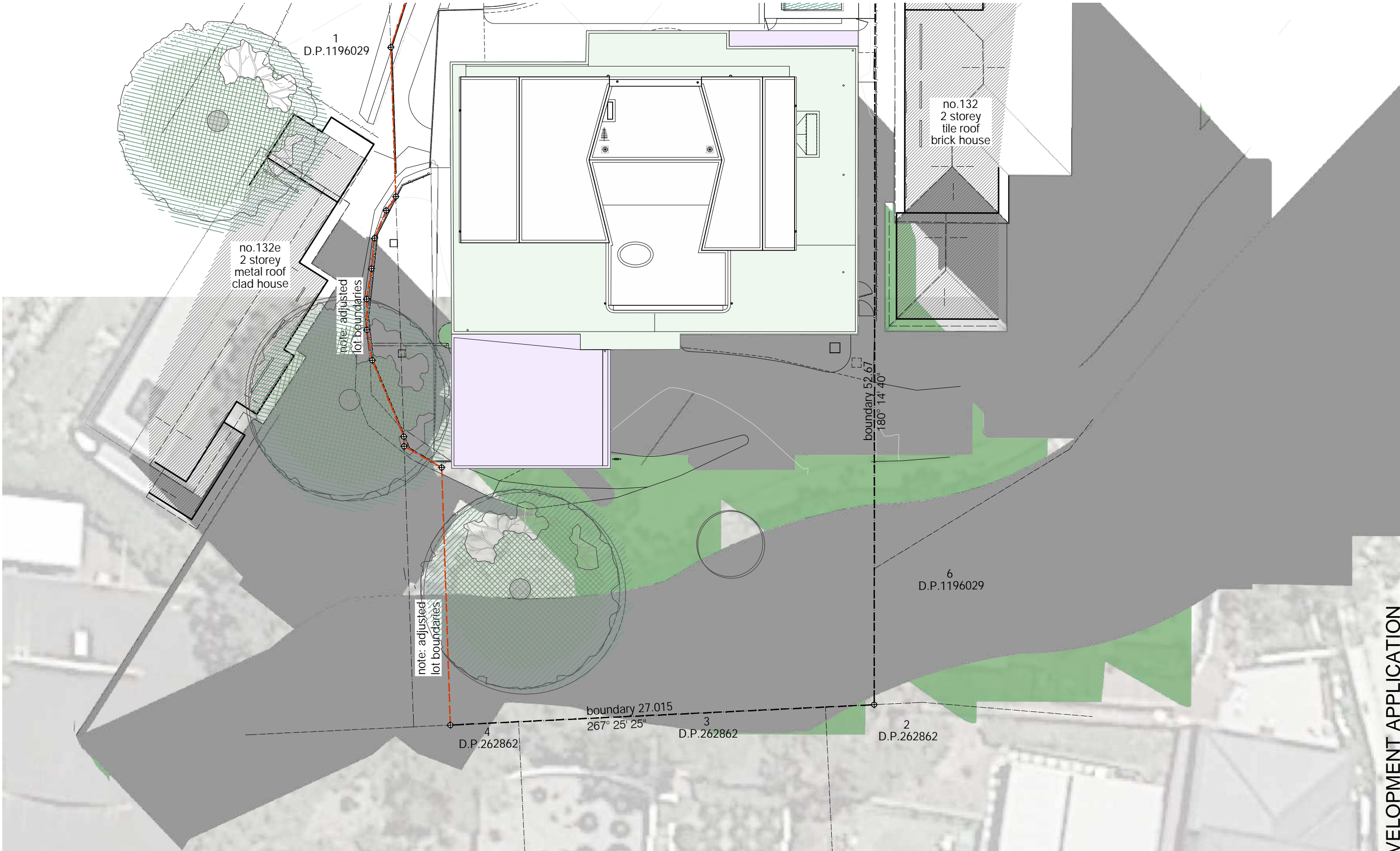
address
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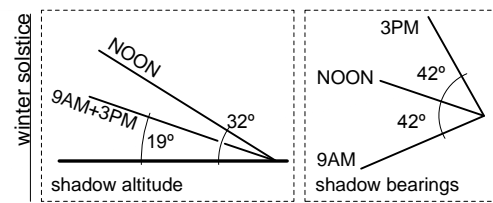
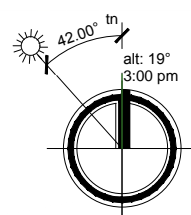
phone
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ABN
54 504 271 329



shadows - 3pm - winter solstice

scale 1:200



- existing shadows
 - proposed shadows
 - deleting shadow
- note** drawing based on site survey & where unavailable, estimates from aerial photos, DCP/LEP maps & department of land maps

drawing title	shadow diagram
stage	development application
drawing title	alterations & additions
project address	132D rose avenue wheeler heights
19.05	DA12
CARL RUTHERFOORD	DESIGN
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EROSION & SEDIMENT CONTROL NOTES

1. Measures provided will be installed in accordance with local and statutory requirements unless noted otherwise. All works shall be erected and constructed in accordance with the latest editions of the 'Blue Book' - managing urban stormwater (MUS): Soils and Construction, Landcom (Vol 1) and DECCW (Vol 2) and Council's Development Control Plan (DCP) and Water Management Policy
2. All excavation works are to be in accordance with the Geotechnical report, if available, and the Structural Engineers Drawings.
3. Install Erosion and Sediment Control measures prior to commencement of construction works.
4. Mesh and gravel inlet filters to be installed upstream of proposed stormwater pits downstream of disturbed areas.
5. Top soil will be stripped and stockpiled for later use in fill and landscaping.
6. All stockpiles to be clear from drains, gutters and footpaths.
7. Top soil will be spread and all disturbed areas will be rehabilitated within 20 working days of the completion of the works.
8. All sediment to be stored and collected by a liquid waste company for disposal at a licensed treatment facility.
9. roads and footways to be swept at the end of the day.
10. All erosion and sediment controls will be checked at least weekly and after rainfall events to make sure they are maintained and fully functional condition.

STOCKPILES CONSTRUCTION NOTES

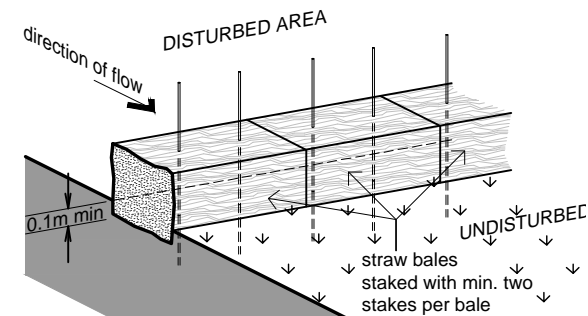
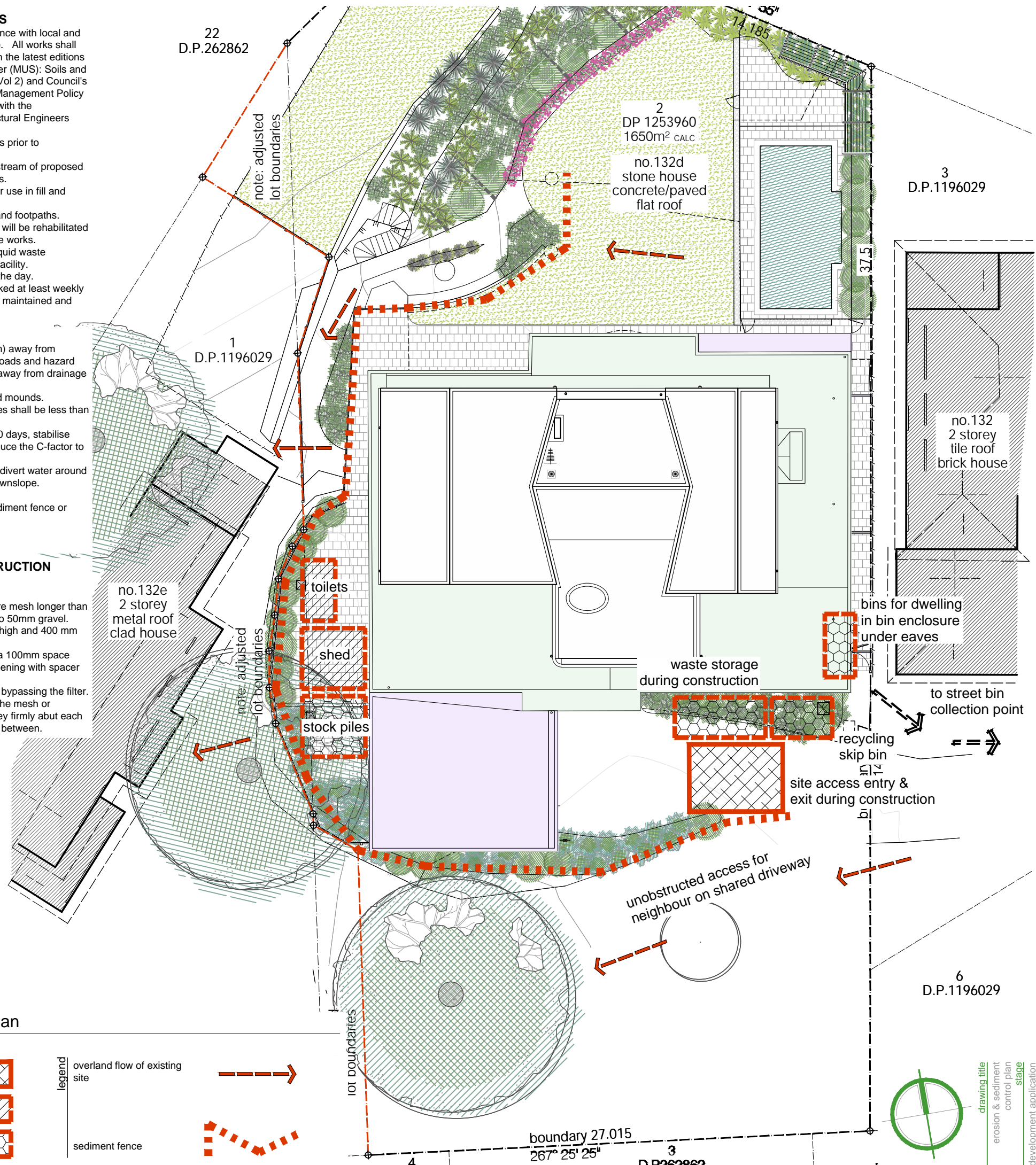
1. Place stockpiles more than 2m (preferably 5m) away from existing vegetation, concentrated water flow, roads and hazard areas. They should also be located upslope away from drainage lines.
2. Construct on the contour as low, flat elongated mounds.
3. Where there is sufficient area, topsoil stockpiles shall be less than 2m in height.
4. Where they are to be in place for more than 10 days, stabilise following the approved ESCP or SWMP to reduce the C-factor to less than 0.10.
5. Construct earth banks on the upslope side to divert water around stockpiles and sediment fences 1-2 meters downslope.
6. Protect with a waterproof covering.
7. Install a sediment control device such as a sediment fence or gravel.
8. Bags on the down-slope side of the stockpile.
9. Stockpiles must not be stored on footpaths.

MESH & GRAVEL INLET FILTER CONSTRUCTION NOTES

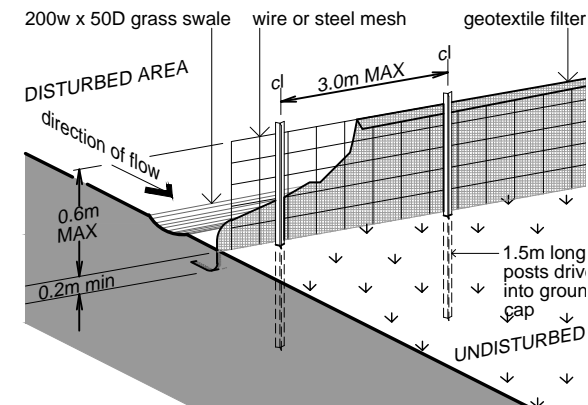
1. Install filters to kerb inlets only at sag points.
2. Fabricate a sleeve made from geotextile or wire mesh longer than the length of the inlet pit and fill it with 25mm to 50mm gravel.
3. Form an elliptical cross section about 150mm high and 400 mm wide.
4. Place the filter at the opening leaving at least a 100mm space between it and the kerb inlet. Maintain the opening with spacer blocks.
5. Form a seal with the kerb to prevent sediment bypassing the filter.
6. Sandbags filled with gravel can substitute for the mesh or geotextile providing they are placed so that they firmly abut each other and sediment-laden waters cannot pass between.

SEDIMENT CONTROL CONSTRUCTION NOTES

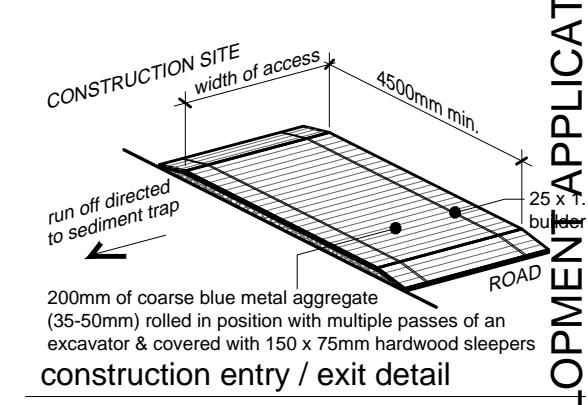
1. Construct sediment fences as close as possible to being parallel to the contours of the site, but with small returns as shown in the drawing to limit the catchment of any one section. The catchment area should be small enough to limit water flow if concentrated one point to 50litres per second in the design storm event, up to the 10-year event.
2. Cut a 200mm deep trench along the upslope line of the fence to the bottom of the fabric to be entrenched.
3. Drive 1.5m long picket posts into the ground at 2.5-3.0m maximum intervals at the downslope edge of the trench. Ensure any pickets are fitted with safety caps.
4. Fix self supporting geotextile to the upslope side of the posts ensuring it goes to the base of the trench. Fix the geotextile wire ties or as recommended by the manufacturer. Only use geotextile specifically produced for sediment fencing. (The shade cloth for this purpose is not satisfactory)
5. Join sections of fabric at a support post with 150mm overlap
6. Backfill the trench over the base of the fabric and compact it thoroughly over the geotextile.
7. To ensure effectiveness of sediment controls, maintain integrity installed solution throughout construction.



hay bale sediment trap
n.t.s.



sediment fence detail
n.t.s.



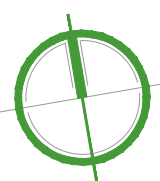
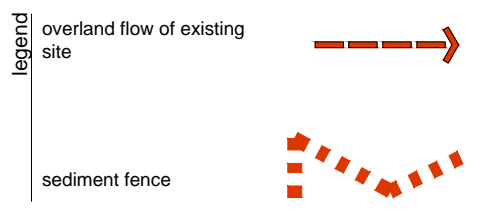
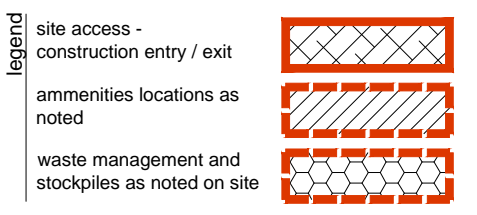
construction entry / exit detail
n.t.s.

SITE ACCESS

1. Provide a single stabilised entry/ exit point.
2. Sediment or building materials should be removed from the site as required by sweeping, shoveling or sponging; not by washing.

erosion & sediment control plan

scale 1:200



DEVELOPMENT APPLICATION

drawing title: erosion & sediment control plan
stage: development application
alterations & additions

project address: 132D rose avenue wheeler heights
19.05 DA13
CARL RUTHERFORD DESIGN
address: A307/24 point street pyrmont NSW 2009
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ABN: 54 504 271 329

LANDSCAPE NOTES

DRAINAGE
Install required sedimentation control devices as required by council DCP's.

PLANTING NOTES

SITE PREPARATION
All existing plants marked for retention shall be protected for the duration of works. Remove from site all perennial weeds and rubbish before commencing landscape works.

SOIL WORK
Thoroughly cultivate the subsoil to a depth of 200mm. Supply and install to a depth of 300mm quality garden soil mix to all planting beds and 150mm turf underlay to lawn areas.

MULCH
Supply and install a 75mm layer of hardwood horticultural grade mulch to all planting beds set down 25mm from adjacent paving or garden edge.

MAINTENANCE
Garden to be maintained every 10 weeks for the first 12 months of establishment period. Garden to be maintained by a qualified horticulturalist. All failed or defective plant species to be replaced for a 3 months period following completion of work. Further maintenance during and after this period should include watering, weeding, fertilising, pest and disease control, pruning and hedging, reinstatement of mulch and keeping the site neat and tidy. Irrigation: DripEze in line drip tubing with 2.0lph emitters at 300mm spacing throughout all garden beds. Rows of tubing at 400mm spacing or to suit planting and fixed to soil surface using galvanized steel "U" pegs at 1.0m centres. Organic matter and mulch supplied to standard AS4454. Throughout the planting establishment period, carry out maintenance work including, watering, mowing, weeding, rubbish removal, fertilising, pest & disease control, re-seeding, re-turfing, staking & tying, replanting, cultivating, pruning, hedge clipping, aerating, reinstatement of mulch, renovating, top dressing, & keeping the site neat & tidy. Replacements - continue to replace failed, damaged or stolen plants.

IRRIGATION SPECIFICATION
Drip irrigation to garden beds
No pop-ups to turf areas only drip irrigation if turf is to be irrigated. Work with plumber to ensure connections to on site water tanks. The contractor is to provide a design & lump sum cost to install an approved irrigation system which meets the requirements of Sydney Water & this specification, to the turf areas, garden beds & planter boxes.

STANDARDS
All work is to be carried out to the generally accepted urban irrigation industry standard &, as a minimum, is to meet the requirements of AS 3500 & AS 3500.1

CONNECTION TO WATER SUPPLY
A water connection point is to be provided for the irrigation system. A back flow prevention valve meeting the requirements of AS3500, AS 3500.1 & Sydney Water shall be fitted at the water connection point. A back flow prevention device is to be provided at each water supply point. The back flow prevention valve is to be selected & installed in accordance with AS3500.



1 existing vegetation to be retained



2 *stentaphrum secundatum*
buffalo palmeto lawn



3 *syzygium australe*
hinterland gold lilly pilly



4 *philodendron xanadu*
white flowered boobialla



5 *agave geminiflora*
twin flower agave



6 *grevillea caleyi*
grevillea 'ivanhoe'



7 *rhoeo dwarf*
moses in the cradle

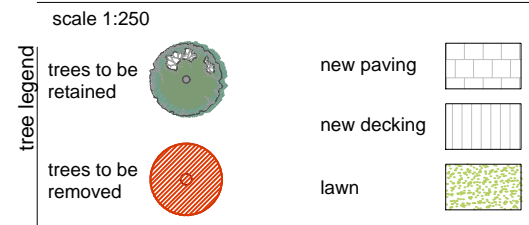


8 *bougainvillea*
moses in the cradle

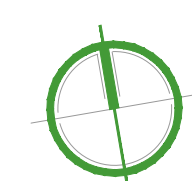


8 *bougainvillea*
moses in the cradle

landscape plan



note this drawing is for design guidance only. final details must meet site conditions, relevant authorities and applicable building standards. verify all dimensions on site and with detailed site survey prior to off site fabrications. please note that the plant graphics are indicative sizes only and not an accurate representation at time of purchase



drawing title
landscape plan
stage
development application
drawing title
alterations & additions
project address
132D rose avenue
wheeler heights
19.05 DA14
CARL RUTHERFORD
DESIGN
address
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pyrmont NSW 2009
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email
carl@carlrutherford.sydney
phone
+61 414 480 427
ABN
54 504 271 329

DEVELOPMENT APPLICATION

colour (shingles):
pale green tea

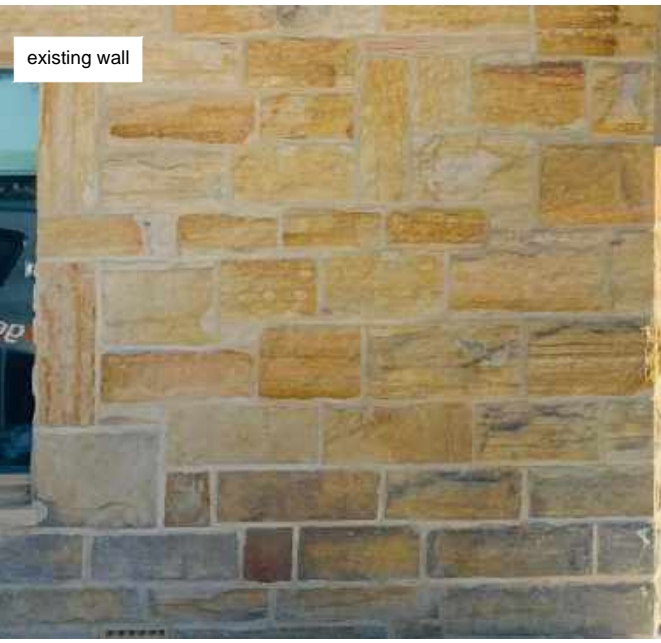
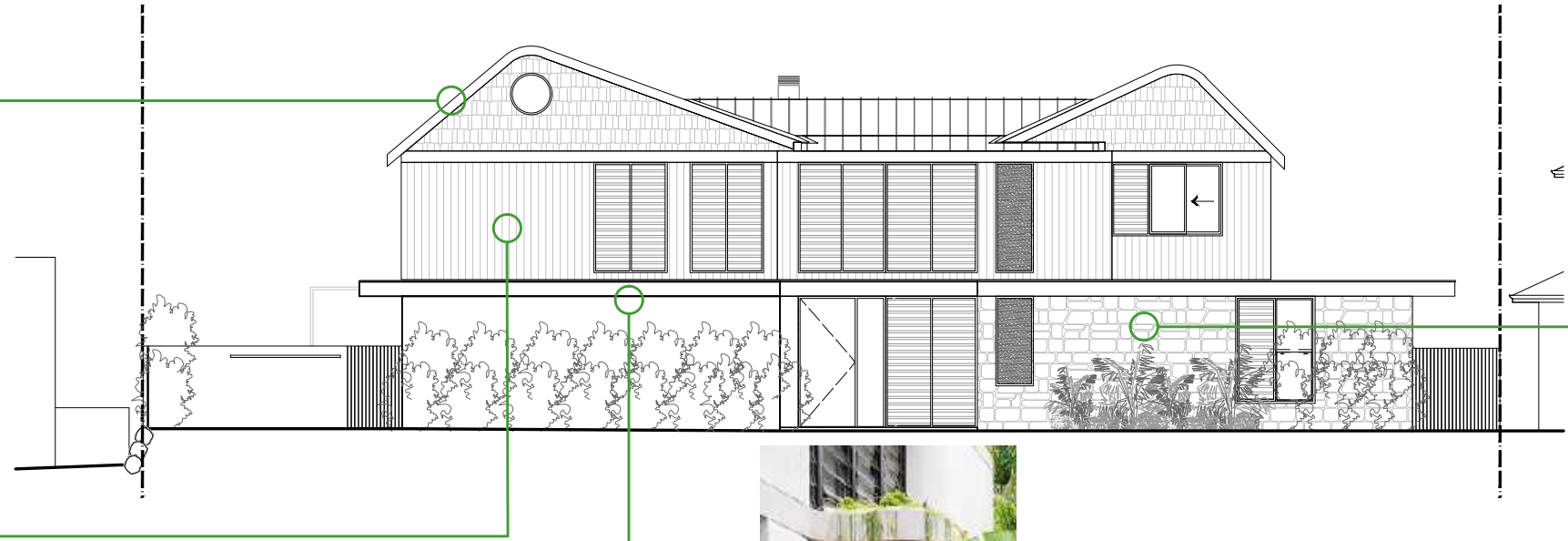


offset ridge

colour:
western myall



wall cladding

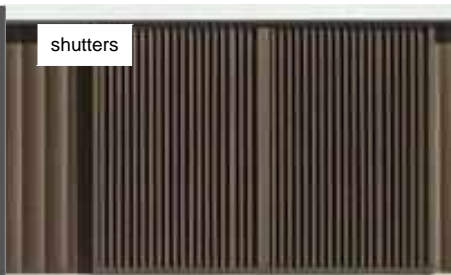


existing wall

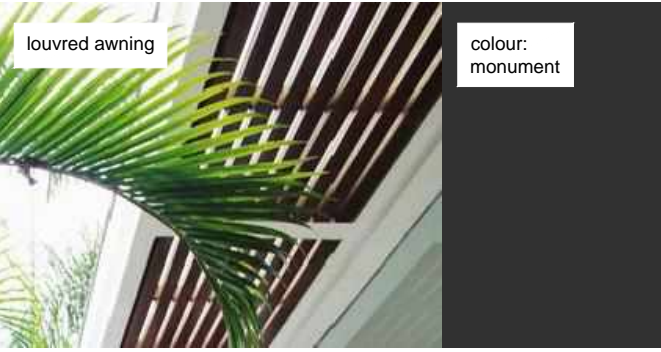
pool fence



colour:
western myall



shutters



louvred awning

colour:
monument

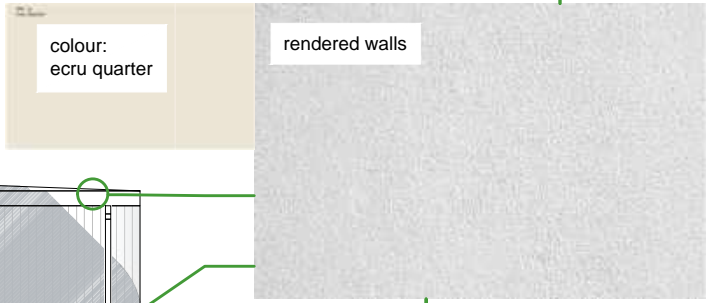


roof sheeting

colour:
monument

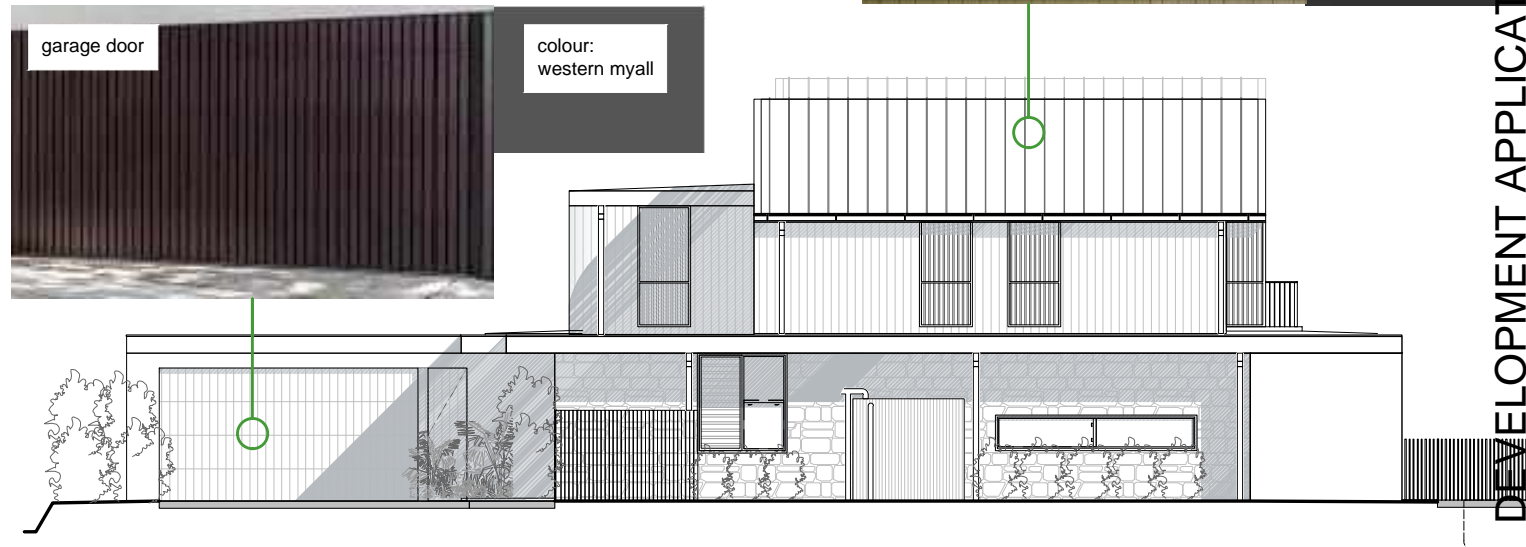
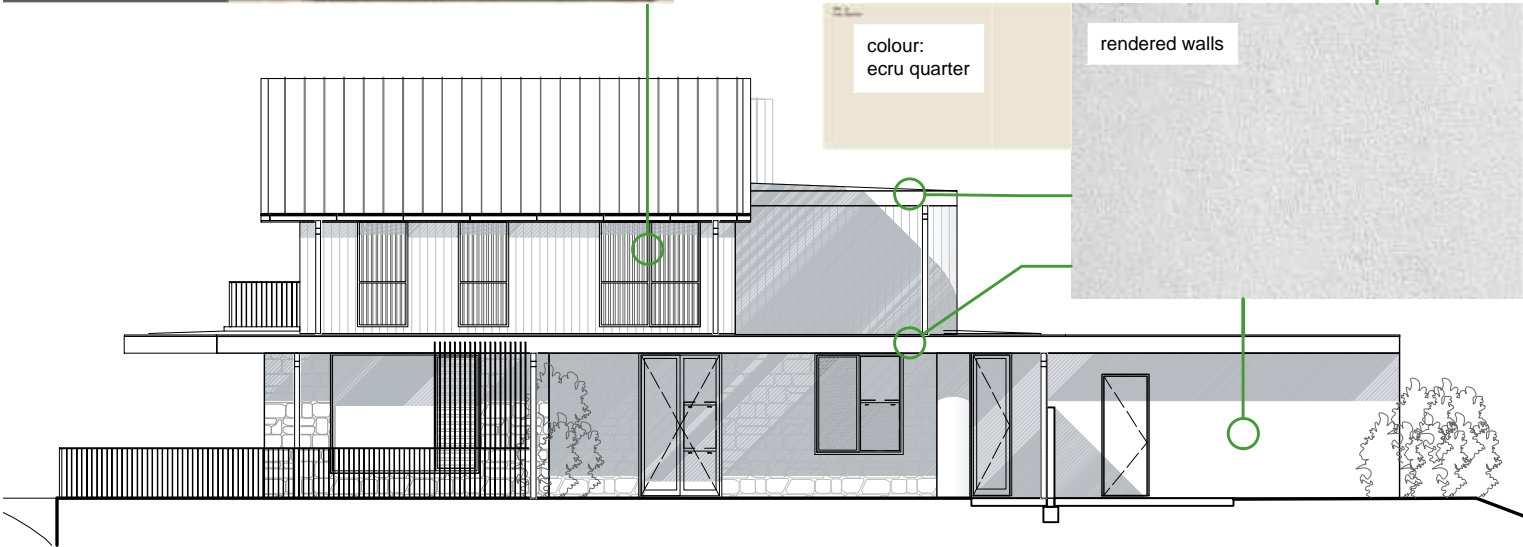
colour:
ecru quarter

rendered walls



garage door

colour:
western myall



drawing title
materials & finishes

stage
development application

drawing title
alterations & additions

project address
132D rose avenue
wheeler heights

19.05 DA15

CARL RUTHERFOORD
DESIGN

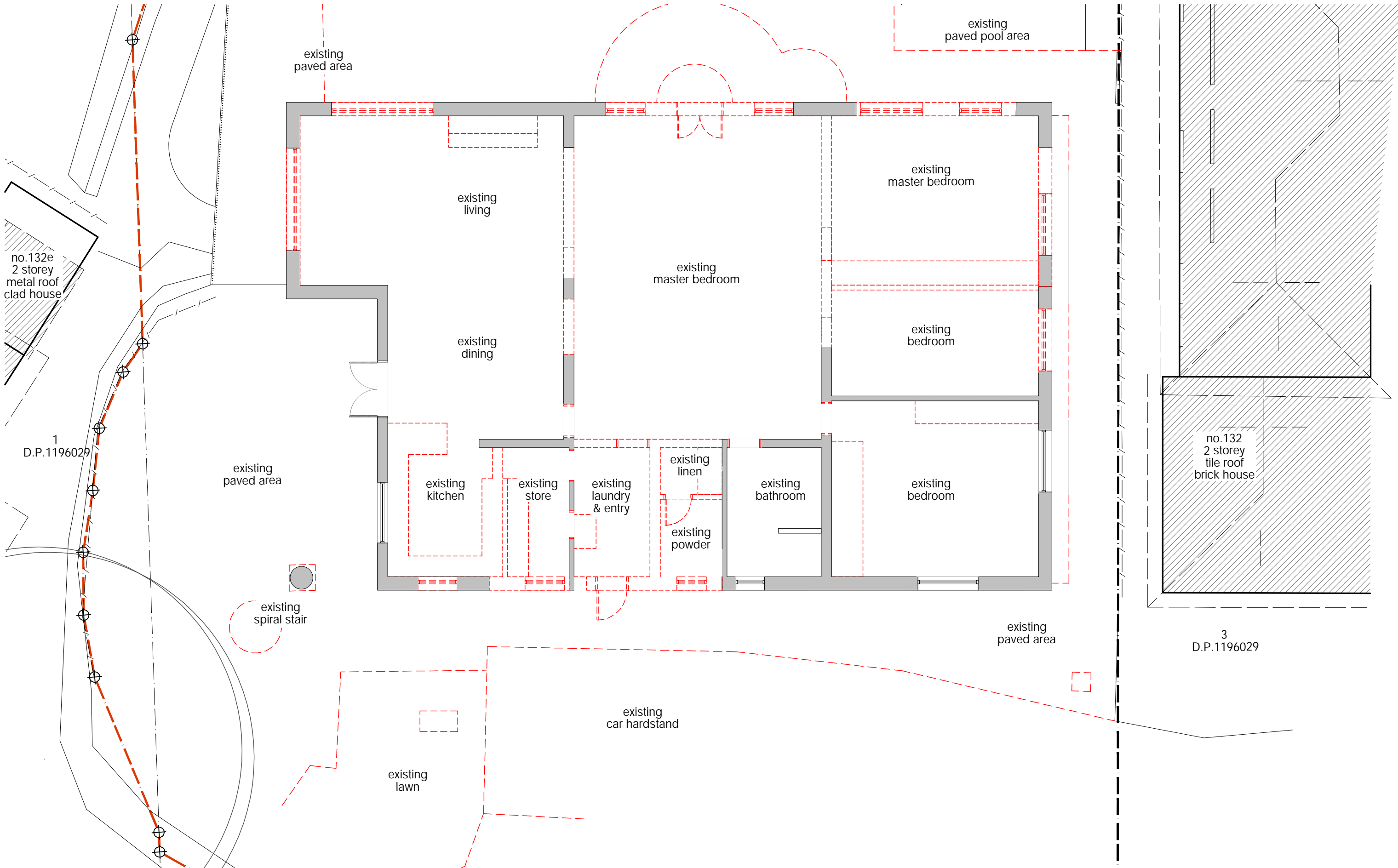
address
A307/24 point street
pyrmont NSW 2009

web
carlrutherfoord.sydney

email
carl@carlrutherfoord.sydney

phone
+61 414 480 427

ABN
54 504 271 329



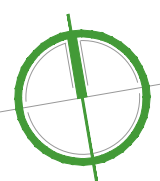
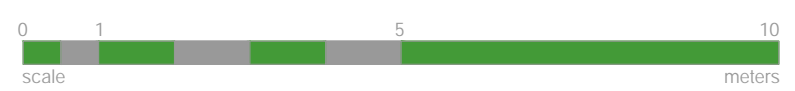
ground floor - demolition plan

scale 1:100

wall legend

- existing walls
- elements to be removed

legend



drawing title
demolition plan
ground floor

stage
development application

drawing title
alterations & additions

project address
132D rose avenue
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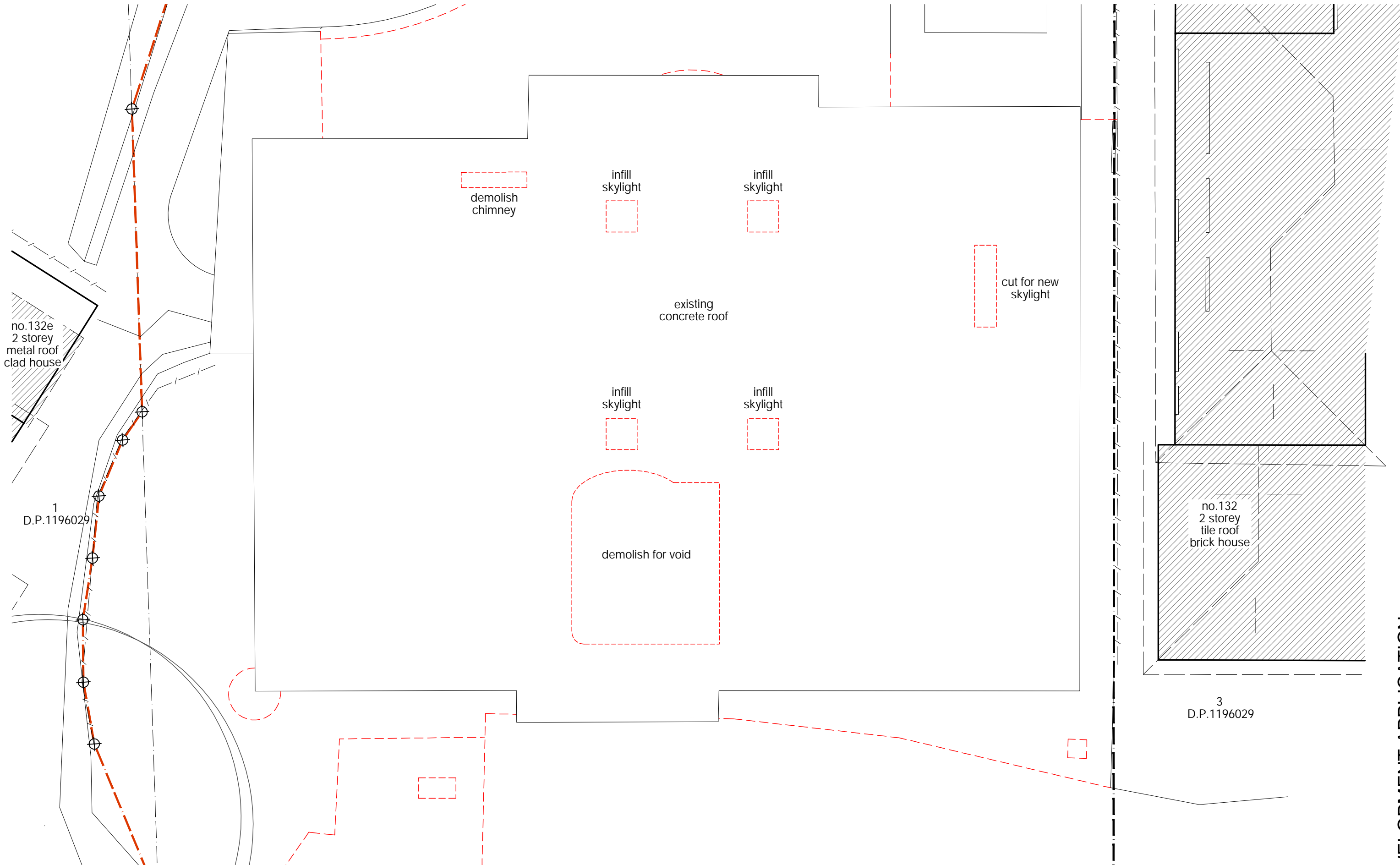
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phone
+61 414 480 427

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DEVELOPMENT APPLICATION




roof - demolition plan

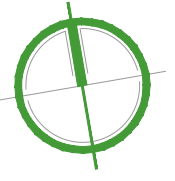
scale 1:100

wall legend

existing walls 

elements to be removed 

legend



drawing title
demolition plan
roof

stage
development application

drawing title
alterations & additions

project address
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wheeler heights

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