

NOTES

In accordance with recommendations of Planning for Bushfire Protection 2001, where the proposed dwelling is within an Asset Protection Area (IAP) must be such that:

- There is minimal fine fuel at ground level which could be set alight by bushfire; and
 - Vegetation in the IAP does not provide a path for the transfer of fire to the dwelling, i.e. fuel load is low.
- Shrubs and trees within the IAP are acceptable provided that they;
- Do not touch or overhang the building;
 - Are well spread out and do not form a continuous canopy;
 - Are not species that retain dead material or deposit excessive quantities of ground fuel in a short period or in a danger period; and
 - Are located far enough away from the house so that they will not ignite the house by direct flame contact or radiant heat emission.

The following is recommended so as to comply with the above conditions as strictly as possible.

- Do not provide or re-mulch areas in the IAP.
- Do not provide further shrub plantings as the existing *Xanthorrhoea* Grass Trees already provide a discontinuous shrub layer;
- Provide fire retardant/low flammability ground covers with a height less than 100mm; and
- Trim/prune any overhanging tree parts in accordance with recommendations of arborist report.

Recommended locally indigenous ground covers could include:
Commelina cypripes,
Dichondra repens - Kidney Weed
Hibbertia scandens - Golden Gulnea Flower,
Viola hederacea - Native Violet.

LANDSCAPE CONCEPT PLAN

3 BOUNDARY RD WARRIEWOOD
~~130 MONAHELE RD, MONAHELE~~

for Scott Avery

SCALE 1:200 DATE: 09/12/2003 DWG No. LC01

cat mackenzie landscape by design
 consultations, design and management solutions to suit all urban landscape needs

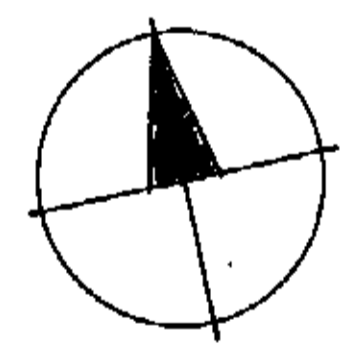
Ph (02) 9918 9633 - Fax (02) 9918 9644 - Mobile 0414 997 417
 email c.mackenzie1@bigpond.com
 PO BOX 151 NEWPORT BEACH, NSW 2106

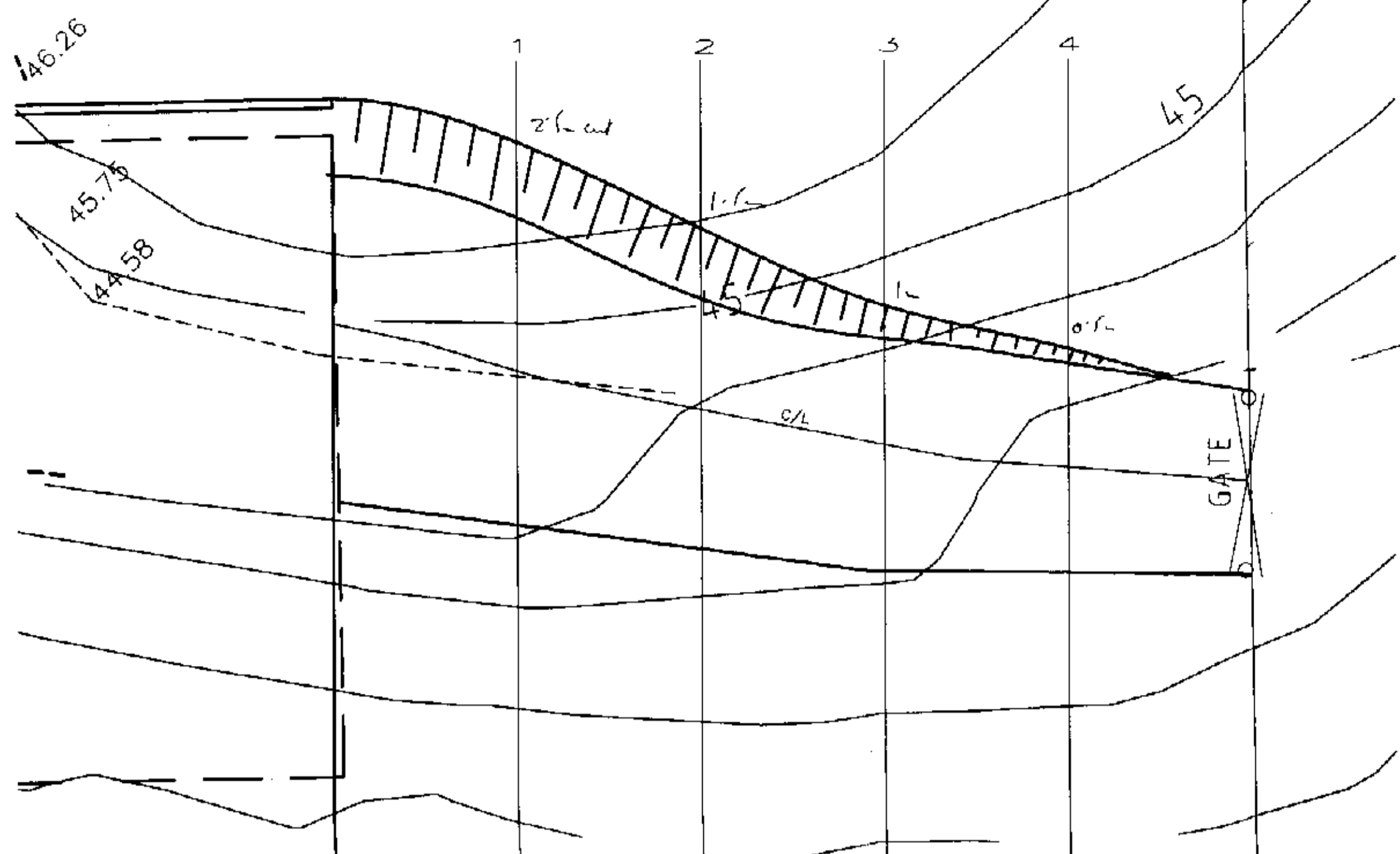
LEGEND

- Trees to be retained
- Trees to be removed
- Site boundaries
- Site, OAP and IAP boundaries are beyond extent of drawing.

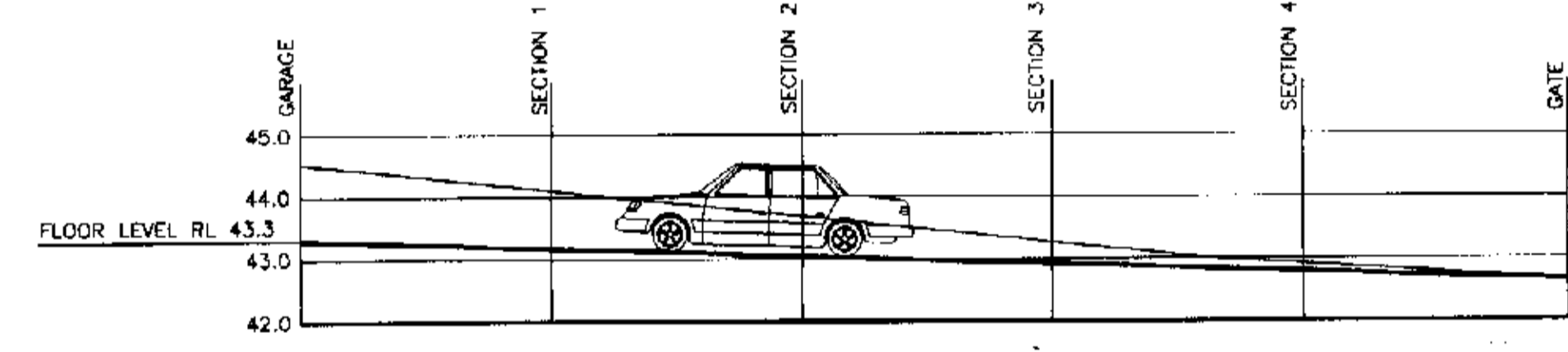
Line
 11.5 x 15 = 172.5
 6 x 1 = 6
 2 x 5 = 10
 7 x 18 = 126
 314.5 sqm

- BUA

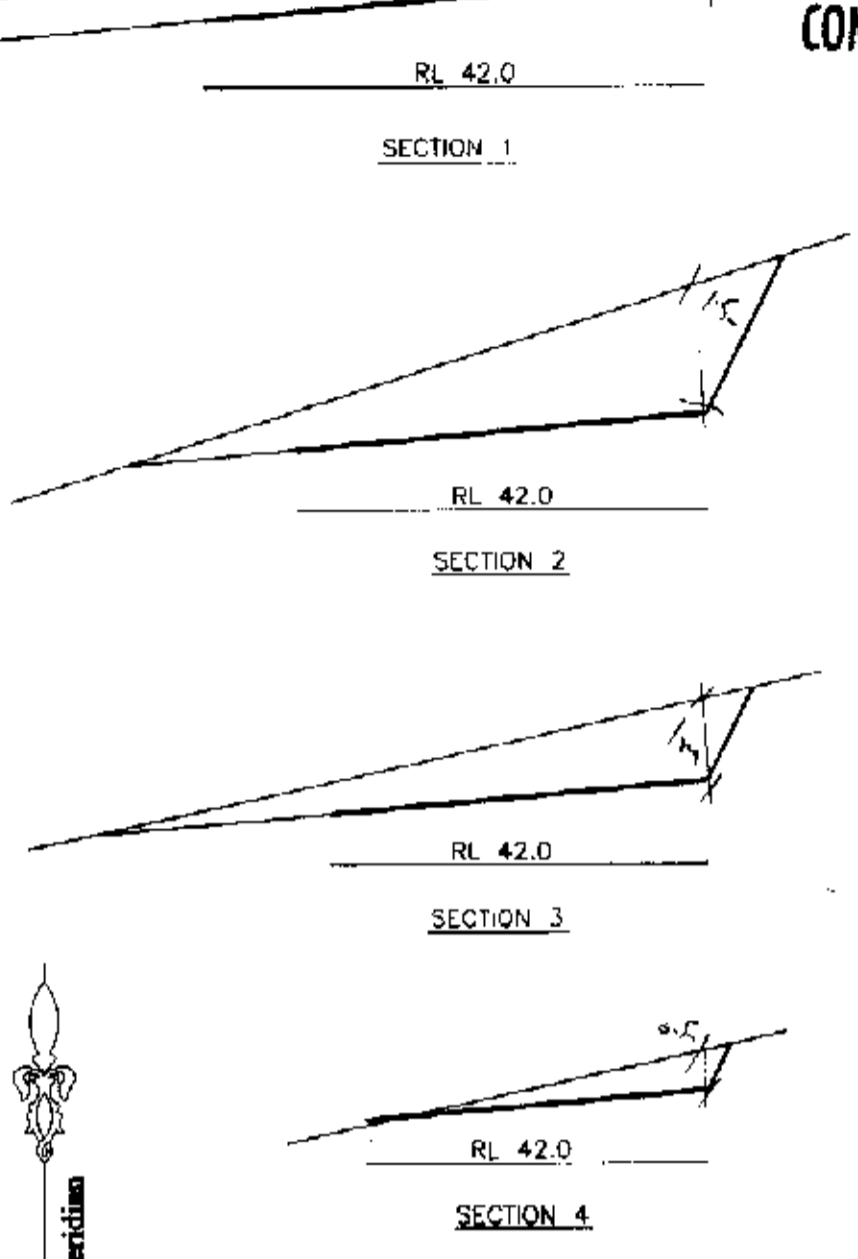




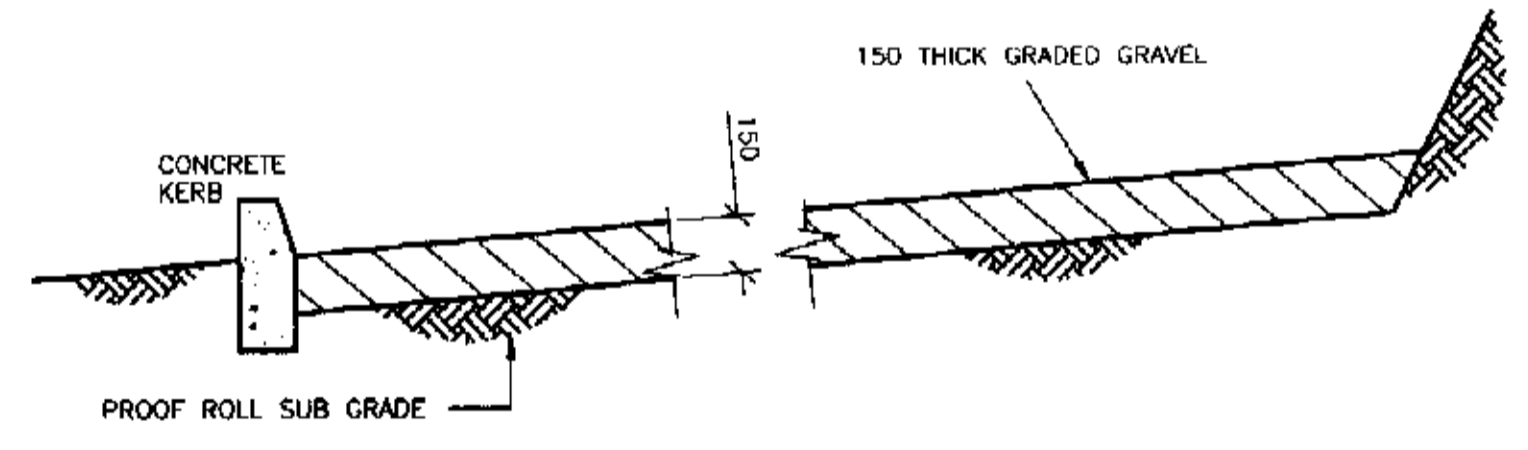
PLAN ON DRIVEWAY
1:100



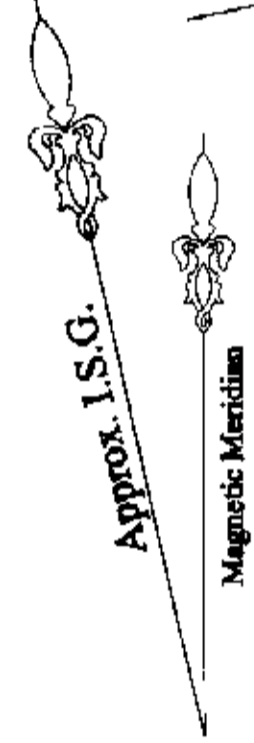
SECTION ON DRIVEWAY CENTRELINE
1:100



CROSS SECTIONS
1:100



TYPICAL SECTION THRU DRIVEWAY
1:20



PITTSBURGH COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

General Notes

1. THESE PLANS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTATIVE DRAWINGS AND SPECIFICATIONS AND WITH ANY OTHER INSTRUMENTAL CONDITIONS AS STATED THEREIN.
2. ALL WORKSHOPS AND MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT EDITIONS OF THE S.A. CODES AND THE BY-LAWS AND ORDINANCES OF THE LOCAL BUILDING AUTHORITY.
3. EXPLANATIONS SHALL NOT BE DEEMED TO APPLY UNLESS THEY ARE SPECIFICALLY REFERRED TO BY THE ARCHITECT OR ENGINEER.
4. ALL DIMENSIONS SHALL BE IN METRES UNLESS OTHERWISE STATED.
5. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE STATED.
6. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE STATED.
7. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE STATED.
8. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE STATED.
9. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE STATED.
10. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE STATED.
11. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE STATED.
12. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE STATED.
13. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE STATED.
14. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE STATED.
15. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE STATED.
16. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE STATED.
17. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE STATED.
18. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE STATED.
19. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE STATED.
20. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE STATED.

ELEMENT	QUANTITY	UNIT	TYPE	NOTE	PRICE
ALL	96	M ²	A	CONCRETE	25
REINFORCEMENT	275	M	A	PUMP PRICE	25
POOL	100	M	A	POOL PRICE	25

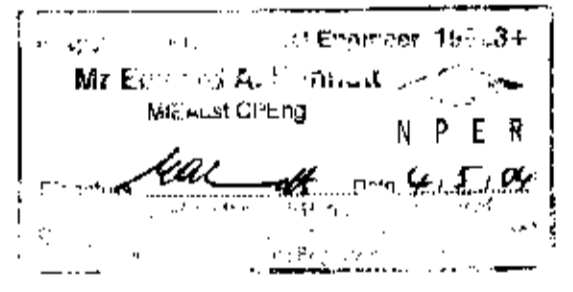
ELEMENT	QUANTITY	UNIT	TYPE	NOTE	PRICE
CONCRETE	96	M ²	A	CONCRETE	25
REINFORCEMENT	275	M	A	PUMP PRICE	25
POOL	100	M	A	POOL PRICE	25

1. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE STATED.
2. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE STATED.
3. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE STATED.
4. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE STATED.
5. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE STATED.
6. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE STATED.
7. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE STATED.
8. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE STATED.
9. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE STATED.
10. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE STATED.
11. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE STATED.
12. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE STATED.
13. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE STATED.
14. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE STATED.
15. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE STATED.
16. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE STATED.
17. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE STATED.
18. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE STATED.
19. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE STATED.
20. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE STATED.

CIVIL & STRUCTURAL ENGINEERING
DESIGN SERVICES PTY. LTD.
CONSULTING STRUCTURAL, CIVIL, GEOTECHNICAL & ENVIRONMENTAL ENGINEERS
3 HANCOCK ROAD BELMONT VIC 3105
PHONE 85 42 7675
FAX 85 42 7676
EMAIL info@csdesign.com.au

CLIENT: SCOTT AVERY
PROJECT: STRUCTURAL DETAILS AT
LOT 2 BOUNDARY ROAD WARREWOOD

Drawn By: DWS
Checked By: E.A. BENNETT M.I.E. Aust.
Date: 3/05/2004
Scale: AS SHOWN
Drawing No: A-04-17144



REVISIONS

PROPOSED RESIDENCE
AT
LOT 2 - DP 383009
3 BOUNDARY ROAD
WARRIEWOOD

FOR S AVERY
SITE ANALYSIS

W & B CONSULTING
PTY LTD
BUILDING DESIGNERS
PROJECT MANAGERS

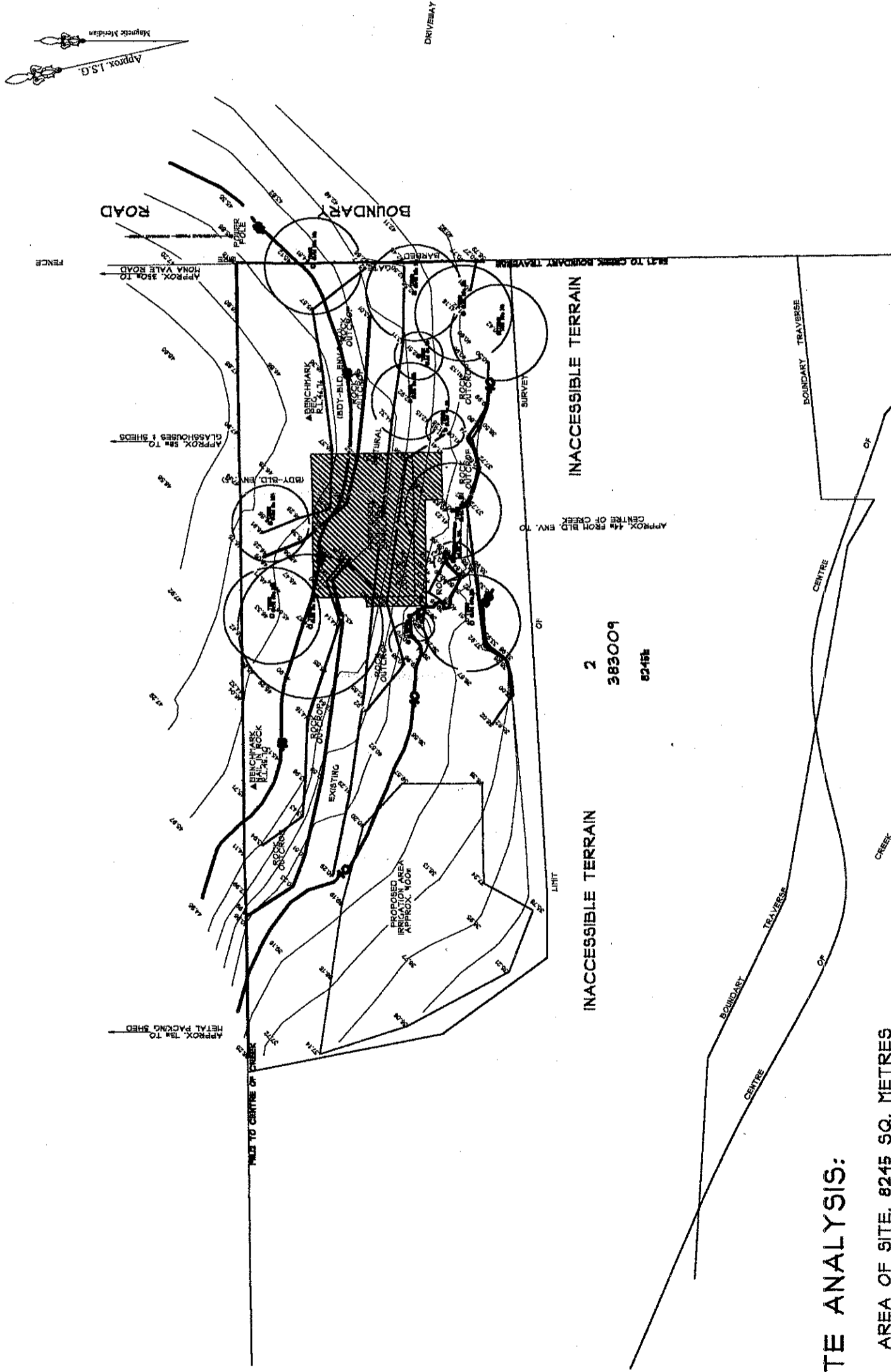
11 HARST PLACE BELROSE
NSW 2085
PO BOX 350 FORESTVILLE
NSW 2081

PH. 02 9453 3947
FAX. 02 9453 3952
MOBILE 0419 244 670
ABN 32 001 864 955



DATE	20 OCT. 03
DRAWN BY	MBL
SCALE	1:500

DRAWING NUMBER
O3.AVERY.02



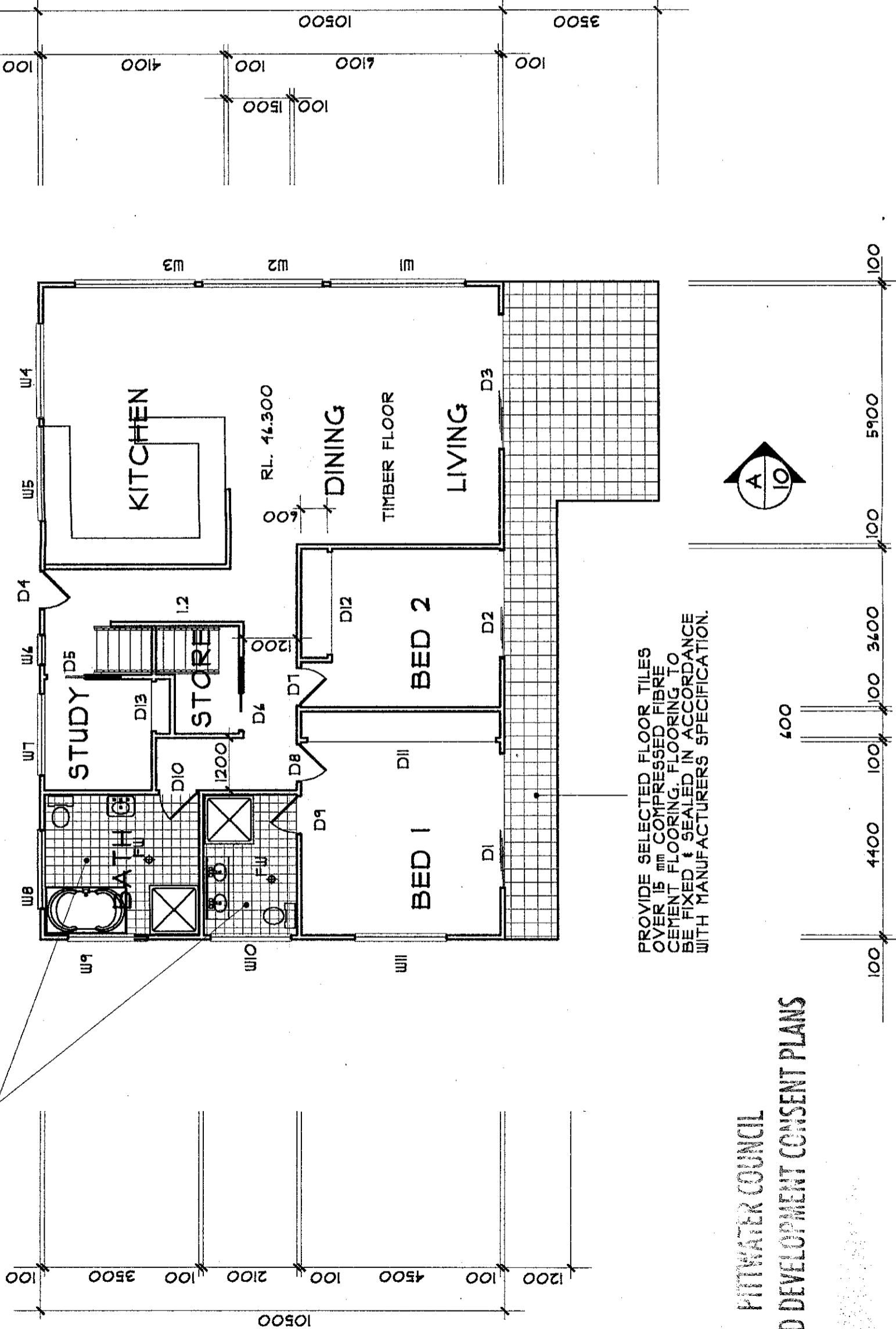
SITE ANALYSIS:

1. AREA OF SITE, 8245 SQ. METRES
2. SITE COVERAGE, 190 SQ. METRES = .023 : 1.0
3. GROSS FLOOR AREA EXISTING, 0 SQ. METRES
4. GROSS FLOOR AREA PROPOSED 314 SQ. METRES
5. PREVAILING WINDS ARE FROM THE SOUTH & WEST
6. VIEWS ARE OVER THE VALLEY FACING SOUTH.
7. THERE ARE NO LOSS OF VIEWS FROM ADJOINING PROPERTIES.
8. THERE IS NO OVER SHADOWING BY THE SUBJECT PROPOSAL.
9. THERE IS AN DOUBLE GARAGE PROPOSED.
10. ROOF DRAINAGE WILL BE DISCHARGED INTO RAIN WATER TANKS.
11. CURRENT DRAINAGE IS NON EXISTANT.
12. CONNECT NEW ROOF TO RAINWATER TANKS.
13. SITE ACCESS IS UNCHANGED.
14. THE SITE IS PARTLY FENCED.
15. THERE IS NO EXISTING HERITAGE OR ARCHEOLOGICAL FEATURE.
16. THERE ARE NO TREES AFFECTED.
17. BUSH FIRE HAZARD REPORT IS ATTACHED.
18. THERE IS A CREEK WITHIN THE PROPERTY'S BOUNDARIES.

FITZPATRICK WATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

PROVIDE SELECTED FLOOR TILES OVER 15 mm COMPRESSED FIBRE CEMENT FLOORING. FLOORING TO BE FIXED & SEALED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION.



PITWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

REVISIONS

NO.	DESCRIPTION

PROPOSED RESIDENCE
AT
LOT 2 - DP 383009
3 BOUNDARY ROAD
WARRIEWOOD
FOR
MR. S AVERY
FIRST FLOOR PLAN

**W & B CONSULTING
PTY LTD**
BUILDING DESIGNERS
PROJECT MANAGERS

11 HARST PLACE BELROSE
NSW 2085
PO BOX 350 FORESTVILLE
NSW 2087
PH. 02. 9453 3947
FAX. 02 9453 3952
MOBILE 0419 244 670
ABN 32 001 864 955



DATE 20 OCT. 03
DRAWN BY MBL
SCALE 1 : 100

DRAWING NUMBER

03.AVERY.04

REVISIONS

PROPOSED RESIDENCE
AT
LOT 2 - DP 383009
3 BOUNDARY ROAD
WARRIEWOOD

FOR
MR. S AVERY

FLOOR JOIST LAYOUT

W & B CONSULTING
PTY LTD
BUILDING DESIGNERS
PROJECT MANAGERS

11 HARST PLACE BELROSE
 NSW 2085

PO BOX 350 FORESTVILLE
 NSW 2087

PH. 02 9453 3947
 FAX. 02 9453 3952
 MOBILE 0419 244 670

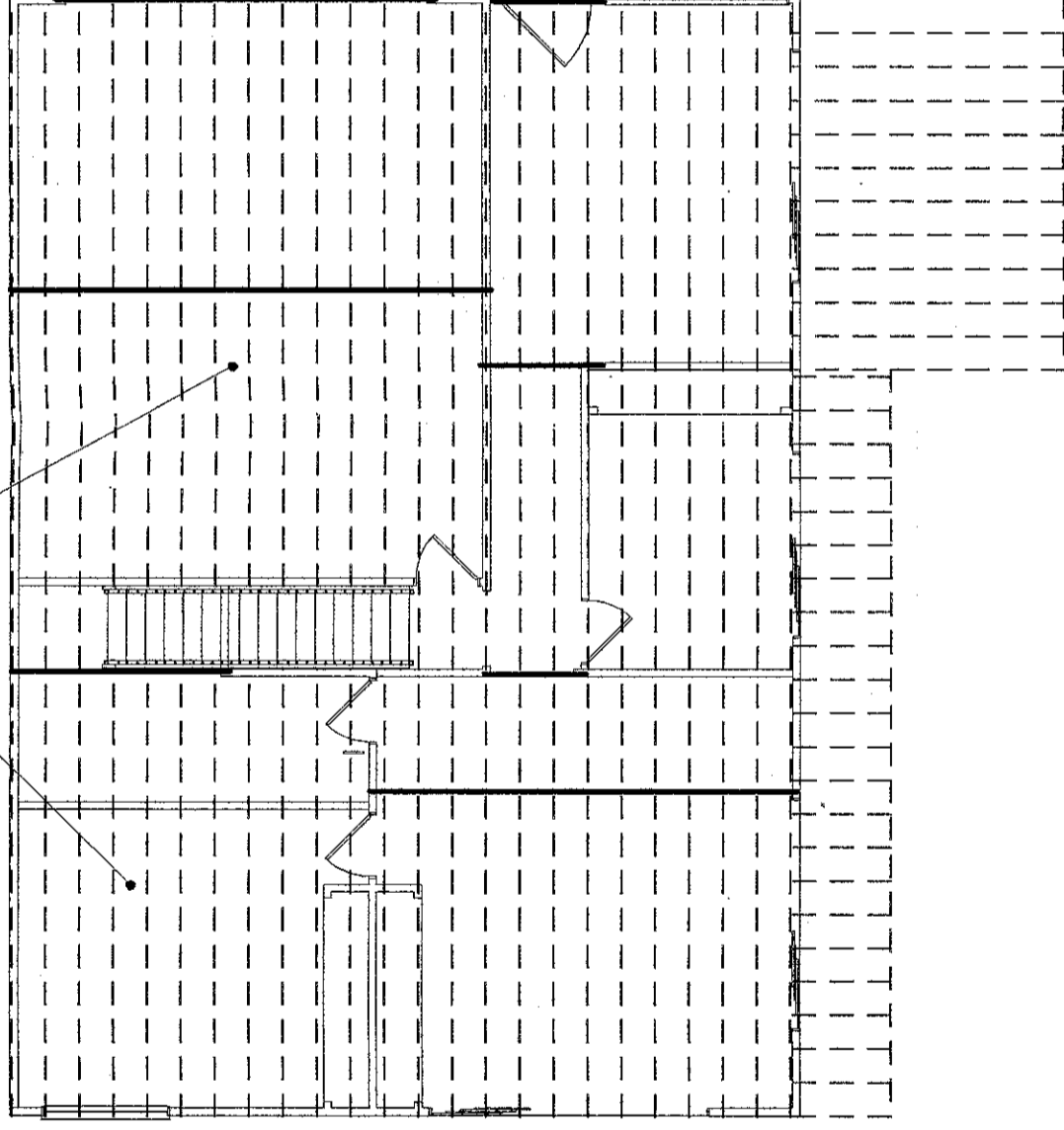
ABN 32 001 864 955



DATE 20 OCT. 03
 DRAWN BY MBL
 SCALE 1:100

DRAWING NUMBER
03.AVERY.05

PROVIDE FLOOR SUPPORT BEARERS &
 FLOOR JOISTS IN ACCORDANCE WITH
 ENGINEERS DETAILS.



PITWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN
CONJUNCTION WITH THE CONDITIONS OF
DEVELOPMENT CONSENT

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

PROVIDE SELECTED FIBRE CEMENT LINING TO EXTERIOR OF STEEL STUD FRAMING.

COLORBOND CUSTOM ORB ROOF SHEETING OVER TIMBER BATTENS. PROVIDE FOIL COVERED INSULATION BLANKET UNDER ROOF SHEETING AND FOIL BATTS BETWEEN RAFTERS

APEX OF ROOF RL. 51.510 AHD

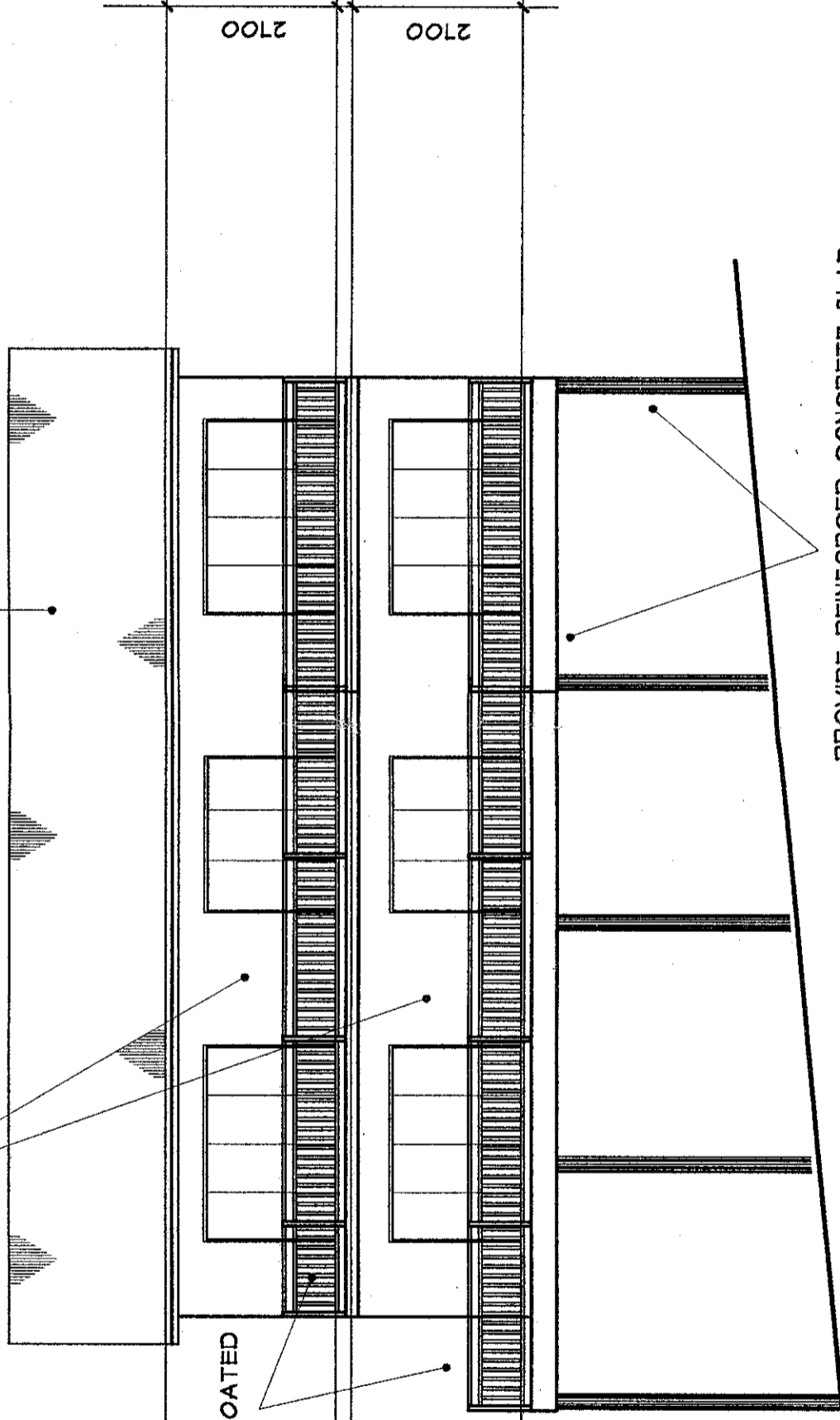
FIRST FLOOR CEILING LINE

PROVIDE 1000 HIGH POWDER COATED ALUMINIUM HANDRAILS

FIRST FLOOR LINE RL. 46.300 AHD

GROUND FLOOR CEILING LINE

GROUND FLOOR LINE RL. 43.350



PROVIDE REINFORCED CONCRETE SLAB FOOTINGS IN ACCORDANCE WITH ENGINEERS DESIGN DRAWINGS.

SOUTH ELEVATION

NOTE:

FOR DETAILS OF DOORS AND WINDOWS REFER SCHEDULE ON DRAWING O3.AVERY.01

REVISIONS

PROPOSED RESIDENCE

AT
LOT 2 - DP 383009
3 BOUNDARY ROAD
WARRIEWOOD

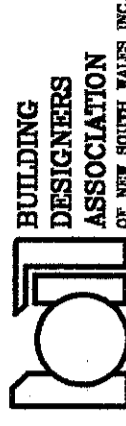
FOR
MR. S AVERY
SOUTH ELEVATION

**W & B CONSULTING
PTY LTD**
BUILDING DESIGNERS
PROJECT MANAGERS

11 HARST PLACE BELROSE
NSW 2085

PO BOX 350 FORESTVILLE
NSW 2081

PH. 02. 9453 3941
FAX. 02 9453 3952
MOBILE 0419 244 670
ABN 32 001 864 955



DATE 20 OCT. 03

DRAWN BY MBL

SCALE 1:100

DRAWING NUMBER

O3.AVERY.04

PITWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN
CONJUNCTION WITH THE CONDITIONS OF
DEVELOPMENT CONSENT

PROVIDE SELECTED FIBRE CEMENT LINING
TO EXTERIOR OF STEEL STUD FRAMING.

8.5 METRE HEIGHT LINE

APEX OF ROOF RL. 51.510 AHD

FIRST FLOOR CEILING LINE

FIRST FLOOR LINE RL. 44.300 AHD

GROUND FLOOR CEILING LINE

PROVIDE 1000 HIGH POWDER COATED
ALUMINIUM HANDRAILS

GROUND FLOOR LINE RL. 43.350

PROVIDE REINFORCED CONCRETE SLAB
& FOOTINGS IN ACCORDANCE WITH
ENGINEERS DESIGN DRAWINGS.

PROVIDE SELECTED SUPPORT COLUMNS
TO FRONT ENTRY CANOPY

PROVIDE ROOF OVER TO MATCHHOUSE ROOF.
LINE UNDERSIDE WITH FIBRE CEMENT SHEETING.

EAST ELEVATION

NOTE:

FOR DETAILS OF DOORS AND WINDOWS REFER
SCHEDULE ON DRAWING 03.AVERY.11

REVISIONS

PROPOSED RESIDENCE

AT
LOT 2 - DP 383009
3 BOUNDARY ROAD
WARRIEWOOD

FOR
MR. S AVERY

SOUTH ELEVATION

W & B CONSULTING
PTY LTD

BUILDING DESIGNERS
PROJECT MANAGERS

11 HARST PLACE BELROSE
NSW 2085

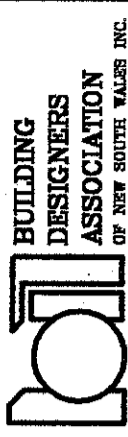
PO BOX 350 FORESTVILLE
NSW 2081

PH. 02. 9453 3947

FAX. 02 9453 3952

MOBILE 0419 244 670

ABN 32 001 864 955



DATE 20 OCT. 03

DRAWN BY MBL

SCALE 1 : 100

DRAWING NUMBER

03.AVERY.01

PITTVATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN
CONJUNCTION WITH THE CONDITIONS OF
DEVELOPMENT CONSENT

15 degrees

APEX OF ROOF RL. 51.510 AHD

PROVIDE SELECTED FIBRE CEMENT LINING
TO EXTERIOR OF STEEL STUD FRAMING.

PROVIDE 1000 HIGH POWDER COATED
ALUMINIUM HANDRAILS

8500

FIRST FLOOR CEILING LINE

FIRST FLOOR LINE RL. 44.300 AHD

GROUND FLOOR CEILING LINE

GROUND FLOOR LINE RL. 43.350

EXISTING GROUND LINE

EXCAVATED GROUND LINE

WEST ELEVATION

PROVIDE REINFORCED CONCRETE SLAB
& FOOTINGS IN ACCORDANCE WITH
ENGINEERS DESIGN DRAWINGS.

NOTE:

FOR DETAILS OF DOORS AND WINDOWS REFER
SCHEDULE ON DRAWING O3.AVERY.01

REVISIONS

PROPOSED RESIDENCE

AT
LOT 2 - DP 383009
3 BOUNDARY ROAD
WARRIEWOOD

FOR
MR. S AVERY

WEST ELEVATION

W & B CONSULTING
PTY LTD

BUILDING DESIGNERS
PROJECT MANAGERS

11 HARST PLACE BELROSE
NSW 2085

PO BOX 350 FORESTVILLE
NSW 2087

PH. 02 9453 3947

FAX. 02 9453 3952

MOBILE 0419 244 670

ABN 32 001 864 955



BUILDING
DESIGNERS
ASSOCIATION
OF NEW SOUTH WALES INC.

DATE 20 OCT. 03

DRAWN BY MBL

SCALE 1:100

DRAWING NUMBER

O3.AVERY.01

DOOR SCHEDULE				WINDOW SCHEDULE				REVISIONS					
NUMBER	SIZE	DESCRIPTION	NUMBER	SIZE	DESCRIPTION								
D1	2100 HIGH x 3000 WIDE	FOLDING ALUMINIUM DOORS	W1	1400 HIGH x 2100 WIDE	ALUMINIUM SLIDING								
D2	2100 HIGH x 2100 WIDE	FOLDING ALUMINIUM DOORS	W2	1400 HIGH x 2100 WIDE	ALUMINIUM SLIDING								
D3	2100 HIGH x 3000 WIDE	FOLDING ALUMINIUM DOORS	W3	1400 HIGH x 2100 WIDE	ALUMINIUM SLIDING								
D4	2040 x 820	SOLID CORE DOOR	W4	1000 HIGH x 2100 WIDE	ALUMINIUM SLIDING								
D5	2040 x 820	HOLLOW CORE DOOR (SLIDING)	W5	1000 HIGH x 2100 WIDE	ALUMINIUM SLIDING								
D6	2040 x 820	HOLLOW CORE DOOR (SLIDING)	W6	1400 HIGH x 1800 WIDE	ALUMINIUM SLIDING								
D7	2040 x 820	HOLLOW CORE DOOR	W7	1400 HIGH x 1800 WIDE	ALUMINIUM SLIDING								
D8	2040 x 820	HOLLOW CORE DOOR	W8	1400 HIGH x 1800 WIDE	ALUMINIUM SLIDING								
D9	2040 x 820	HOLLOW CORE DOOR	W9	1400 HIGH x 1800 WIDE	ALUMINIUM SLIDING								
D10	2040 x 820	HOLLOW CORE DOOR	W10	1000 HIGH x 1800 WIDE	ALUMINIUM SLIDING								
D11	TBS	WARDROBE DOORS	W11	1400 HIGH x 2100 WIDE	ALUMINIUM SLIDING								
D12	TBS	WARDROBE DOORS	W12	1400 HIGH x 1800 WIDE	ALUMINIUM SLIDING								
D13	TBS	WARDROBE DOORS	W13	1400 HIGH x 1800 WIDE	ALUMINIUM SLIDING								
D14	2100 HIGH x 3000 WIDE	FOLDING ALUMINIUM DOORS	FINISHES SCHEDULE										
D15	2100 HIGH x 2100 WIDE	FOLDING ALUMINIUM DOORS											
D16	2100 HIGH x 3000 WIDE	FOLDING ALUMINIUM DOORS											
D17	2040 x 1200	SOLID CORE DOOR						ROOFING	COLORBOND CUSTOM ORB " WOODLAND GREY "				
D18	2400 HIGH x 4800 WIDE	PANELIFT GARAGE DOOR						WINDOWS/DOORS	BLACK POWDER COATED ALUMINIUM				
D19	2100 HIGH x 3000 WIDE	FOLDING ALUMINIUM DOORS						EXTERNAL WALLS	SOLARGUARD "MULE"				
D20	TBS	WARDROBE DOORS	GARAGE DOOR	PANELIFT WOODGRAIN									
D21	2040 x 820	HOLLOW CORE DOOR	ROOF GUTTERS	"WOODLAND GREY"									
D22	2040 x 820	HOLLOW CORE DOOR	FASCIA/ BARGES	SOLARGUARD "MULE"									
D23	2040 x 820	HOLLOW CORE DOOR	INTERIOR LINING	PAINTED PLASTERBOARD									
D24	2040 x 820	HOLLOW CORE DOOR	FITZWATER COUNCIL										
D25	TBS	WARDROBE DOORS											
D26	TBS	WARDROBE DOORS											
APPROVED DEVELOPMENT CONSENT PLANS													
NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT													
DRAWING NUMBER													
O3.AVERY.II													

PROPOSED RESIDENCE
AT
LOT 2 - DP 383009
3 BOUNDARY ROAD
WARRIEWOOD

FOR
MR. SAVERY
DOOR, WINDOW AND
FINISHES SCHEDULE

W & B CONSULTING
PTY LTD
BUILDING DESIGNERS
PROJECT MANAGERS

11 HARST PLACE BELROSE
NSW 2085
PO BOX 350 FORESTVILLE
NSW 2081
PH. 02. 9453 3947
FAX. 02 9453 3952
MOBILE 0419 244 670
ABN 32 001 844 955



BUILDING
DESIGNERS
ASSOCIATION
OF NEW SOUTH WALES INC.

DATE 20 OCT. 09
DRAWN BY TBL
SCALE

DRAWING NUMBER
O3.AVERY.II