

2 April, 2014

Campbells Building Company
Ian Campbell
By email

Dear Ian,

RE: SECTION 96 APPLICATION: 13 BRUCE ST, WARRIEWOOD, NSW

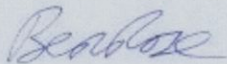
We have reviewed the Section 96 application plans by Campbells Building Company (revision C, 7 page plan set, 10.03.2014) and with the exception of the proposed lower ground floor excavation, confirm geotechnical recommendations within our previous site geotechnical assessment report (REF: P0601550JR01V1, 2008) remain unchanged.

With regards to the lower ground floor excavation, due care is to be taken to ensure excavation works do not undermine any existing footings. Where the excavation cannot be excavated with a temporary batter slope of 1(V):2(H) without undermining any existing footings, shoring is to be utilised during excavation with the post excavation support provided by an engineered retaining wall.

If you require any further information, please do not hesitate to contact the writer.

For and on behalf of

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01 April 2014

Job No: BICB-1571

Terry & Debbie Mitchel
13 Bruce St
WARRIEWOOD NSW 2102

e/c: Ian Campbell
ian@campbellsbuilding.com.au

Dear Sir / Madam

Re: 13 Bruce St, Warriewood – Alterations and Additions

At the request of Ian Campbell Project Coordinator we made a visit to your house on 5 March 2014 to assess it structurally in the light of your proposal to extend the living areas in the lower ground floor under of the main building and extend the garage and the studio under the garage.

We have conducted a visual inspection which covered structural elements involved in carrying any extra loads from the proposed alterations. Investigation of other parts of the then existing residence was not requested and is not subject of this letter. The letter shall not be taken as report on the existing conditions.

On the basis of the above, we have formed the view that the existing walls and their foundations would not be adversely effected by supporting extra loads from the additions and alterations, as it shown on the drawings prepared by Campbell's Building Company dated March 2014, provided it is constructed in accordance with the structural drawing BICB-1571 prepared by this office.

The new works may cause some opening of existing cracks and formation of fine new cracks. In the event of such cracks occurring, we are on the opinion that they will not be structurally significant.

The Builder shall be responsible at all times for maintaining the refurbished building and the neighbouring structures in a stable and safe condition. Nothing shown or called for on the structural engineering drawing relieves the builder of his responsibilities in this regard.

Yours faithfully
Tihanyi Consulting Engineers

Eva Tihanyi
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NPER Registered
Colleges: Structural (No 109225).

BICB1571Mitchel Letter